

# COMPLYING DEVELOPMENT PROPOSED INDUSTRIAL UNITS 14D COBBANS CLOSE BERESFIELD

LOT 8 DP 271225



## DRAWING SCHEDULE

| PROJECT | SHEET | TITLE                       | REVISION |
|---------|-------|-----------------------------|----------|
| 20322A  | CD01  | SITE LOCALITY PLAN          | 3        |
| 20322A  | CD02  | SITE PLAN                   | 3        |
| 20322A  | CD03  | FLOOR PLAN                  | 3        |
| 20322A  | CD04  | MEZZANINE FLOOR PLANS       | 3        |
| 20322A  | CD05  | ELEVATION & PERSPECTIVES    | 3        |
| 20322A  | CD06  | ELEVATIONS                  | 3        |
| 20322A  | CD07  | SECTIONS                    | 3        |
| 20322A  | CD08  | SECTION & DETAILS           | 3        |
| 20322A  | CD09  | DETAILS                     | 3        |
| 20322A  | CD10  | ROOF PLAN                   | 3        |
| 20322A  | CD11  | VEHICLE MOVEMENT PLAN       | 3        |
| 20322A  | CD12  | LANDSCAPING PLAN            | 3        |
| 20322A  | CD13  | LANDSCAPING DETAILS & NOTES | 3        |
| 20322A  | CD14  | NOTES                       | 3        |

Council  
NEWCASTLE CITY COUNCIL

Client  
**PRECINCT GROUP**

**DRAYTON**  
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**GCA**  
ENGINEERING SOLUTIONS

GCA Engineering Solutions  
1 Hartley Drive (PO Box 3337),  
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Ph 02 4964 1811  
[www.gca.net.au](http://www.gca.net.au)



**SITE LOCALITY PLAN**  
NOT TO SCALE

| REV. | DATE     | DESCRIPTION                | DRAWN |
|------|----------|----------------------------|-------|
| 3    | 01.12.20 | FIRE ENGINEERED SOLUTION   | MC    |
| 2    | 12.10.20 | CLIENT & CERTIFIER COMMENT | MC    |
| 1    | 19.10.20 | ORIGINAL ISSUE             | MC    |



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Project Title  
**PROPOSED INDUSTRIAL UNITS**

Project Address  
**14D COBBANS CLOSE  
BERESFIELD**

Client  
**PRECINCT GROUP**

Project Status  
**COMPLYING DEVELOPMENT**

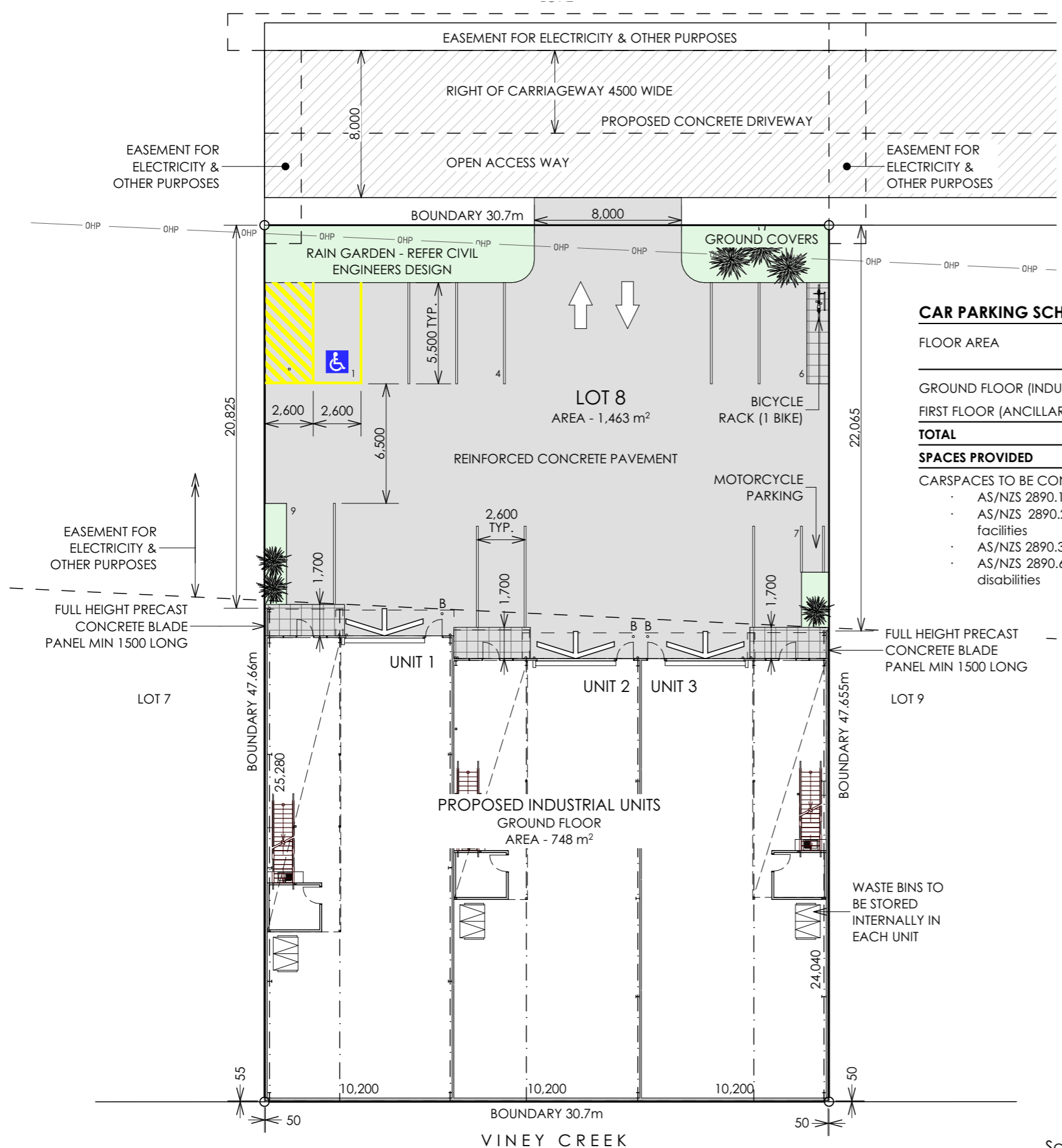
Drawing Title  
**SITE LOCALITY PLAN**

|                              |                      |                            |
|------------------------------|----------------------|----------------------------|
| Project No.<br><b>20322A</b> | Revision<br><b>3</b> | Drawing No.<br><b>CD01</b> |
|------------------------------|----------------------|----------------------------|

Drawings scaled to an A3 sheet

20322A CDr3.pln Last saved on 1/12/2020 by Mark

|             |             |                            |              |
|-------------|-------------|----------------------------|--------------|
| 3           | 01.12.20    | FIRE ENGINEERED SOLUTION   | MC           |
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| 1           | 19.10.20    | ORIGINAL ISSUE             | MC           |
| <b>REV.</b> | <b>DATE</b> | <b>DESCRIPTION</b>         | <b>DRAWN</b> |



**CAR PARKING SCHEDULE**

| FLOOR AREA   | RATE REQUIRED (DCP SECTION 7.03, TABLE 1) | SPACES REQUIRED |
|--|---|-----------------|
| GROUND FLOOR (INDUSTRY) - 748m <sup>2</sup>        | 1/100m <sup>2</sup>                       | 7.5             |
| FIRST FLOOR (ANCILLARY OFFICE) - 140m <sup>2</sup> | 1/100m <sup>2</sup>                       | 1.4             |
| <b>TOTAL</b>                                       |   | <b>9</b>        |
| <b>SPACES PROVIDED</b>                             |   | <b>9</b>        |

- CARSPACES TO BE CONSTRUCTED IN ACCORDANCE WITH:
- AS/NZS 2890.1 - 2004 Parking facilities - Off street car parking
  - AS/NZS 2890.2 - 2002 Parking facilities - Off street commercial vehicles facilities
  - AS/NZS 2890.3 - 1993 Parking facilities - Bicycle parking facilities
  - AS/NZS 2890.6 - 2009 Parking facilities - Off street parking for people with disabilities

**LEGEND**

|  |                              |
|--|------------------------------|
|  | OHP — OVERHEAD POWER LINE    |
|  | • B BOLLARD                  |
|  | ROLLER DOOR / ROLLER SHUTTER |



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**PRECINCT GROUP**

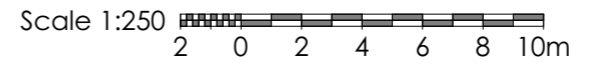
Project Status  
**COMPLYING DEVELOPMENT**

Drawing Title  
**SITE PLAN**

Project No. 20322A    Revision 3    Drawing No. **CD02**

Drawings scaled to an A3 sheet

**SITE PLAN**  
 Scale 1:250



|             |             |                            |              |
|-------------|-------------|----------------------------|--------------|
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| <b>REV.</b> | <b>DATE</b> | <b>DESCRIPTION</b>         | <b>DRAWN</b> |



**SMOKE ALARMS** TO BE INSTALLED THROUGHOUT THE BUILDING IN ACCORDANCE WITH:

- BCA SPEC E2.2a CLAUSE 3 (a) - SMOKE ALARMS TO COMPLY WITH AS 3786, AND TO BE POWERED FROM THE CONSUMERS MAINS SOURCE
- BCA SPEC E2.2a CLAUSE 3 (d)(i) - SMOKE ALARMS TO BE LOCATED IN ACCORDANCE WITH THE REQUIREMENTS FOR SMOKE DETECTORS IN AS 1670.1
- SMOKE DETECTORS TO BE INTERCONNECTED TO PROVIDE A COMMON ALARM

REFER FIRE ENGINEERING REPORT BY YGL CONSULTING PTY LTD REFERENCE 2020j0356 DATED NOVEMBER 2020

**EMERGENCY LIGHTING** TO BE INSTALLED IN ACCORDANCE WITH AS 2293.1 - 2018 TO THE FOLLOWING AREAS:

- INTERNAL STAIRS
- WAREHOUSE / WORKSHOP



Project Title  
**PROPOSED INDUSTRIAL UNITS**

Project Address  
**14D COBBANS CLOSE  
BERESFIELD**

Client  
**PRECINCT GROUP**

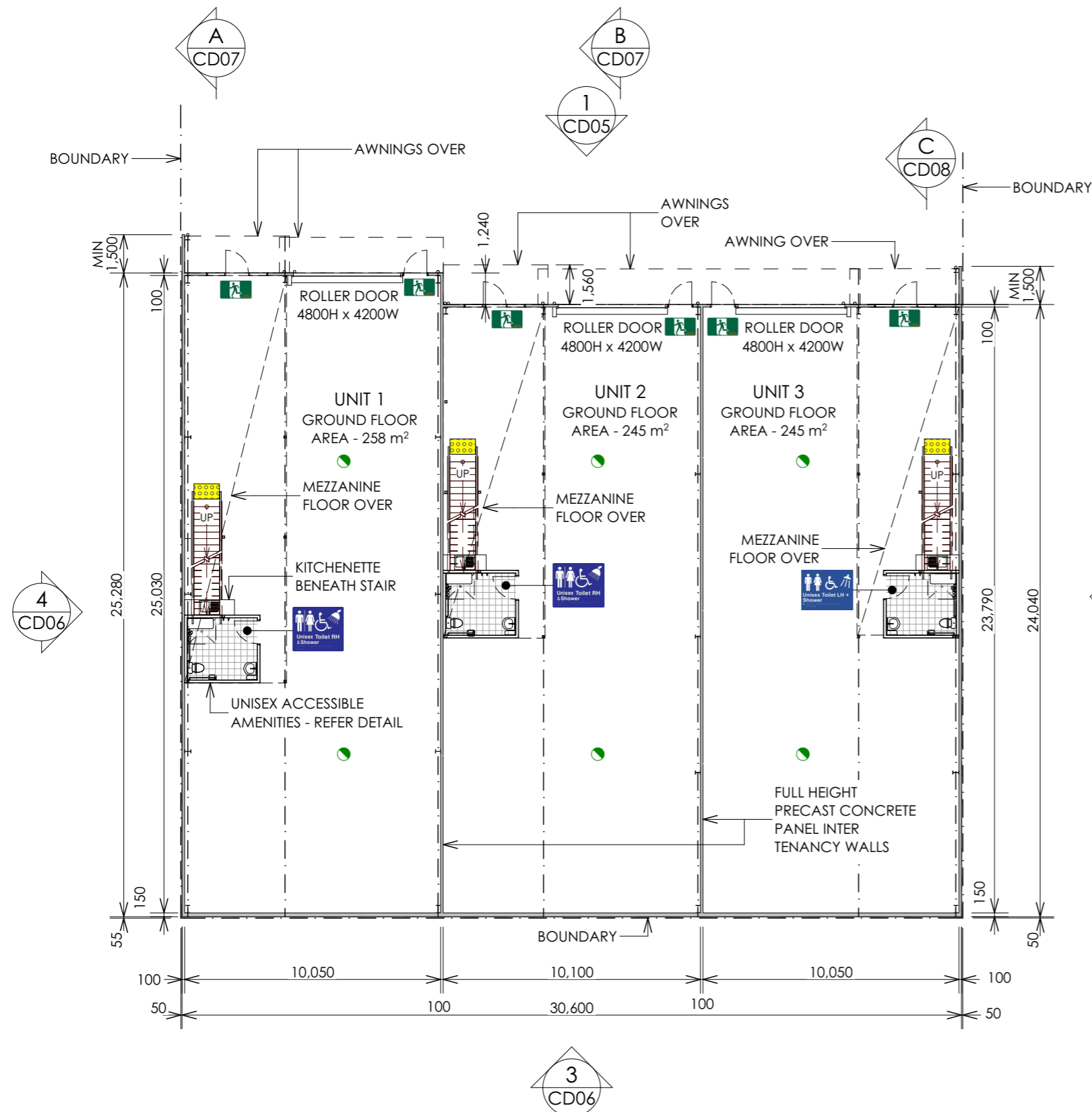
Project Status  
**COMPLYING DEVELOPMENT**

Drawing Title  
**FLOOR PLAN**

Project No. 20322A    Revision 3    Drawing No. **CD03**

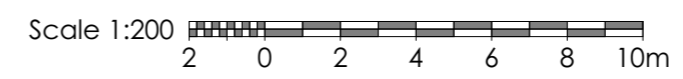
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20322A CDr3.pln Last saved on 1/12/2020 by Mark

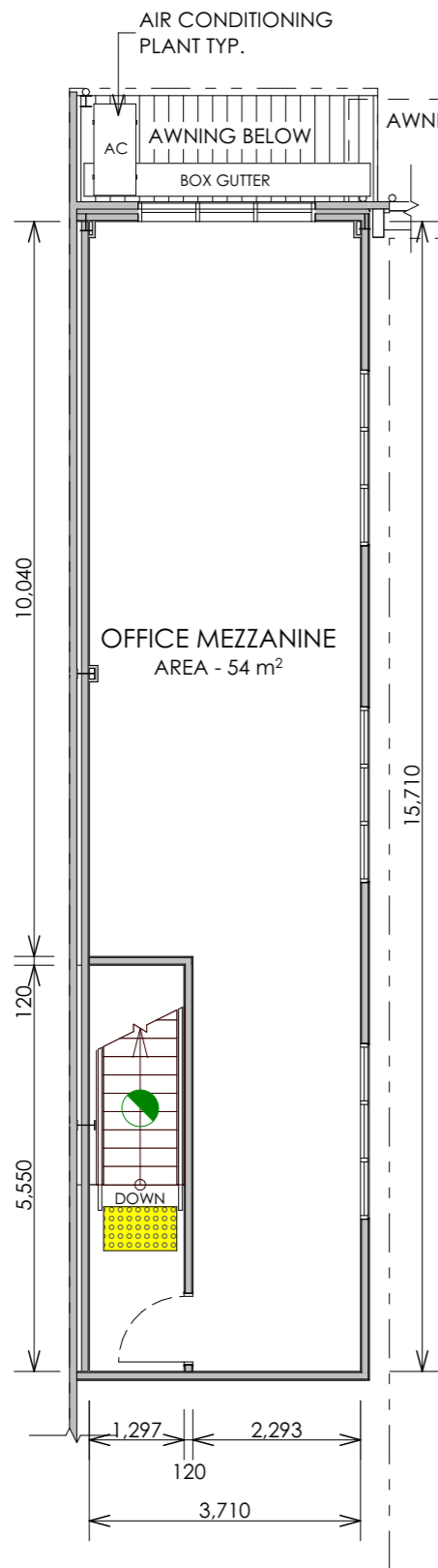


**LEGEND**

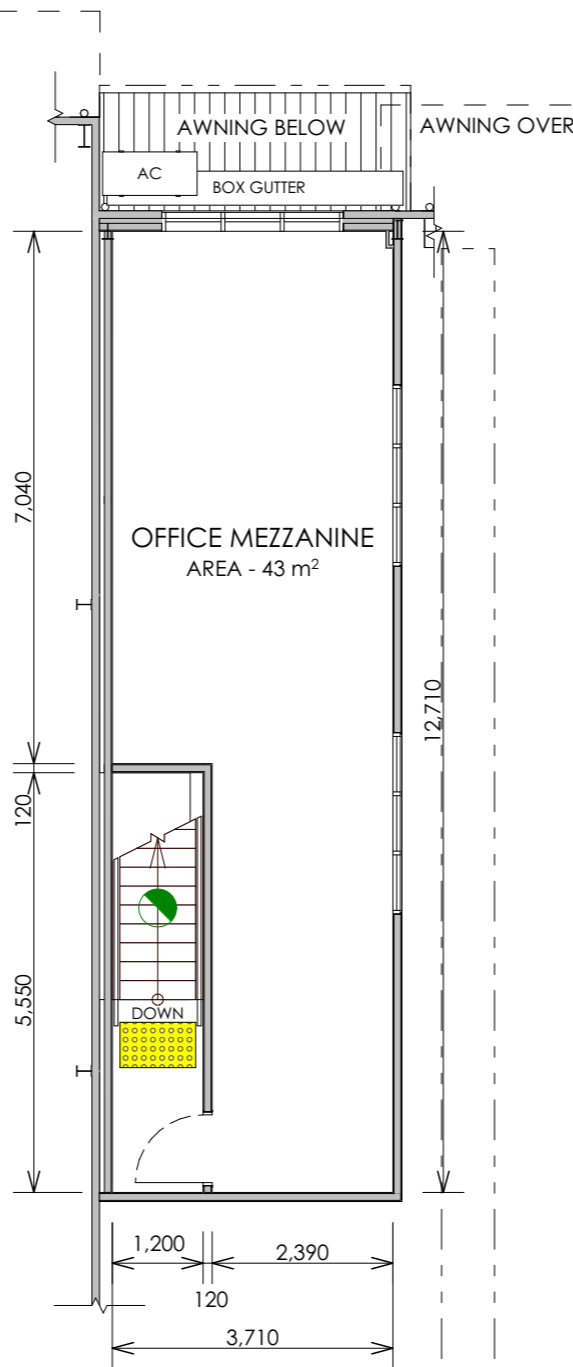
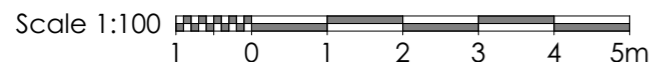
- EMERGENCY EXIT
- TACTILE GROUND SURFACE INDICATORS (TGSi) - REFER DETAIL
- EMERGENCY LIGHT
- REQUIRED SIGNAGE



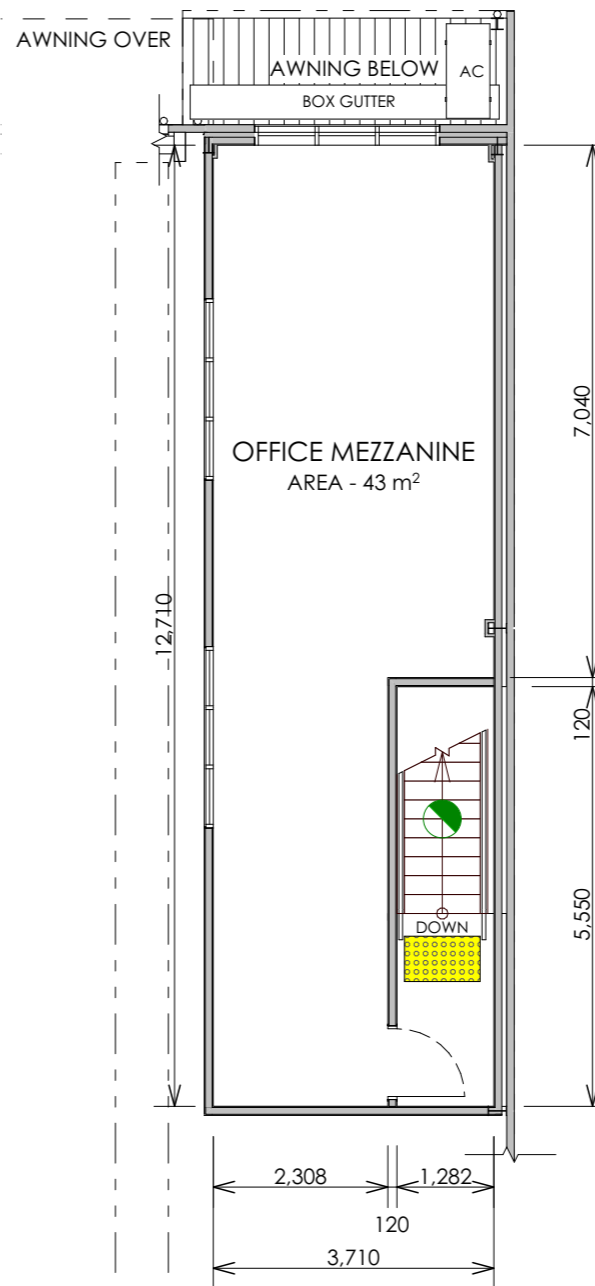
**FLOOR PLAN**  
Scale 1:200



**UNIT 1**  
Scale 1:100



**UNIT 2**  
Scale 1:100



**UNIT 3**  
Scale 1:100

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**LEGEND**

- EMERGENCY EXIT
- TACTILE GROUND SURFACE INDICATORS (TGS) - REFER DETAIL
- EMERGENCY LIGHT
- REQUIRED SIGNAGE

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**14D COBBANS CLOSE  
BERESFIELD**

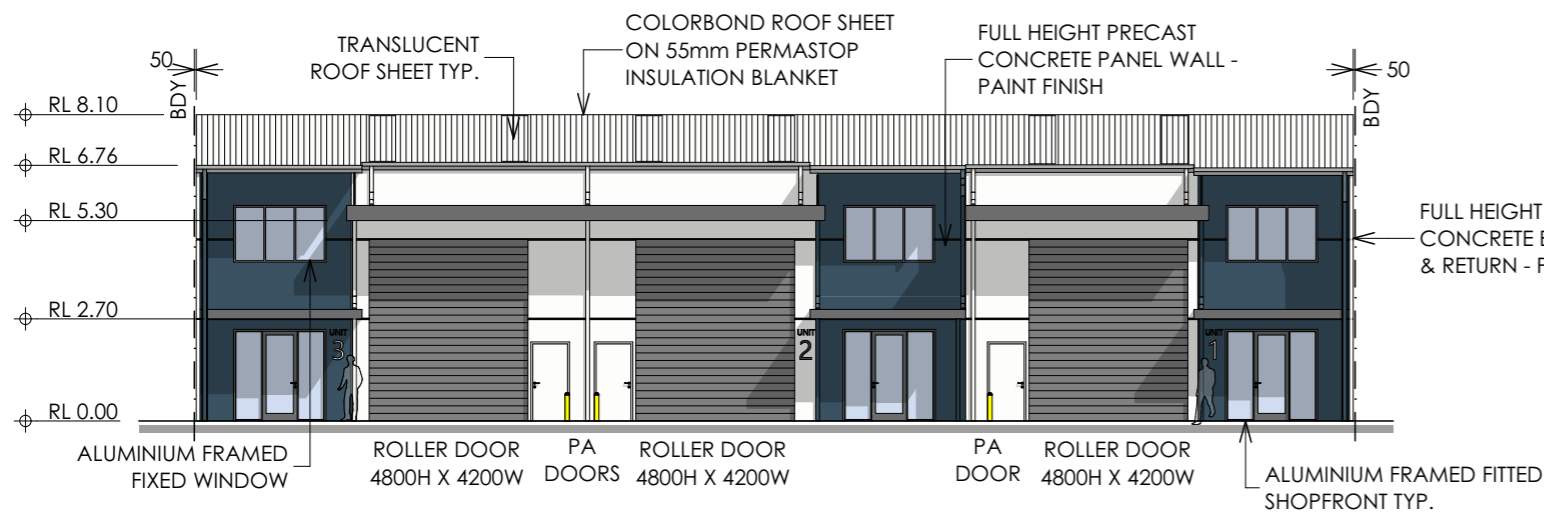
Client  
**PRECINCT GROUP**

Project Status  
**COMPLYING DEVELOPMENT**

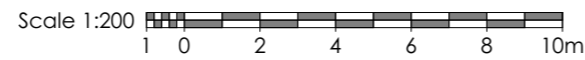
Drawing Title  
**MEZZANINE FLOOR  
PLANS**

Project No. 20322A    Revision 3    Drawing No. **CD04**

Drawings scaled to an A3 sheet



**1 NORTH ELEVATION**  
 CD03 Scale 1:200



|             |             |                            |              |
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 BERESFIELD**

Client  
**PRECINCT GROUP**

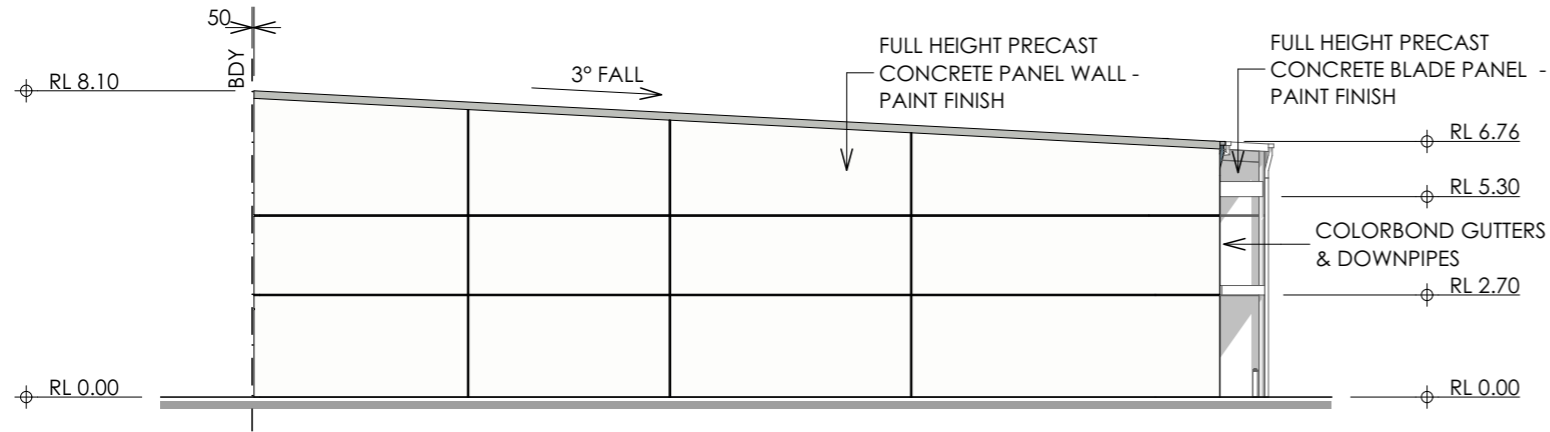
Project Status  
**COMPLYING DEVELOPMENT**

Drawing Title  
**ELEVATION &  
 PERSPECTIVES**

Project No.      Revision      Drawing No.  
 20322A              3              **CD05**

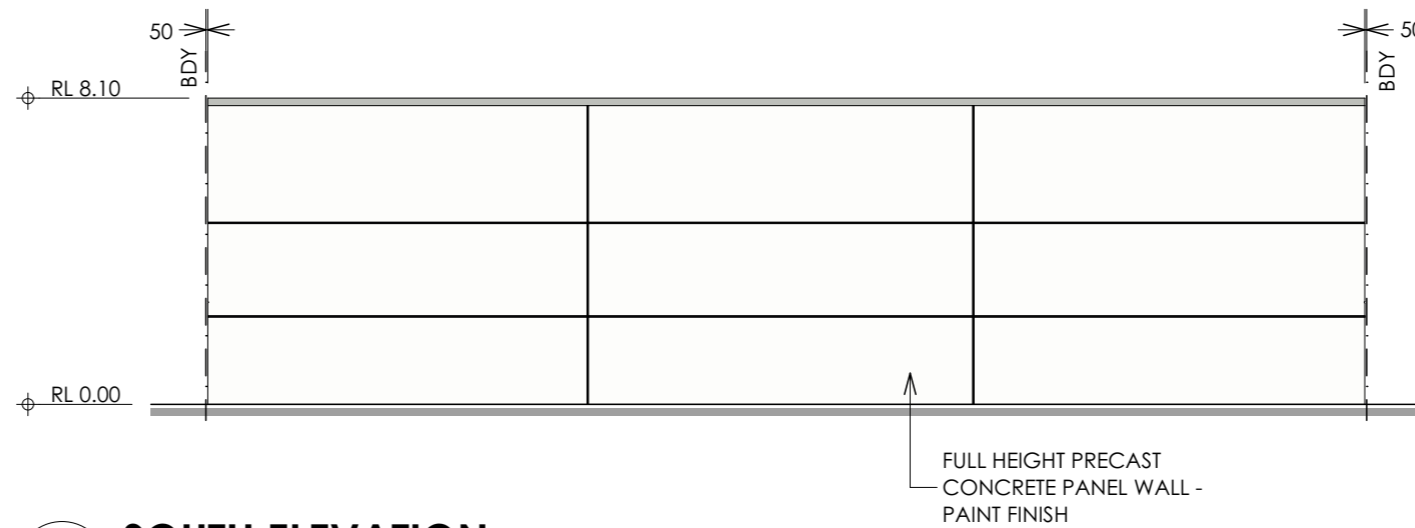
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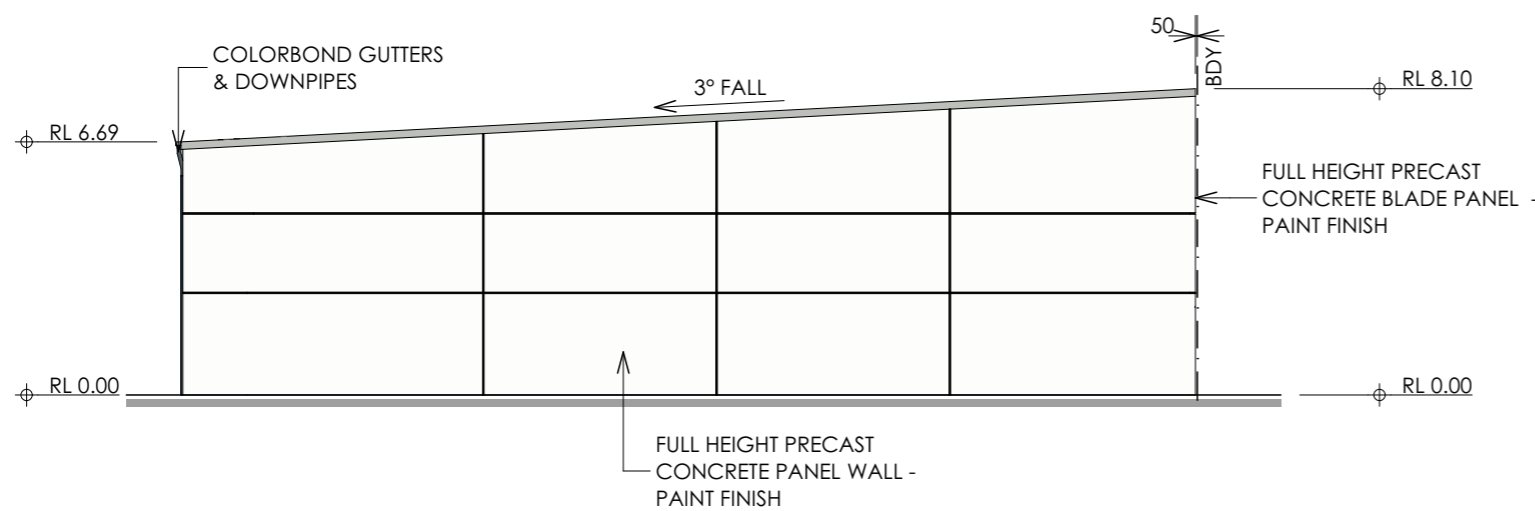


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| <b>REV.</b> | <b>DATE</b> | <b>DESCRIPTION</b>         | <b>DRAWN</b> |

**2 EAST ELEVATION**  
CD03 Scale 1:200



**3 SOUTH ELEVATION**  
CD03 Scale 1:200



**4 WEST ELEVATION**  
CD03 Scale 1:200



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BERESFIELD**

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Project Status  
**COMPLYING DEVELOPMENT**

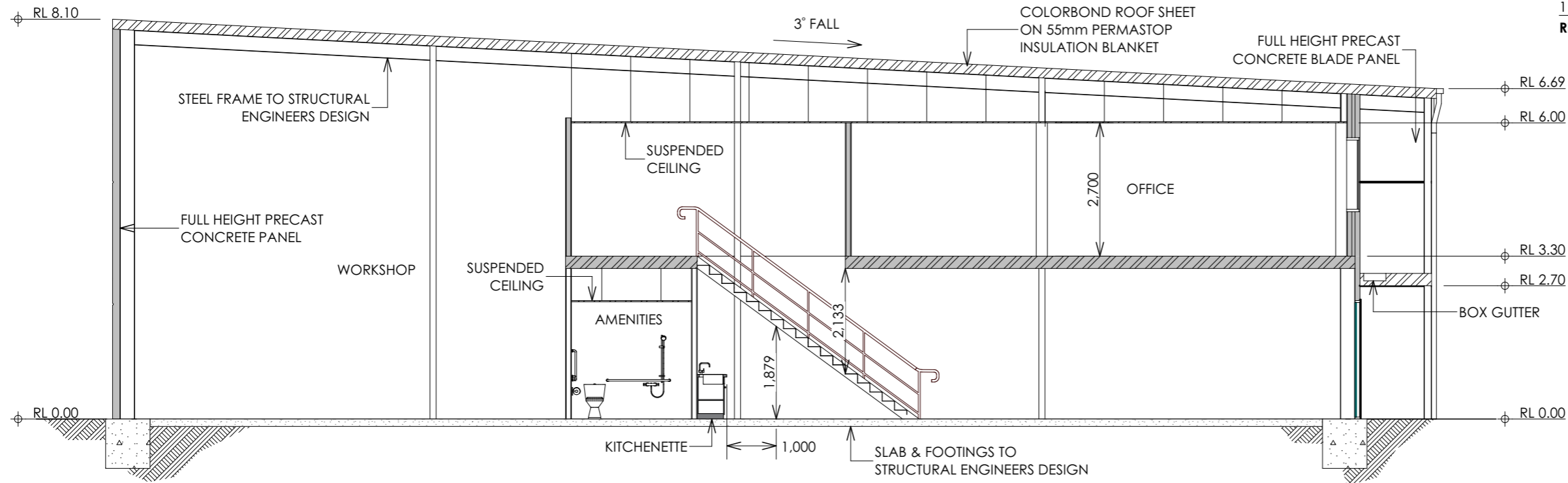
Drawing Title  
**ELEVATIONS**

Project No. 20322A    Revision 3    Drawing No. **CD06**

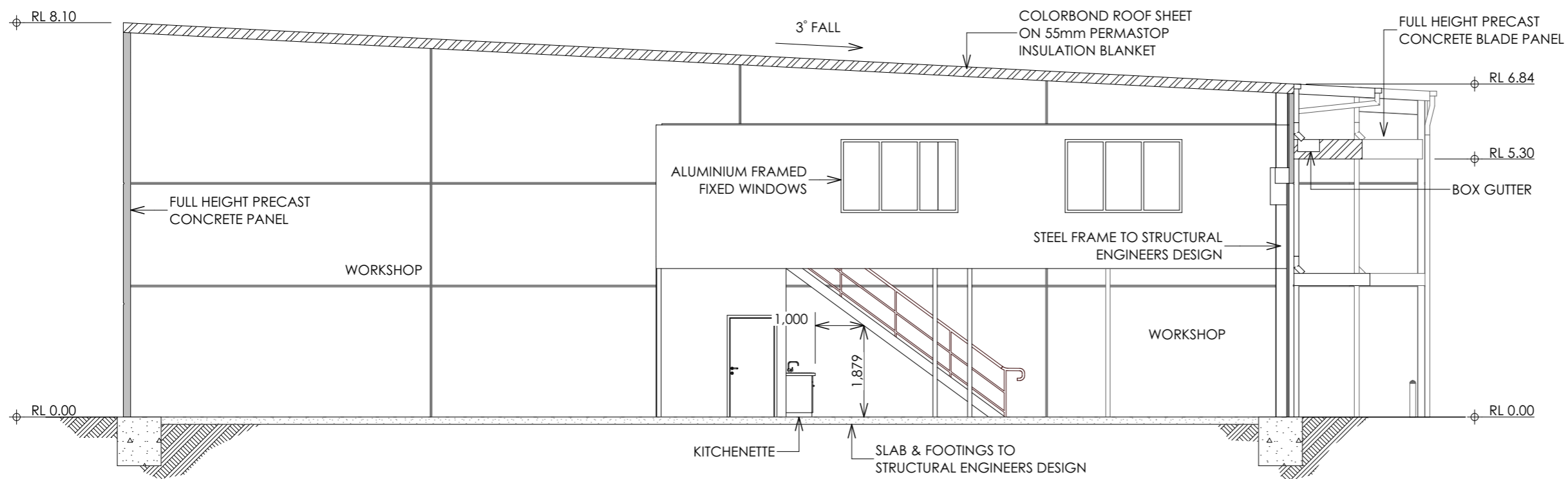
Drawings scaled to an A3 sheet

20322A CDr3.pln Last saved on 1/12/2020 by Mark

|             |             |                            |              |
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| <b>REV.</b> | <b>DATE</b> | <b>DESCRIPTION</b>         | <b>DRAWN</b> |



**A SECTION - UNIT 1**  
CD03 Scale 1:100



**B SECTION - UNIT 2**  
CD03 Scale 1:100



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**PROPOSED INDUSTRIAL UNITS**

Project Address  
**14D COBBANS CLOSE  
BERESFIELD**

Client  
**PRECINCT GROUP**

Project Status  
**COMPLYING DEVELOPMENT**

Drawing Title  
**SECTIONS**

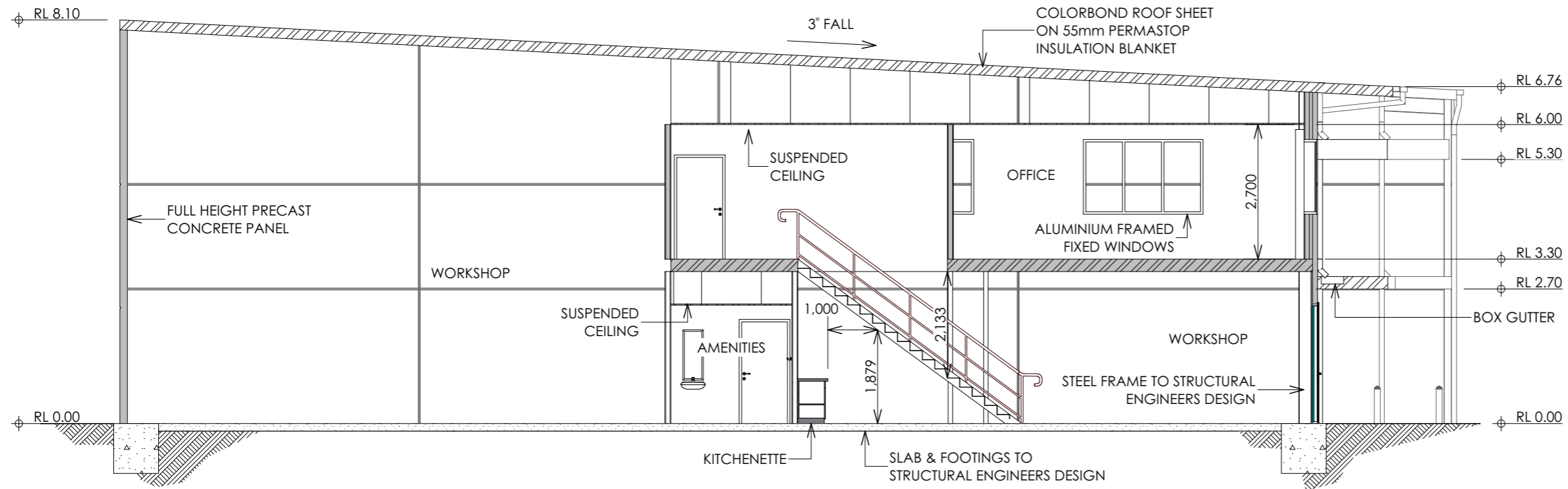
Project No. 20322A    Revision 3    Drawing No. **CD07**

Drawings scaled to an A3 sheet

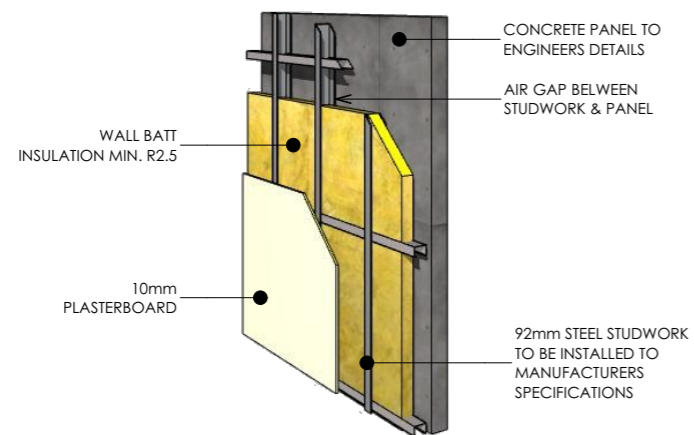
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| <b>REV.</b> | <b>DATE</b> | <b>DESCRIPTION</b>         | <b>DRAWN</b> |

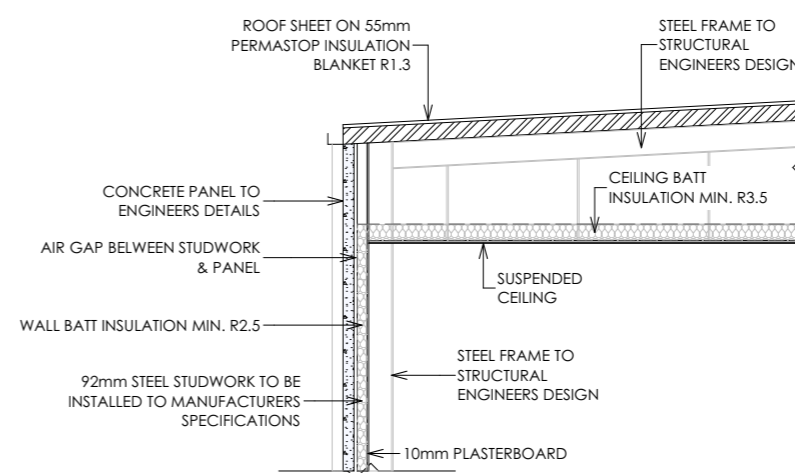


**C SECTION- UNIT 3**  
CD03 Scale 1:100



**TYPICAL EXTERNAL WALL (AIR CONDITIONED SPACE)**  
PRECAST CONCRETE PANEL

**NOTE**  
- REFER NOTES PAGE - 'ENERGY EFFICIENCY'  
- EXTERNAL WALL SYSTEM TO ACHIEVE MINIMUM R2.8



**TYPICAL ROOF SECTION (AIR CONDITIONED SPACE)**  
Scale 1:50



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Client  
**PRECINCT GROUP**

Project Status  
**COMPLYING DEVELOPMENT**

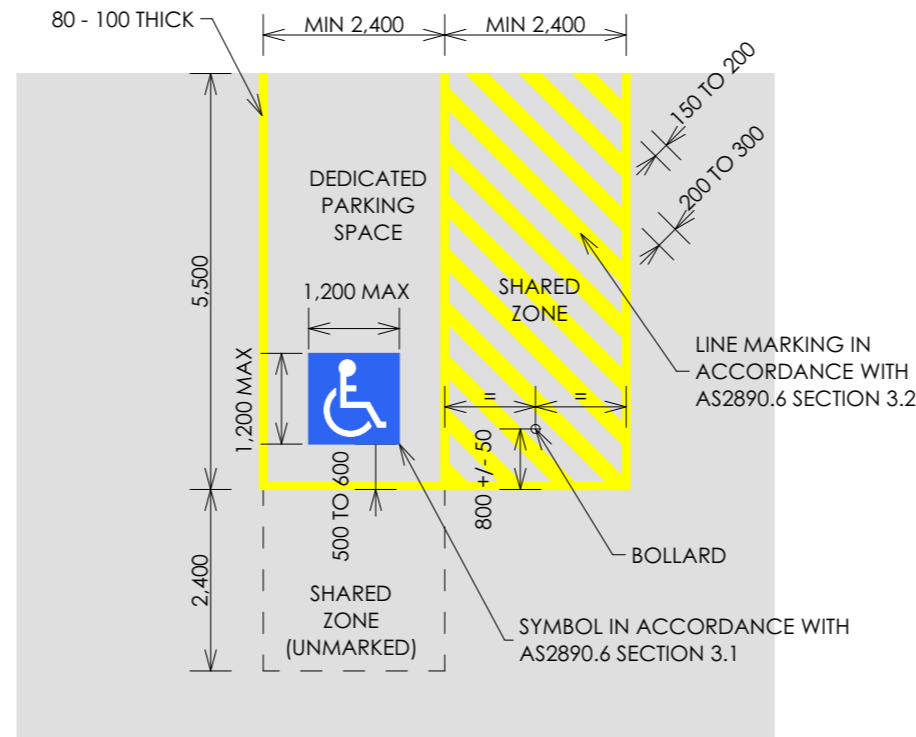
Drawing Title  
**SECTION & DETAILS**

Project No. 20322A    Revision 3    Drawing No. **CD08**

Drawings scaled to an A3 sheet

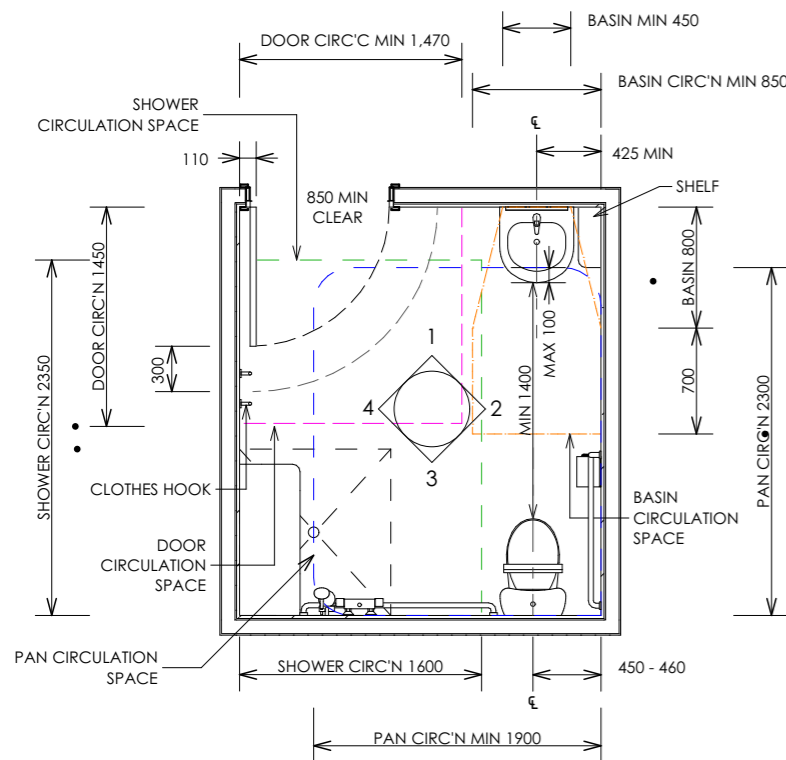
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| 3           | 01.12.20    | FIRE ENGINEERED SOLUTION   | MC           |
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| <b>REV.</b> | <b>DATE</b> | <b>DESCRIPTION</b>         | <b>DRAWN</b> |



### TYPICAL ACCESSIBLE CARPARK

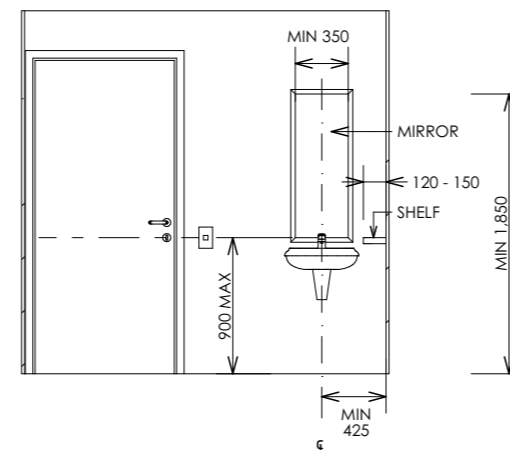
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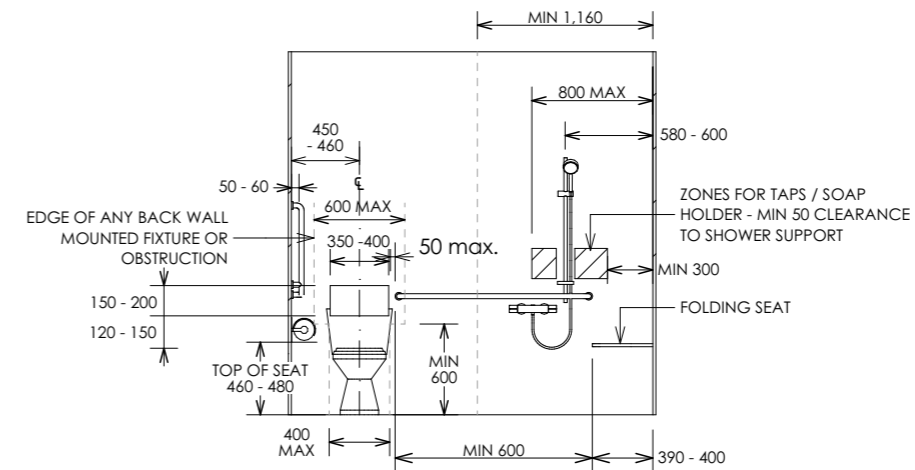
**NOTE:**  
PLANS OF TYPICAL AMENITIES SHOWING MINIMUM CIRCULATION SPACE, OFFSETS & REQUIRED CLEARANCES. REFER FLOOR PLANS FOR PROJECT AMENITIES DIMENSIONS AND LAYOUT.

### TYPICAL ACCESSIBLE WC & SHOWER

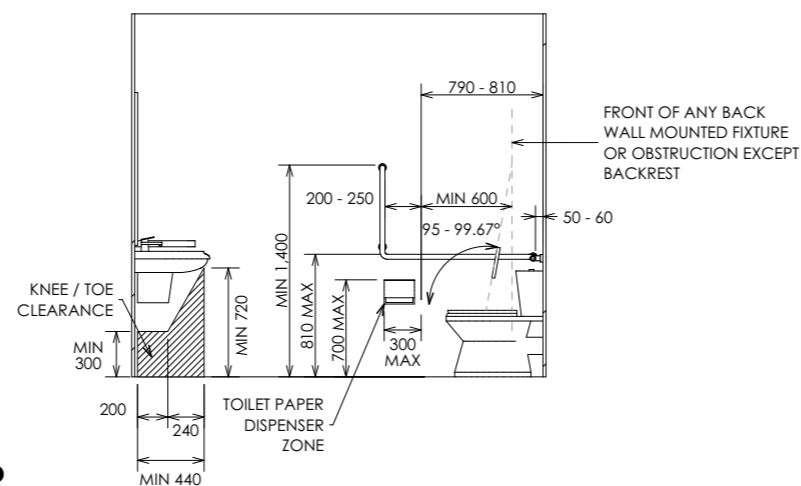
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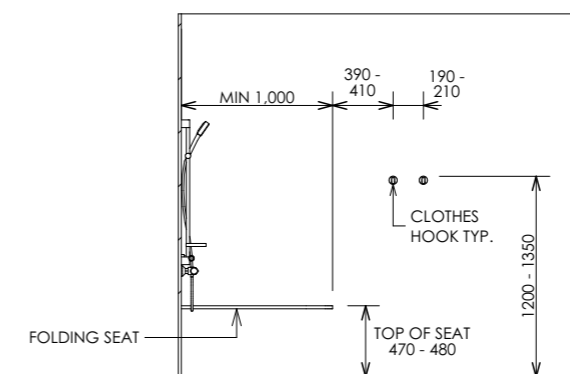
ELEVATION 1



ELEVATION 3



ELEVATION 2



ELEVATION 4



Project Title  
**PROPOSED INDUSTRIAL UNITS**

Project Address  
**14D COBBANS CLOSE  
BERESFIELD**

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**PRECINCT GROUP**

Project Status  
**COMPLYING DEVELOPMENT**

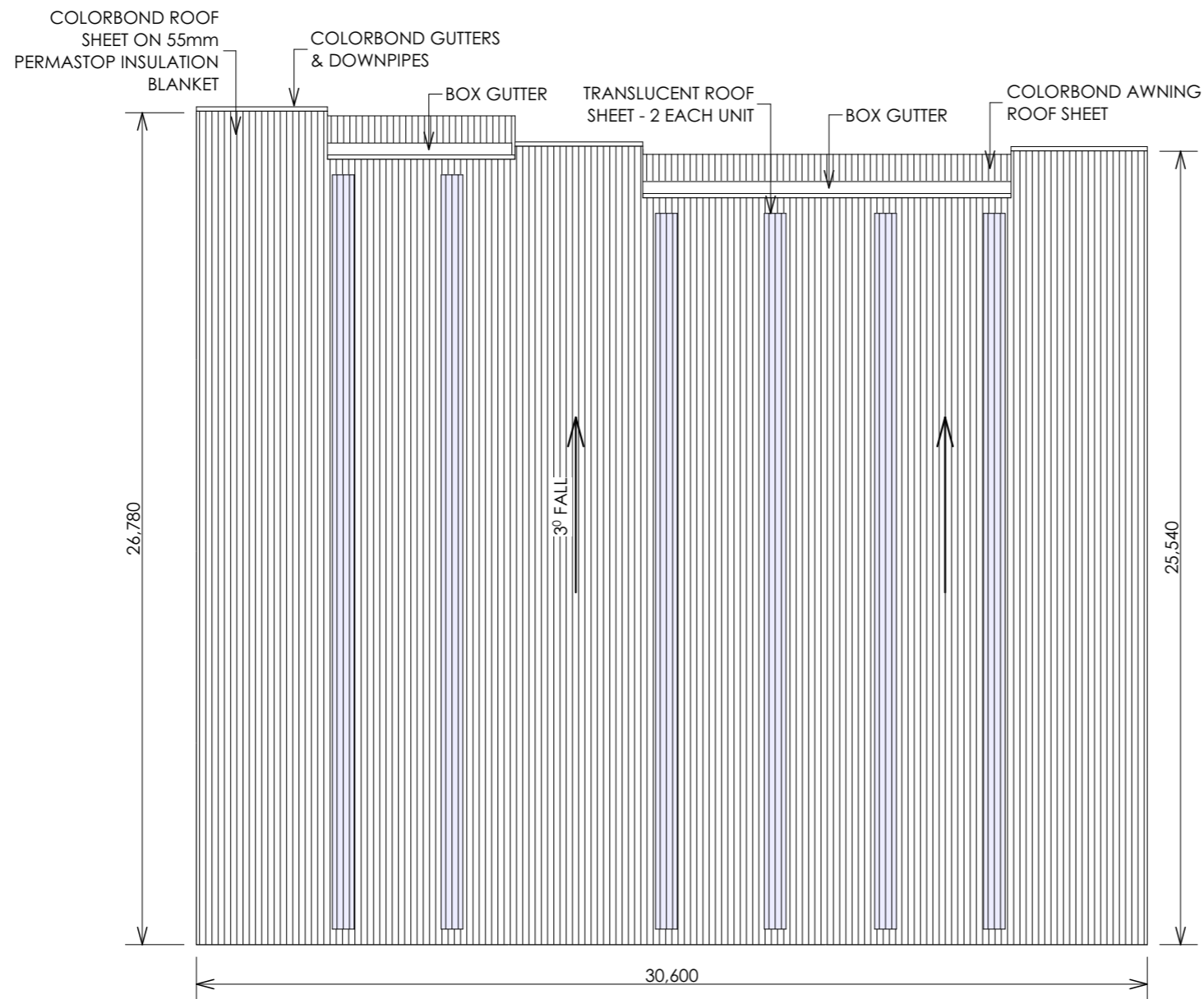
Drawing Title  
**DETAILS**

Project No. 20322A    Revision 3    Drawing No. **CD09**

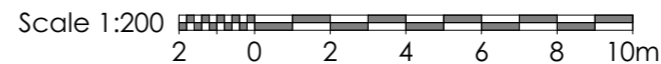
Drawings scaled to an A3 sheet



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**ROOF PLAN**  
Scale 1:200



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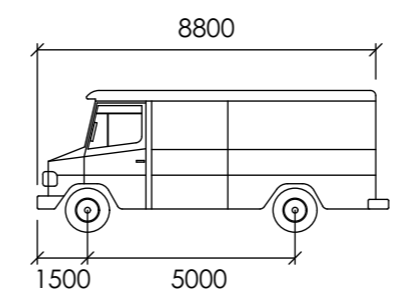
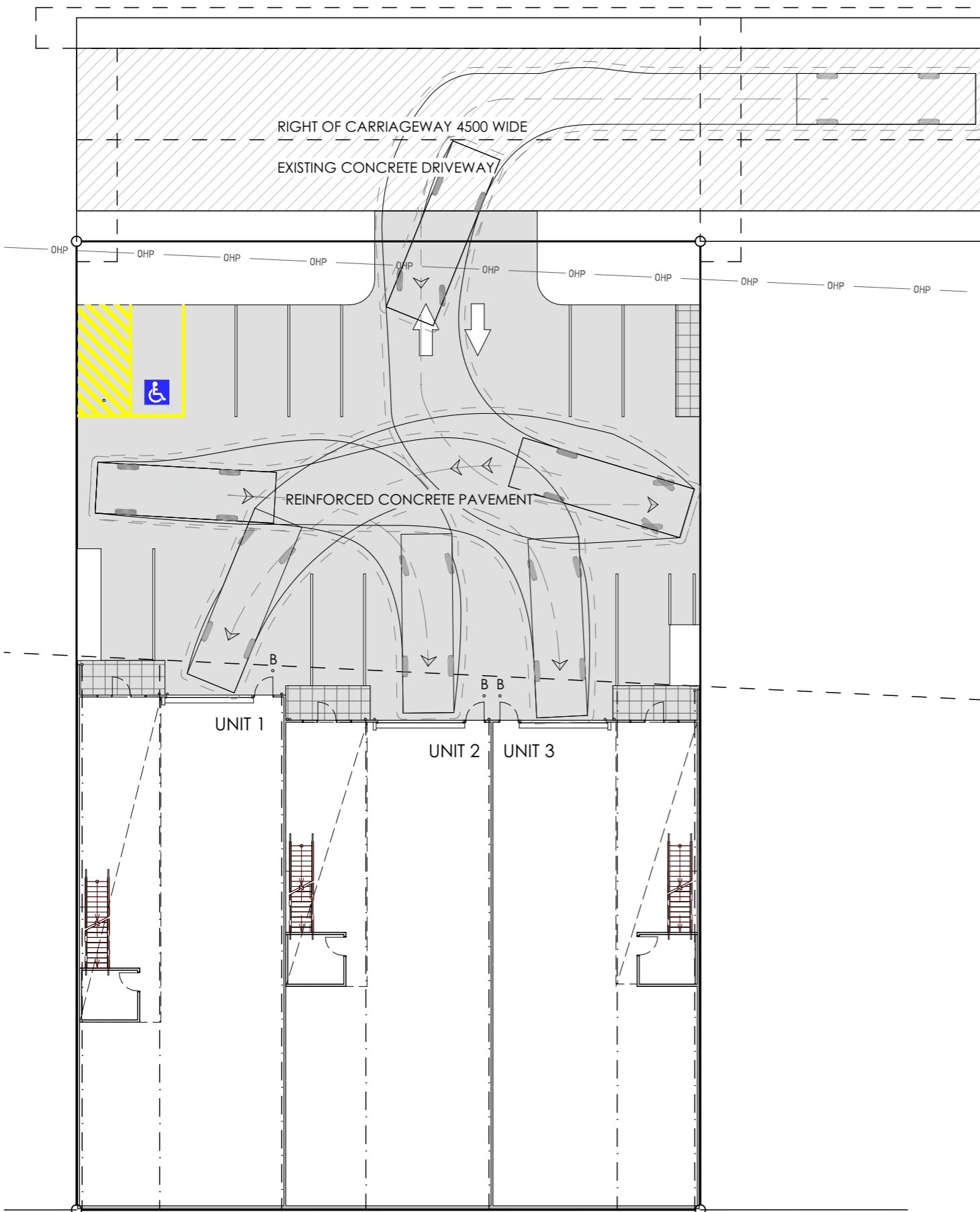
Drawing Title  
**ROOF PLAN**

Project No.    Revision    Drawing No.  
**20322A            3            CD10**

Drawings scaled to an A3 sheet

20322A CDr3.pln Last saved on 1/12/2020 by Mark

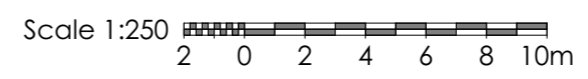
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**SERVICE VEHICLE**

mm

Width : 2500  
Track : 2500  
Lock to Lock Time : 6.0  
Steering Angle : 38.7



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Project Status  
**COMPLYING DEVELOPMENT**

Drawing Title  
**VEHICLE MOVEMENT  
PLAN**

Project No. 20322A      Revision 3      Drawing No. **CD11**

Drawings scaled to an A3 sheet

20322A CDr3.pln Last saved on 1/12/2020 by Mark

**VEHICLE MOVEMENT PLAN**

Scale 1:250

|             |             |                            |              |
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# Berry Park Landscaping

Pty Ltd  
 ABN: 20 003 448 888  
 PO Box 77, Morpeth NSW 2321  
 PH: 02 4930 5138 FAX: 02 4930 5139



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Project Title  
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Project Address  
**14D COBBANS CLOSE  
 BERESFIELD**

Client  
**PRECINCT GROUP**

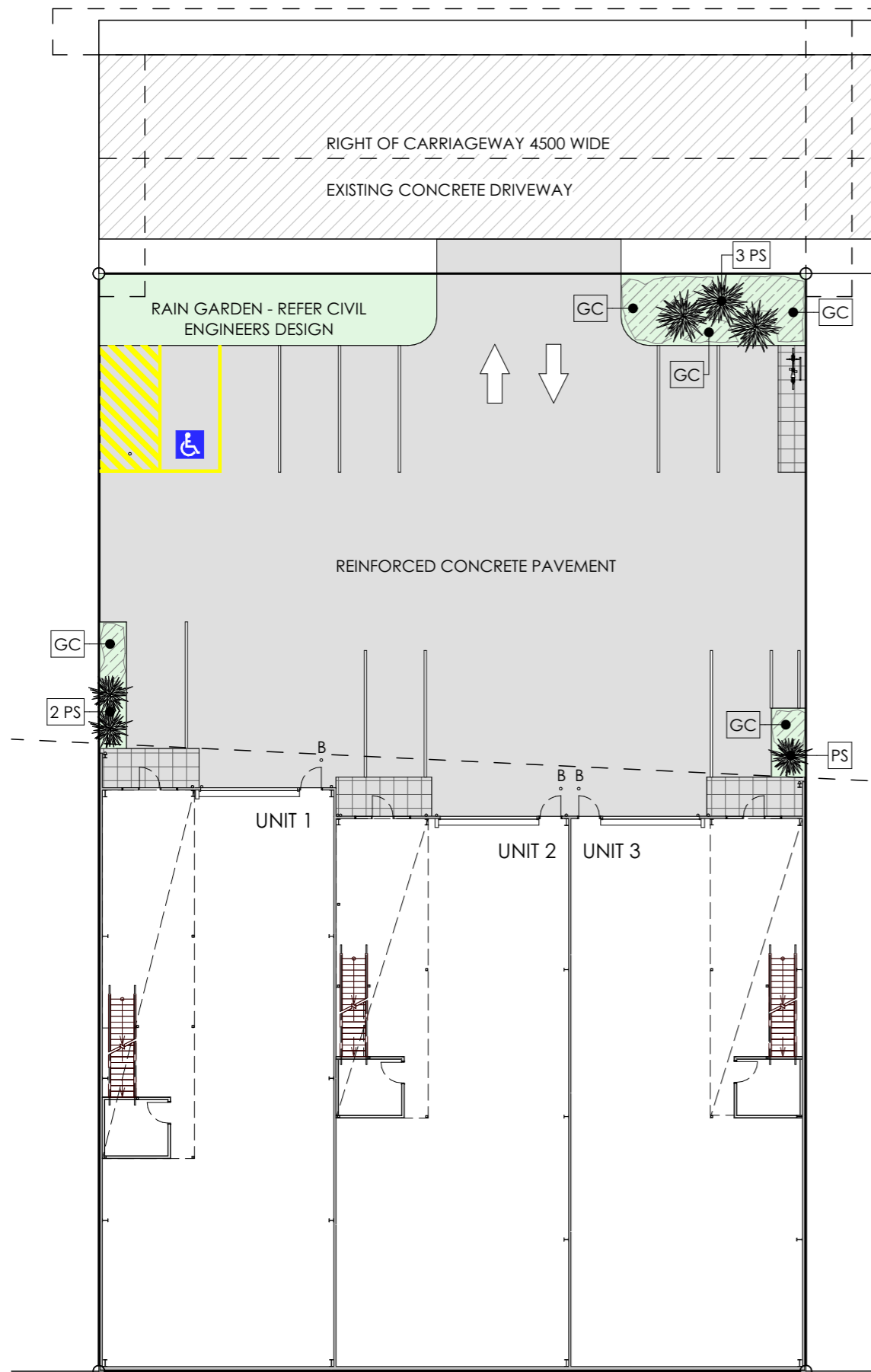
Project Status  
**COMPLYING DEVELOPMENT**

Drawing Title  
**LANDSCAPING PLAN**

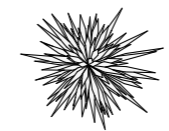

Project No. 20322A      Revision 3      Drawing No. **CD12**

Drawings scaled to an A3 sheet

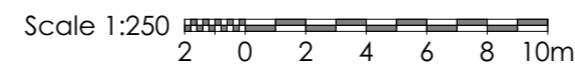
20322A CDr3.pln Last saved on 1/12/2020 by Mark



### LEGEND

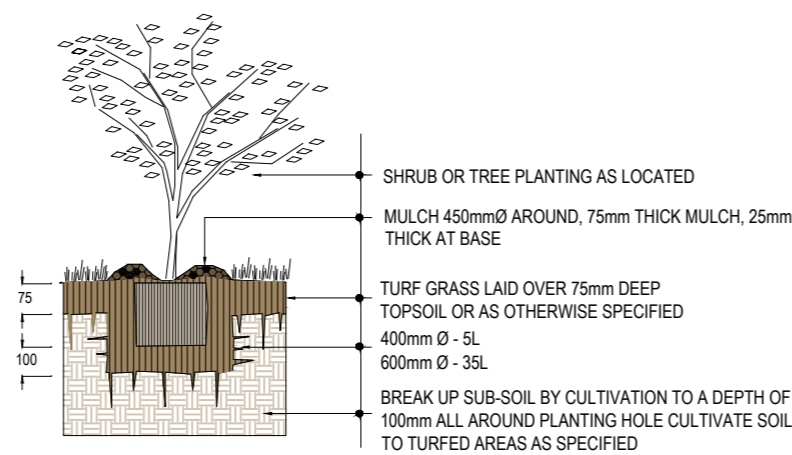
-  PS PURPLE FOUNTAIN GRASS
-  GC GROUND COVER MASS PLANTING

**LANDSCAPING PLAN**  
 Scale 1:250

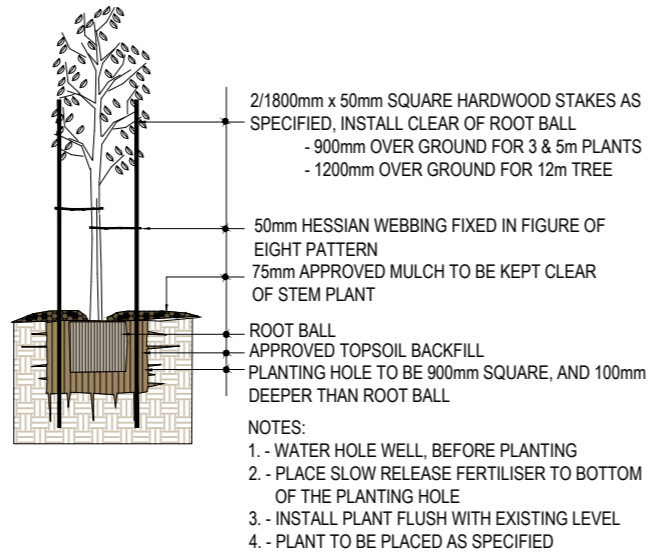


**LANDSCAPING**

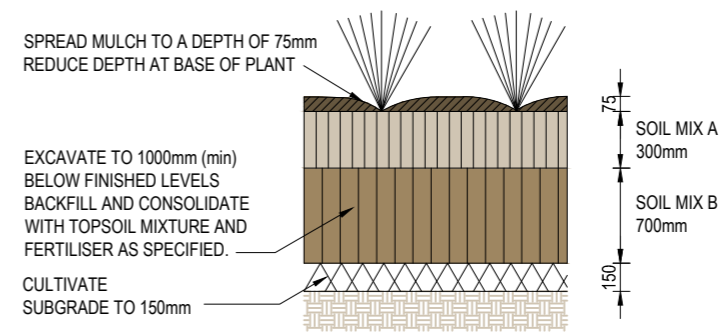
- L1. ALL EXISTING TREES MARKED FOR RETENTION SHALL BE PROTECTED FOR THE DURATION OF BUILDING WORKS. REMOVE FROM SITE ALL PERENNIAL WEEDS SUCH AS OXALIS, ONION WEED AND THE LIKE.
- L2. NO REGRADING IS TO BE CARRIED OUT WITHIN THE DRIP LINE OF THE TREES TO BE RETAINED. WHERE EXCAVATION IS NECESSARY USE HAND METHODS TO AVOID DAMAGE TO THE ROOT SYSTEM. DO NOT CUT ROOTS GREATER THAN 50MM, CUT ROOTS CLEANLY WITH A SAW AND DO NOT SEAL THE WOUND.
- L3. DO NOT STORE, STOCKPILE, DUMP OR OTHERWISE REPLACE UNDER OR NEAR TREES, BULK MATERIALS AND HARMFUL MATERIALS INCLUDING OIL, PAINT, WASTE CONCRETE, CLEARINGS, BOULDERS AND THE LIKE. DO NOT PLACE SPOIL FROM EXCAVATIONS AGAINST TREE TRUNKS, EVEN FOR SHORT PERIODS. PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES & PLANTS.
- L4. PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES.
- L5. DO NOT REMOVE TOPSOIL FROM WITHIN THE DRIP LINE OF TREES UNLESS OTHERWISE SPECIFIED. IF IT IS NECESSARY TO EXCAVATE WITH IN THE DRIP LINE USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED, INTACT AND UNDAMAGED.
- L6. AVOID COMPACTION OF THE GROUND UNDER TREES. IF THE GROUND UNDER TREES HAS BEEN UNDULY COMPACTED DURING THE WORK. LOOSEN THE SOIL BY CORING.
- L7. DO NOT CUT TREE ROOTS EXCEEDING 50MM DIAMETER UNLESS PERMITTED BY THE SUPERINTENDENT. WHERE IT IS NECESSARY TO CUT TREE ROOTS, USE A CHAINSAW OR SIMILAR MEANS SUCH THAT THE CUTTING DOES NOT UNDULY DISTURB OR ROCK THE REMAINING ROOT SYSTEMS. IMMEDIATELY AFTER CUTTING, APPLY AN APPROVED BITUMINOUS FUNGICIDAL SEALANT TO THE CUT SURFACE TO PREVENT THE INCURSION OF ROT OR DISEASE.
- L8. THOROUGHLY CULTIVATE THE SUBSOIL TO THE DEPTHS SPECIFIED.
- L9. TREE PLANTING AREAS TO BE MOUNDED 300MM ABOVE EXISTING GROUND LINE TO IMPROVE DRAINAGE FROM PLANTING HOLES. TREE HOLES TO BE EXCAVATED 2 TIMES LARGER THAN THE ROOTBALL AND BACKFILLED.
- L10. SUPPLY AND PLACE 75MM LAYER OF HARDWOOD HORTICULTURAL GRADE MULCH (GRADED IN SIZE 15MM x 15MM x 15MM. FREE FROM WOOD SLIVERS.) SET DOWN 25MM FROM ADJACENT PAVING.
- L11. APPLY SHIRLEYS NO17 LAWN FERTILISER OR SIMILAR TO SOIL. APPLIED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- L12. ALL PLANTS SHALL BE TRUE TO TYPE OF HEALTHY GROWTH DISEASE FREE NURSERY STOCK AND NOT DISPLAYING RESTRICTED GROWTH PATTERNS. SHOULD THERE BE A REQUIREMENT FOR SUBSTITUTIONS THEY SHALL NOT BE CHANGED WITHOUT PRIOR APPROVAL. NO VARIEGATED STRAIN SHALL BE USED. ALLOW FOR SLOW RELEASE FERTILISER TO ALL PLANTINGS APPLIED AT THE MANUFACTURES RECOMMENDED RATE TO BE SAME OR SIMILAR TO OSMOCOTE.



**TYPICAL TREE OR SHRUB IN TURF**  
NOT TO SCALE



**STAKING & TYING PLANTS WITH GRATE**  
NOT TO SCALE



**MASS PLANTING DETAIL**  
NOT TO SCALE

| PLANT SCHEDULE                               |        |                        |                       |             |            |                            |            |
|--|--------|------------------------|-----------------------|-------------|------------|----------------------------|------------|
| TYPE   | SYMBOL | BOTANICAL NAME         | COMMON NAME           | MATURE SIZE |            | QUANTITY                   | POT SIZE   |
|  |        |                        |                       | HEIGHT (m)  | SPREAD (m) |                            |            |
| SHRUBS                                       | PS     | Pennisetum setaceum    | PURPLE FOUNTAIN GRASS | 3           | 2          |                            | 200mm      |
| GROUND COVERS - MASS PLANTING - SELECT FROM: | GC     | Hardenbergia violacea  | NATIVE SARSAPARILLA   | 0.5         |            | 1 PLANT PER m <sup>2</sup> | TUBE STOCK |
|  |        | Dianella hybrid        | SILVER STREAK         | 0.6         |            |                            |            |
|  |        | Lomandra confertifolia | DWARF MAT RUSH        | 0.5         |            |                            |            |
|  |        | Dianella caerulea      | BLUE FLAX LILY        | 1           |            |                            |            |
|  |        | Lomandra longifolia    | SPINY-HEAD MAT-RUSH   | 1           |            |                            |            |
|  |        | Isolepis nodosa        | KNOBBY CLUB RUSH      | 1.5         |            |                            |            |

| REV. | DATE     | DESCRIPTION                | DRAWN |
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| 2    | 12.10.20 | CLIENT & CERTIFIER COMMENT | MC    |
| 1    | 19.10.20 | ORIGINAL ISSUE             | MC    |

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**LANDSCAPING  
DETAILS & NOTES**

Project No. 20322A      Revision 3      Drawing No. **CD13**

Drawings scaled to an A3 sheet

## GENERAL

- G1. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING AND IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.
- G2. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DESIGNER. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DESIGNER FOR CONSTRUCTION.
- G3. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. IF IN DOUBT REFER TO DESIGNER.
- G4. EMERGENCY LIGHTING & EXIT / EXIT DIRECTION SIGNAGE TO BE INSTALLED TO ALL EGRESS PATHS & INTERNAL STAIRWAYS IN ACCORDANCE WITH AS2293.1- 2018 & BCA CLAUSES E4.2, E4.4, E4.5, E4.6 & E4.8.
- G5. AMENITIES TO BE MECHANICALLY VENTILATED.
- G6. ALL GLAZED ASSEMBLIES TO COMPLY WITH AS1288-2006 AND AS2047-2014 (AS APPLICABLE).
- G7. ALL NEW FLOOR LININGS, FLOOR COVERINGS, WALL LININGS & CEILING LININGS TO COMPLY WITH BCA CLAUSE C1.10.
- G8. EXIT TRAVEL DISTANCES TO BE IN ACCORDANCE WITH BCA CLAUSE D1.4.
- G9. THE MINIMUM UNOBSTRUCTED HEIGHT OF ANY REQUIRED EXIT OR PATH OF TRAVEL TO BE 2000mm THROUGHOUT EXCEPT DOORWAYS (MIN 1980mm) IN ACCORDANCE WITH BCA PART D1.6
- G10. WHERE APPLICABLE – TACTILE INDICATORS TO BE PROVIDED TO INTERNAL STAIRWAYS (TOP & BOTTOM LANDINGS).
- G11. WHERE APPLICABLE – LIFTS TO COMPLY WITH CLAUSES 3.1, 3.3, TABLES E3.6a & E3.6b OF THE BCA AND AS 1735.12. MINIMUM DIMENSIONS 1100mm WIDE x 1400mm DEEP WITH 900mm CLEAR OPENING.
- G12. WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA TABLE F1.7 & AS3740-2010.
- G13. WINDOWS & EXTERNAL SLIDING FRAMED GLAZED DOORS TO COMPLY WITH AS2047-2014.
- G14. ARTIFICIAL LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BCA PART F4.4 & TO COMPLY WITH AS/NZS1680.0-2009
- G15. MECHANICAL VENTILATION TO COMPLY WITH AS1668.2-2012.
- G16. WHERE APPLICABLE – ALL BALUSTRADES TO MEZZANINE FLOOR & STAIRWAYS TO COMPLY WITH BCA CLAUSES D2.16-D2.18, AS1170.1, AS1657 & AS1428.1.
- G17. STAIRWAYS TO COMPLY WITH BCA CLAUSE D2.13, TABLE D2.13, CLAUSE D2.14 AND TABLE D2.14
- G18. DOORS IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF A REQUIRED EXIT TO COMPLY WITH BCA CLAUSE D2.21 OPERATION OF LATCH
- G19. DAMP-PROOFING – TO BE IN ACCORDANCE WITH AS2904 DAMP-PROOF COURSES AND FLASHINGS OR AS3660.1 TERMITE MANAGEMENT – NEW BUILDING WORK.
- G20. CAR PARKING & DRIVEWAY LAYOUT TO COMPLY WITH AS2890.1-2004.
- G21. CONSTRUCTION OF SANITARY COMPARTMENTS TO COMPLY WITH BCA CLAUSE F2.5.
- G22. OUTDOOR LIGHTING TO COMPLY WITH AS 4282-1997
- G23. TERMITE RISK MANAGEMENT SYSTEM TO BE PLACED IN ACCORDANCE WITH BCA CLAUSE B1.4 & AS 3660.1
- G24. PORTABLE FIRE EXTINGUISHERS ARE TO BE PROVIDED IN ACCORDANCE WITH BCA CLAUSE E1.6

## ENERGY EFFICIENCY

- E1. THERMAL CONSTRUCTION TO AIR CONDITIONED SPACE INSULATION MUST BE INSTALLED IN ACCORDANCE WITH BCA CLAUSE 1.2 & COMPLY WITH AS4859.1.
- E2. ROOF & CEILING TO ACHIEVE THE MINIMUM TOTAL "R" VALUE OUTLINED IN TABLE BCA J1.3. CONSTRUCTION OF ROOF TO COMPLY WITH BCA CLAUSE J3.6 (TYPICALLY R3.2) – REFER DETAILS.
- E3. GLAZING TO COMPLY WITH BCA CLAUSE J2.3 & J2.4. REFER GLAZING CALCULATED DATA SHEET (AIR CONDITIONED SPACE ONLY) & AS1288-2006.
- E4. EXTERNAL DOORS TO AIR CONDITIONED SPACE BE SELF CLOSING & SEALED IN ACCORDANCE WITH BCA CLAUSE J3.4.
- E5. AIR CONDITIONING TO COMPLY WITH BCA PART J5.
- E6. NATURAL LIGHTING TO COMPLY WITH BCA CLAUSES F4.2, 4.3 & 4.4.
- E7. ARTIFICIAL INTERIOR LIGHTING TO COMPLY WITH AS1680 & BCA CLAUSES J6.2-6.4.
- E8. ARTIFICIAL EXTERIOR LIGHTING TO COMPLY WITH BCA CLAUSE J6.5.
- E9. VENTILATION TO COMPLY WITH BCA CLAUSES J4.5-4.7.
- E10. HOT WATER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH SECTION 8 AS3500.4 & BCA PART J7.
- E11. EXTERNAL WALLS TO ACHIEVE MINIMUM TOTAL "R" VALUE OUTLINED IN TABLE BCA J1.5b – REFER DETAILS.

## ACCESSIBILITY

- A1. DISABLED ACCESS TO BE PROVIDED IN ACCORDANCE WITH BCA PART D3 & AS1428.1.
- A2. STAIRWAYS TO COMPLY WITH AS1428.1 INCLUDING COMPLIANT RISERS, CONTRASTING NOSE STRIP & TACTILE INDICATORS AT TOP & BOTTOM LANDINGS.
- A3. DOORWAYS TO HAVE MINIMUM CLEAR WIDTH OF 850mm (MINIMUM 920 LEAF DOOR).
- A4. DOOR HANDLES TO BE:  
 - D-TYPE LEVER HANDLES LOCATED BETWEEN 900-1100mm HEIGHT.  
 - CLEARANCE BETWEEN GRIP AND DOOR FACE TO BE 35-45mm IN ACCORDANCE WITH BCA PART D2.22  
 - OPENABLE FROM THE SIDE FACING A PERSON SEEKING EGRESS WITHOUT A KEY
- A5. MINIMUM CLEAR WIDTH OF ACCESS WAYS TO BE 1000mm.
- A6. DOORWAYS INTO & WITHIN THE BUILDING TO HAVE MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN DOOR & JAMB/WALL – MINIMUM WIDTH 50mm IN ACCORDANCE WITH AS1428.1 CLAUSE 13.1.
- A7. FLOOR & GROUND SURFACES TO COMPLY WITH AS1428.1 CLAUSE 7.
- A8. CARPET – AS1428.1 DOES NOT APPLY. CARPET PILE/BACKING THICKNESS AND HEIGHT TO BE IN ACCORDANCE WITH BCA PART D3.3 (g) & (h).
- A9. TACTILE INDICATORS TO BE PROVIDED & INSTALLED IN ACCORDANCE WITH AS1428.4.
- A10. ALL GLAZING ON ACCESSWAYS TO BE CLEARLY MARKED WITH A MIN 75mm WIDE VISION STRIP IN ACCORDANCE WITH BCA PART D3.12 & AS1428.1 CLAUSE 6.6
- A11. DISABLED TOILET TO BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1.

| FIXTURES TO WC        |  |
|-----------------------|--|
| GRAB RAILS            |  |
| DIAMETER              | Ø30-40mm   |
| HEIGHT                | 800-810mm  |
| HAND BASIN            | LIP 770-800mm                                      |
| TOILET ROLL HOLDER    | 700mm MAX  |
| MIRROR                | 900-1850mm   |
| SOAP DISPENSER        | 1000-1100mm  |
| SHOWER                |  |
| BASE OF ADJUSTMENT    | 1000-1100mm  |
| TOP                   | 1880-1900mm  |
| FLUSH CONTROL         | 1100 MAX   |
| DOOR LOCK             | ONE HAND UNLOCK                                    |
|                       | 900-1100mm   |
| DOOR SWING            | OUTWARD/SLIDER                                     |
| FLOOR SURFACE         | SLIP RESISTANT                                     |
| GRADIENT              |  |
| SHOWER                | 1:50-1:60  |
| CIRC. AREA            | 1:70-1:80  |
| ELECTRICAL OUTLET     | 900-1100mm   |
| HEIGHT                |  |
| SIGN                  | DISABLED BRAILLE AS PER AS1428.1 14.4/5            |
| LUMINANCE CONTRAST    | MIN DIFFERENTIAL 30% AS PER AS1428.1 CLAUSE 15.2.3 |
| FINISHED FLOOR        | MAX 3mm AS PER AS1428.1 Section 7                  |
| DIFFERENTIAL SURFACES |  |
| TACTILE INDICATORS    | AS PER BCA PART D3.8                               |
| CIRCULATION SPACE     | 2300 x 1900mm MIN                                  |

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