

WESTERN



AUSTRALIA

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

REGISTER NUMBER

3/D52084DUPLICATE
EDITION
3DATE DUPLICATE ISSUED
10/4/2013VOLUME
2034FOLIO
534

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

LAND DESCRIPTION:

LOT 3 ON DIAGRAM 52084

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

HANSCON HOLDINGS PTY LTD OF PO BOX 936, CANNINGTON

(T M219230) REGISTERED 22/3/2013

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

1. F820536 EASEMENT BENEFIT SEE SKETCH ON VOL 2034 FOL 534. REGISTERED 3/3/1995.
2. F820535 EASEMENT BURDEN SEE SKETCH ON VOL 2034 FOL 534. REGISTERED 3/3/1995.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 2034-534 (3/D52084)
PREVIOUS TITLE: 1474-55
PROPERTY STREET ADDRESS: 381 CANNING HWY, PALMYRA.
LOCAL GOVERNMENT AUTHORITY: CITY OF MELVILLE

WESTERN



AUSTRALIA

REGISTER BOOK
VOL. FOL.

Volume 1474 Folio 55

CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

CT 2034 534

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

G Sack

REGISTRAR OF TITLES



Dated 3rd March, 1995

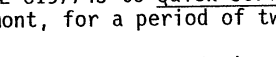
ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Swan Location 70 and being Lot 3 on Diagram 52084, delineated on the map in the Third Schedule hereto, together with a right of carriageway over the portion of Lot 2 on the said Diagram marked 'A' on the said map hereon, together also with the right to enter upon the said portion marked 'A' for the provision of essential services all as set out in Transfer F820536.

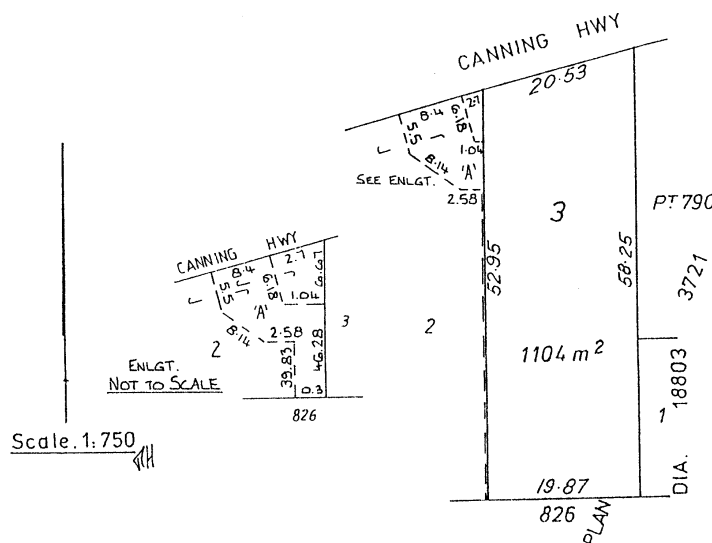
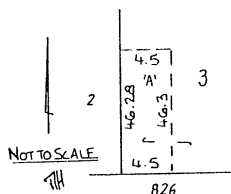
FIRST SCHEDULE (continued overleaf)

~~Tindy Pty Ltd of care of Phipson Nominees Pty Ltd, 10th Floor, National Mutual Centre,
Darwin Place, Canberra, Australian Capital Territory.~~

SECOND SCHEDULE (continued overleaf)

1. LEASE C197743 to Quick Service Restaurants Pty Ltd of 204 Great Eastern Highway, Belmont, for a period of twenty years from 1.5.80. Registered 17.8.81 at 9.46 o'clock.
2. MORTGAGE E201191 to National Mutual Royal Bank Ltd. Registered 28.9.89 at 15.52 hrs. Discharged F820539 3.3.95
3. MORTGAGE E201190 to National Mutual Royal Bank Ltd. Registered 28.9.89 at 15.52 hrs. Discharged F820539 3.3.95
4. TRANSFER F820535. A right of carriageway over the portion of the within land marked 'A' on the map in the margin, together also with the right to enter upon the said portion marked 'A' for the provision of essential services all as set out and determinable in the said Transfer is granted to the proprietor or proprietors for the time being of Lot 2 on Diagram 52084. Registered 3.3.95 at 8.09 hrs.
- 
- NOT TO SCALE

THIRD SCHEDULE



NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

F67590/3/89-20M-L/4664

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

FIRST SCHEDULE (continued)

NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

REGISTERED PROPRIETOR

Novell Properties Pty Ltd of 43 Stirling Highway, Nedlands.

INSTRUMENT		REGISTERED	TIME	SEAL	CERT. OFFICER
NATURE	NUMBER				
Transfer	F820541	3.3.95	8.09		2

SECOND SCHEDULE (continued)

NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

INSTRUMENT		PARTICULARS	REGISTERED	TIME	SEAL	CERT. OFFICER	REGISTERED OR LODGED	NUMBER	CANCELLATION	SEAL	CERT. OFFICER
NATURE	NUMBER										
Mortgage	F820542	to Australia & New Zealand Banking Group Ltd.	3.3.95	8.09							
Transfer of Lease C197743	F961123	to Novell Holdings Pty Ltd of 1st Floor, 78 Mill Point Road, South Perth. (Dup c/t not prod.)	22.8.95	15.09							

CERTIFICATE OF TITLE VOL.2034 FOL534

INSTRUCTIONS

1. This form may be used only when a "Box Type" Form is not provided or is unsuitable. It may be completed in narrative style.
2. If insufficient space hereon Additional Sheet, Form B1, should be used.
3. Additional Sheets shall be numbered consecutively and bound to this document by staples along the left margin prior to execution by the parties.
4. No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialled by the persons signing this document and their witnesses.

NOTES

1. Insert document type.
2. A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult person. The address and occupation of the witness must be stated.

F 820535 E

03 Mar, 1995 08:09 Perth

F 820535 E



REG. \$ 62.00

**AUSTRALIA AND NEW ZEALAND
BANKING GROUP LTD**
A.C.N. 095 357 522
77 ST GEORGES TCE PERTH
PHONE: 323 8287 Box 25

LODGED BY **Michael, Whyte & Co
Barristers & Solicitors**

ADDRESS **41-43 Ord Street
WEST PERTH WA 6005**

PHONE No. **322 1215**

FAX No. **324 1075**

REFERENCE No. **MJH920859**

ISSUING BOX No. **180 Perth**

PREPARED BY **Michael, Whyte & Co
Barristers & Solicitors**

ADDRESS **41-43 Ord Street
WEST PERTH WA 6005**

PHONE No. **322 1215** FAX No. **324 1075**

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN
LODGING PARTY.

*Dup Easement (2) to
issue to William Hughes
Box 139 (P)*

TITLES, LEASES, DECLARATIONS ETC. LODGED HEREWITH

1. *Dup Easement (2)* Received Items
2. *Deed* Nos. **1-2**
3. _____
4. _____
5. _____
6. _____ Receiving Clerk **13**

ENDORISING INSTRUCTION

CT/4

EXAMINED

[Signature]

05390/1/92-5M-OC/664

INITIALS OF
SIGNING
OFFICER

W

[Signature]

REGISTRAR OF TITLES

Registered pursuant to the provisions of the TRANSFER OF LAND ACT
1893 as amended on the day and time shown above and particular
entered in the Register Book.



SCHEDULE

ENCUMBRANCES ON THE GRANTOR'S LAND:

Lease C197743
Mortgage E201190
Mortgage E201191

ENCUMBRANCES ON THE GRANTEE'S LAND

Nil

IN WITNESS WHEREOF the parties hereto have executed this Deed on the date first hereinbefore appearing.

THE COMMON SEAL of
TINDY PTY LTD
(A.C.N. 008 654 199)
was hereunto affixed by
authority of the Directors
in the presence of:



Director:

Robert A. Lapointe

Director/Secretary:

[Signature]

SIGNED by
LIONEL CLIFFORD BIRTLES
in the presence of:

[Signature]

Witness:

[Signature]

Address: 15 Henry Street, FLOREAT 6014

Occupation: Landscape Gardener

NOW THIS DEED WITNESSETH AS FOLLOWS:

1. In consideration of the premises, there being no monetary consideration, the Grantor being registered as the proprietor of an estate in fee simple in the Grantor's Land subject to the encumbrances notified in the Schedule hereto DOES HEREBY TRANSFER AND GRANT to the Grantees a right of carriageway over all that piece of land delineated and coloured yellow on the map attached hereto (hereinafter called "the Land") limited to the termination date of Lease C197743 together with the full and free right and liberty to and for the Grantees and to and for the registered proprietor or proprietors for the time being of the Grantees Land or any part thereof and his, her and their tenants, servants, agents, workmen and visitors to go pass and repass at all times hereafter and for all purposes and either with or without horses or other animals, carts or other carriages or vehicles or motor or other mechanised vehicles laden or unladen from time to time and at all times hereafter to enter upon and into and out from the Land so that the Grantee can exercise the rights pursuant to the right of carriage way hereby granted.
2. The Grantor and the successors in title and assigns of the Grantor's land covenant and agree to maintain the Land in good repair and condition and keep it cleansed, properly lighted and unobstructed at all times.
3. The Grantor grants to the Grantees full right and liberty for the Grantees and their successors in title the owners and occupiers for the time being of the Grantee's land of free and uninterrupted passage and running of water, sewerage, gas, electricity, telephone and other services or supplies to and from the Grantee's Land through, over and along the pipes, drains, mains, channels, gutters, water courses, sewers, wires, cables and all other conducting media which are now or are to be laid in, over or under the Land for the use and enjoyment of the Grantee's land but not for any other purpose.

MH920859.360/4JU Version: 2 02/11/94

BLANK INSTRUMENT FORM

DEED OF EASEMENT

(Note 1)

1st SCHEDULE (Continued) CT 1474-57 orig.

TRANSFER F820535. A right of carriageway over the portion of Lot 3 on Diagram 52084 coloured yellow on the map in Transfer F820535 as set out and determinable in the said Transfer is granted to the proprietor or proprietors for the time being of the within land. Registered 3.3.95 at 8.09 hrs.

TOGETHER ^{ALSO} WITH THE RIGHT TO ENTER UPON THE SAID PORTION OF LOT 3 FOR THE PROVISION OF ESSENTIAL SERVICES. ALL

2nd SCHEDULE (CONT.) CT 1474-55 orig.

TRANSFER F820535. A right of carriageway over the portion of the within land coloured yellow on the map in Transfer F820535 as set out and determinable in the said Transfer is granted to the proprietor or proprietors for the time being of Lot 2 on Diagram 52084. Registered 3.3.95 at 8.09 hrs.


TOGETHER ^{ALSO} WITH THE RIGHT TO ENTER UPON THE SAID PORTION OF THE WITHIN LAND FOR THE PROVISION OF ESSENTIAL SERVICES. ALL

INSTRUCTIONS

1. This form may be used only when a "Box Type" Form is not provided or is unsuitable. It may be completed in narrative style.
2. If insufficient space hereon Additional Sheet, Form B1, should be used.
3. Additional Sheets shall be numbered consecutively and bound to this document by staples along the left margin prior to execution by the parties.
4. No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialled by the persons signing this document and their witnesses.

NOTES

1. Insert document type.
2. A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult person. The address and occupation of the witness must be stated.

F 820536 E
03 Mar, 1995 08:09 Perth


REG. \$ 62.00

**AUSTRALIA AND NEW ZEALAND
BANKING GROUP LTD**
A.C.N. 005 357 822
77 ST GEORGE'S TCE PERTH
PHONE: 323 8287 Box 25

LODGED BY **Michael, Whyte & Co
Barristers & Solicitors**

ADDRESS **41-43 Ord Street
WEST PERTH WA 6005**

PHONE No. **322 1215**

FAX No. **324 1075**

REFERENCE No. **M/H920859**

ISSUING BOX No. **180 Perth**

PREPARED BY **Michael, Whyte & Co
Barristers & Solicitors**

ADDRESS **41-43 Ord Street
WEST PERTH WA 6005**

PHONE No. **322 1215** FAX No. **324 1075**

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN
LODGING PARTY.

*Deed Easement (2)
to issue to Michael
Whyte - Co Box 180 (P)*

TITLES, LEASES, DECLARATIONS ETC. LODGED HERewith

1. *Deed Easement (2)* Received Items
2. *1474/57* Nos. *1-3*
3. _____
4. _____
5. _____
6. _____ Receiving Clerk *AB*

Registered pursuant to the provisions of the TRANSFER OF LAND Act 1893 as amended on the day and time shown above and particulars entered in the Register Book.

INITIALS OF
SIGNING
OFFICER

W

REGISTRAR OF TITLES

*CHAPL B 350159.
CHV F 427797
BNTOWBS.*

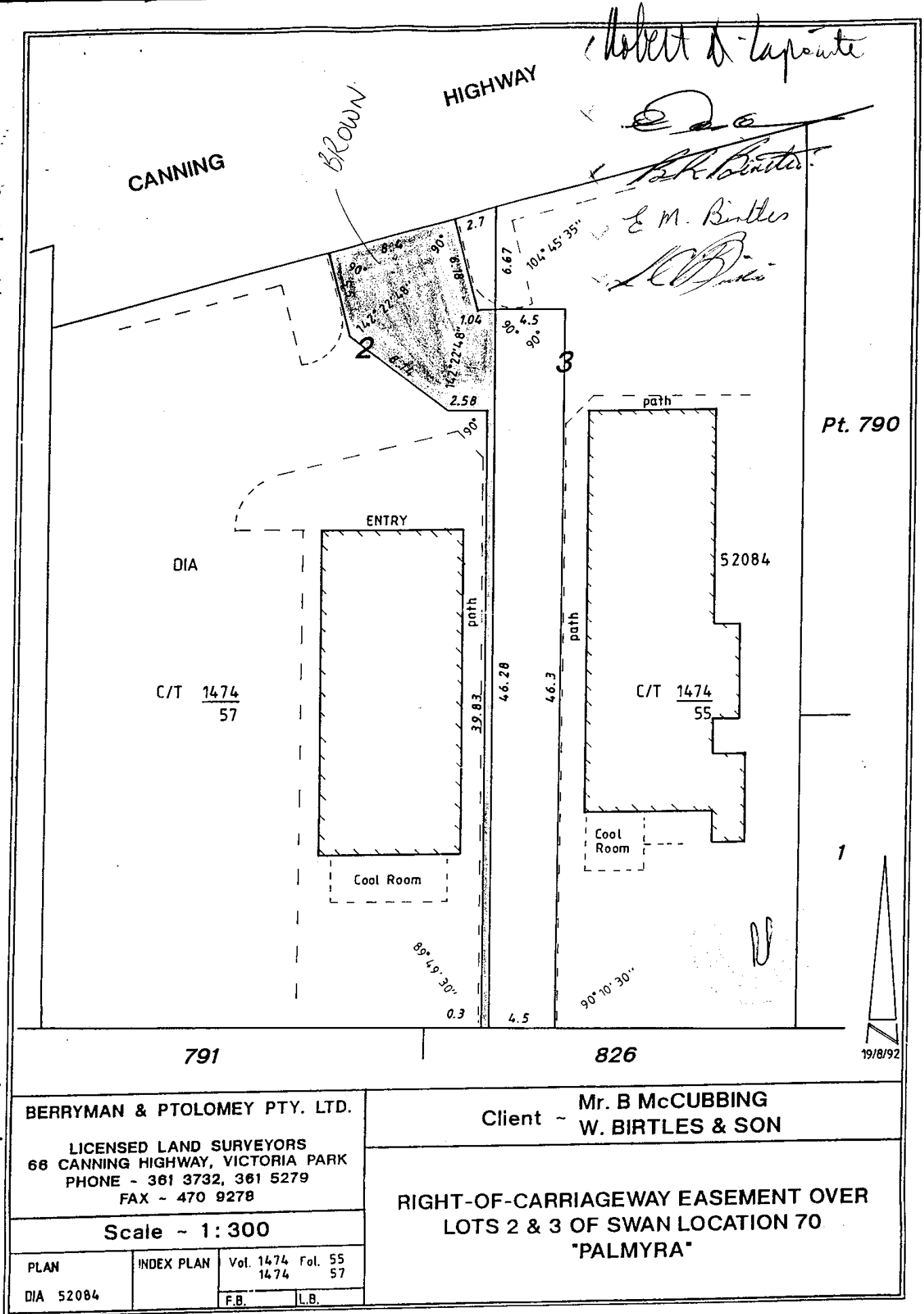
ENDORISING INSTRUCTION

CT14

EXAMINED

P.

05390/1/92-5M-OC/664



SIGNED by ELIZABETH MARY
BIRTLES in the presence of:

) E. M. Birtles

Witness:

K. Beilken

Address:

KATHY MAY BEILKEN
Bank Officer c/- Bank of Western Australia Ltd.
108 St. George's Tce, Perth

Occupation:

THE COMMON SEAL of
TINDY PTY LTD
(A.C.N. 008 654 199)
was hereunto affixed by
authority of the Directors in
the presence of:

Director:

X Robert D. Lapointe

Director/Secretary:

X [Signature]



are to be laid in, over or under the Land for the use and enjoyment of the Grantee's Land but not for any other purpose.

SCHEDULE

ENCUMBRANCES ON THE GRANTOR'S LAND:

~~Nil~~ B350159 and F347707

rep
letter

ENCUMBRANCES ON THE GRANTEE'S LAND:

Lease C197743
Mortgage E201190
Mortgage E201191

IN WITNESS WHEREOF the parties hereto have executed this Deed on the date first hereinbefore appearing.

SIGNED by LIONEL CLIFFORD
BIRTLES in the presence of:

Witness:

Address: 15 Newry Street, FLORENT 6014

Occupation: landscape gardener

SIGNED by BASIL RAYMOND
BIRTLES in the presence of:

)

Witness:

Address:

KATHY MAY BEILKEN
Bank Officer c/- Bank of Western Australia Ltd.
108 St. George's Tce, Perth

Occupation:

- C The Grantors and the Grantee have mutually agreed to grant to each other reciprocal easements of right of carriage way over portion of their lands.

NOW THIS DEED WITNESSETH as follows:

1. In consideration of the premises, there being no monetary consideration, the Grantors being registered as the proprietors of an estate in fee simple in the Grantor's Land subject to the encumbrances notified in the Schedule hereto DO HEREBY TRANSFER AND GRANT to the Grantee a right of carriage way over all that piece of land delineated and coloured brown on the map attached hereto (hereinafter called "the Land") together with the full and free right and liberty to and for the Grantee and to and for the registered proprietor or proprietors for the time being of the Grantee's Land or any part thereof and his her and their tenants, servants, agents, workmen and visitors to go pass and repass at all times hereafter and for all purposes and either with or without horses or other animals carts or other carriages or vehicles or motor or other mechanised vehicles laden or unladen from time to time and at all times hereafter to enter upon and into and out from the Land so that the Grantee can exercise the rights pursuant to the right of carriage way hereby granted.
2. The Grantor and the successors in title and assigns of the Grantor's Land covenant and agree to maintain the Land in good repair and condition and keep it cleansed, properly lighted and unobstructed at all times.
3. The Grantors grant to the Grantee full right and liberty for the Grantee and its successors in title the owners and occupiers for the time being of the Grantee's Land of free and uninterrupted passage and running of water, sewerage, gas, electricity, telephone and other services or supplies to and from the Grantee's Land through, over and along the pipes, drains, mains, channels, gutters, water courses, sewers, wires, cables and all other conducting media which are now or

MH920859.125 Version: 3JU 28 October 1994

THIS DEED OF EASEMENT made this 20th day of December 1994

WESTERN AUSTRALIA STAMP DUTY
21/12/94 14620203 SD \$*****5.00

B E T W E E N:

LIONEL CLIFFORD BIRTLES, BASIL RAYMOND BIRTLES and ELIZABETH MARY BIRTLES all of Bodallin in the State of Western Australia (hereinafter called "the Grantors" which expression includes the Grantors and each of them and their transferees, successors in title and assigns) of the one part

AND

TINDY PTY LTD (A.C.N. 008 654 199) of care of Phipson Nominees Pty Ltd, 10th Floor, National Mutual Centre, Darwin Place, Canberra, Australian Capital Territory (hereinafter called "the Grantee" which expression includes the Grantee and its transferees, successors in title and assigns) of the other part

W H E R E A S:

- A The Grantors are registered as the proprietors of an estate in fee simple subject to the encumbrances notified in the Schedule hereto in all that piece of land being Lot 2 on Diagram 52084 and being the whole of the land comprised in Certificate of Title Volume 1474 Folio 57 (hereinafter called "the Grantors Land").
- B The Grantee is registered as the proprietor of an estate in fee simple subject to the encumbrances notified in the Schedule hereto in all that piece of land being Lot 3 on Diagram 52084 and being the whole of the land comprised in Certificate of Title Volume 1474 Folio 55 (hereinafter called "the Grantees Land").

MH920859.125 Version: 3JU 28 October 1994

FORM B2

WESTERN AUSTRALIA
TRANSFER OF LAND ACT 1893 AS AMENDED.

BLANK INSTRUMENT FORM

DEED OF EASEMENT

(Note 1)

Our Ref. MJH920859
Your Ref.

MICHAEL, WHYTE & Co.

BARRISTERS & SOLICITORS

41-43 ORD STREET, WEST PERTH, 6005
P.O. BOX 993, WEST PERTH, W.A. 6872

TELEPHONE: (09) 322 1215
FACSIMILE : (09) 324 1075
DX : 134

PARTNERS
PETER J. MICHAEL
MALCOLM J. HARFORD
KEVIN C. STAFFA

6 April, 1995

Department of Land Administration
Office of Titles Division
Stopped Documents Section
PO Box 2222
MIDLAND WA 6056

Dear Sir

RE: STOPPED DEALING NO F820532 - 542

Reference is made to our visit to your Midland office and our discussions with Roy in the Stopped Document Section and as a result we request the amendment to Dealing No F820536 in respect to the encumbrance panel be amended to show Charge No B350159 and Caveat F547707 as an encumbrance.

We confirm that all other requisitions have now been answered and enclose our cheque for the sum of \$93.00 being requisition fees due and payable.

We thank you for your assistance.

Yours faithfully

MICHAEL, WHYTE & CO

Michael Whyte

STOP OK

1st SCHEDULE (Continued) CT 1474-55 orig.

TRANSFER F820536. A right of carriageway over the portion of Lot 2 on Diagram 52084 coloured brown on the map in Transfer F820536 as set out in the said Transfer is granted to the proprietor or proprietors for the time being of the within land.
Registered 3.3.95 at 8.09 hrs.

TOGETHER ALSO WITH THE RIGHT TO ENTER UPON THE SAID PORTION OF LOT 2 FOR THE PROVISION OF ESSENTIAL SERVICES ALL

2nd SCHEDULE (CONT.) CT 1474-57 orig.

TRANSFER F820536. A right of carriageway over the portion of the within land coloured brown on the map in Transfer F820535 as set out in the said Transfer is granted to the proprietor or proprietors for the time being of Lot 3 on Diagram 52084.
Registered 3.3.95 at 8.09 hrs.

TOGETHER ALSO WITH THE RIGHT TO ENTER UPON THE SAID PORTION OF THE WITHIN LAND FOR THE PROVISION OF ESSENTIAL SERVICES ALL

D52084

<u>Lot Number</u>	<u>Part</u>	<u>Register Number</u>	<u>Section</u>
2		2034/533	

<u>Lot Number</u>	<u>Part</u>	<u>Register Number</u>	<u>Section</u>
3		2034/534	