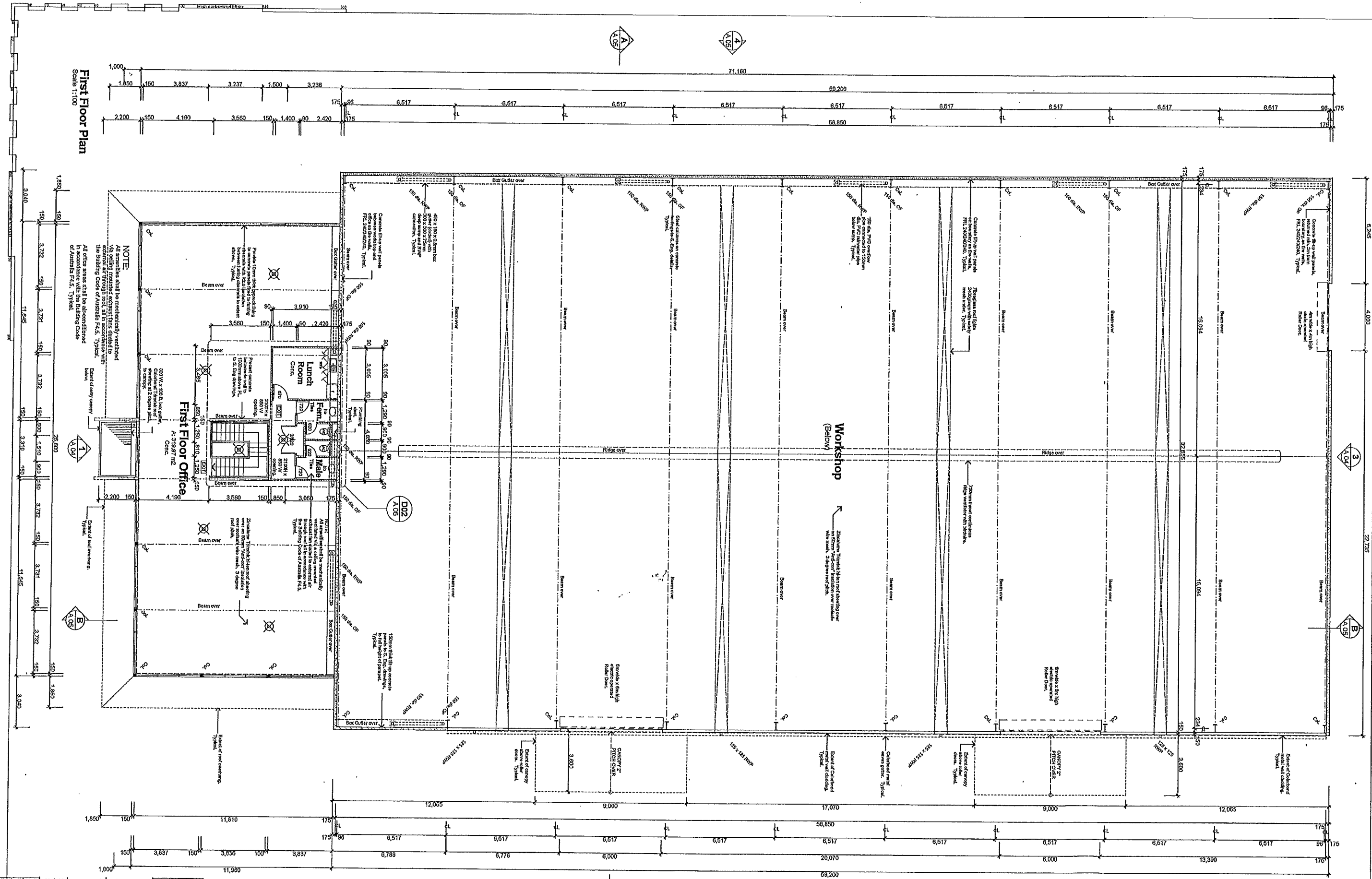


NOTE:
 The contractor shall check all dimensions on the site prior to the commencement of any work and report any discrepancies to the Designer within the deadline.
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First Floor Plan
 Scale 1:100

NOTE
 All members shall be mechanically ventilated via ceiling mounted exhaust fans directed to the Building Code of Australia F4.2, Typical.
 All office areas shall be air-conditioned in accordance with the Building Code of Australia F4.2, Typical.

First Floor Office
 A: 319.97 m²
 CONCL.

Rev.	Description	Date
1	Issue for building license	12.05.10
2	Updated drawings	18.05.10
3	Final drawings	11.05.10
4	Final drawings	11.05.10

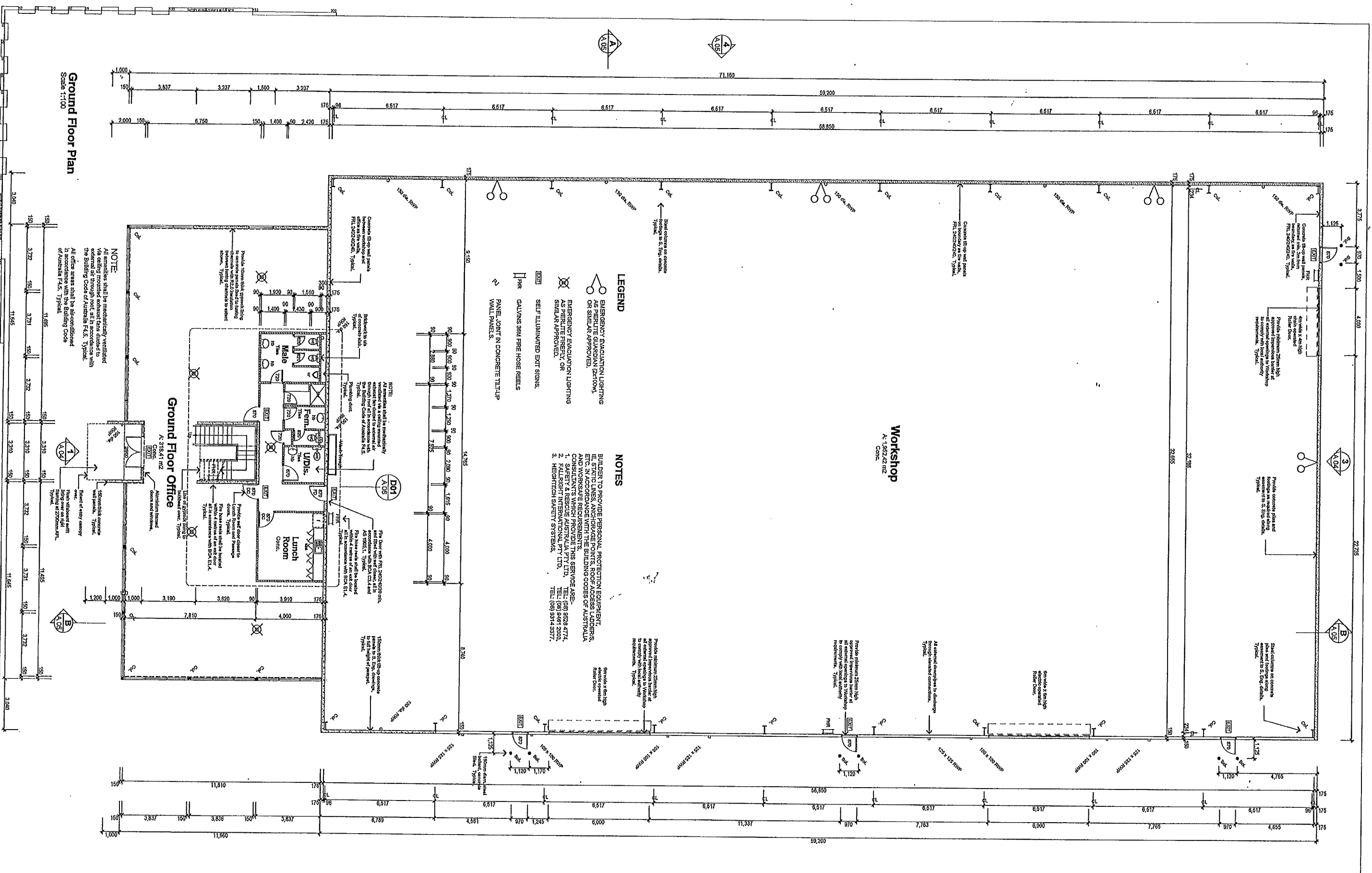
Proposed Development
 Lot 68 Balle Road
 Cannington Vale
 Western Australia 6155

tomasso
 architects

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 T: (08) 9409 2285 F: (08) 9409 2346
 M: 0423 742 571 or tomasso@tomasso.com.au

Project: First Floor Plan
 Designer: Tomasso
 Date: 12/05/10
 Scale: As Shown
 Drawing No: 2
 Proj. Dir.: 250202010 SHW/STB/AT

NOTE:
The Contractor shall check all dimensions
work and report any discrepancies to the
Architect immediately.
O'Connell Tomasso Architects Pty Ltd



Ground Floor Plan
Scale 1:100

NOTE:
All openings shall be mechanically ventilated
via ceiling mounted exhaust fans directed to
external air through roof, all in accordance with
the Building Code of Australia F4.5. Typical.
All doors shall be self-closing
in accordance with the Building Code
of Australia F4.5. Typical.

Ground Floor Office
A: 5718x41 m²

NOTE:
This area shall be mechanically
ventilated via a ceiling mounted
exhaust fan directed to external air
through roof, all in accordance with
the Building Code of Australia F4.5.
Typical.

NOTE:
Fibre door with FRL 240/240/240 min.
in accordance with BCA Cl 4.4.4
AS 1562.1. Typical.
Fibre door shall be located
within a distance of one metre
of the door in accordance with
BCA Cl 4.4.4.

NOTE:
150mm thick tilt-up concrete
panels to 2.7m ceiling.
Typical.

- LEGEND**
- EMERGENCY EVACUATION LIGHTING
AS PER LITE GUARDIAN (2x70W),
ON SHIMULY APPROVED.
 - EMERGENCY EVACUATION LIGHTING
AS PER LITE FREELY, OR
SIMILAR APPROVED.
 - SELF ILLUMINATED EXIT SIGNS.
 - GALVNEAL 3MM FIRE HOSE REELS
 - PANEL JOINT IN CONCRETE TILT-UP
WALL PANELS.

- NOTES**
- BUILDER TO PROVIDE PERSONAL PROTECTION EQUIPMENT,
IE. STATIC LINES, ANCHORAGE POINTS, ROOF ACCESS LADDERS,
ETC. IN ACCORDANCE WITH THE BUILDING CODES OF AUSTRALIA
CONSULTANTS WHICH PROVIDE THIS SERVICE ARE:
1. SAFETY & RESCUE AUSTRALIA PTY LTD. TEL: (08) 8228 4774.
2. FALLRIGHT INTERNATIONAL PTY LTD. TEL: (08) 8487 2000.
3. HIGHTTECH SAFETY SYSTEMS. TEL: (08) 9314 3377.
- Provide minimum 25mm high
approved impervious barrier at
external openings to Workshop
in accordance with BCA Cl 4.4.4
AS 1562.1. Typical.
- Provide minimum 25mm high
approved impervious barrier at
external openings to Workshop
in accordance with BCA Cl 4.4.4
AS 1562.1. Typical.
- Provide minimum 25mm high
approved impervious barrier at
external openings to Workshop
in accordance with BCA Cl 4.4.4
AS 1562.1. Typical.

Workshop
A: 1562x2 m²
Comp.

Provide minimum 25mm high
approved impervious barrier at
external openings to Workshop
in accordance with BCA Cl 4.4.4
AS 1562.1. Typical.

Provide minimum 25mm high
approved impervious barrier at
external openings to Workshop
in accordance with BCA Cl 4.4.4
AS 1562.1. Typical.

Provide minimum 25mm high
approved impervious barrier at
external openings to Workshop
in accordance with BCA Cl 4.4.4
AS 1562.1. Typical.

2.	Issue for building permit.	21.05.19
1.	Updated drawings.	15.05.19
0.	Preliminary issues.	11.05.19
Prep.	Drawings	08.05.19

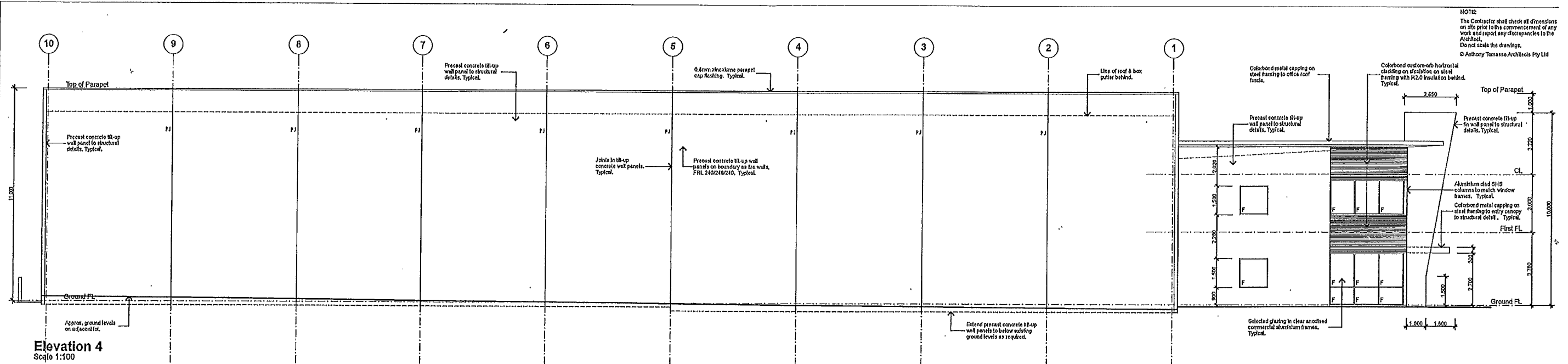
Proposed Development
Lot 69 Balle Road
Canning Vale
Western Australia 6155

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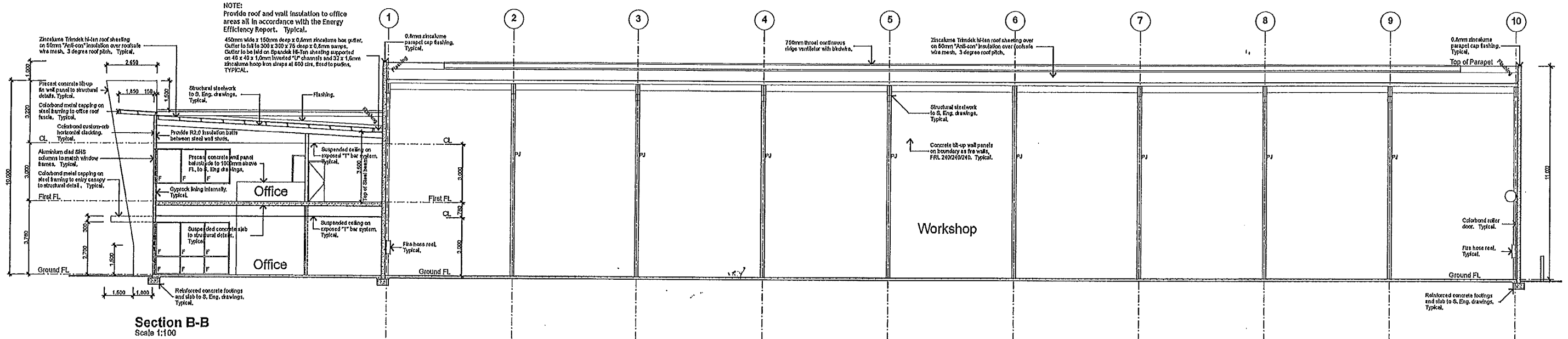
22 Timbercreek Place, Woodvale, WA 6225
T: (08) 2402 2265 F: (08) 2402 2266
M: 0412 745 571 & 0800 696 696
www.tomassoarchitects.com.au

Project No: 250020310
Drawing No: A.02
Scale: As Shown
Date: 21/05/19
Author: Anthony
Designer: Peter
Checker: Anthony

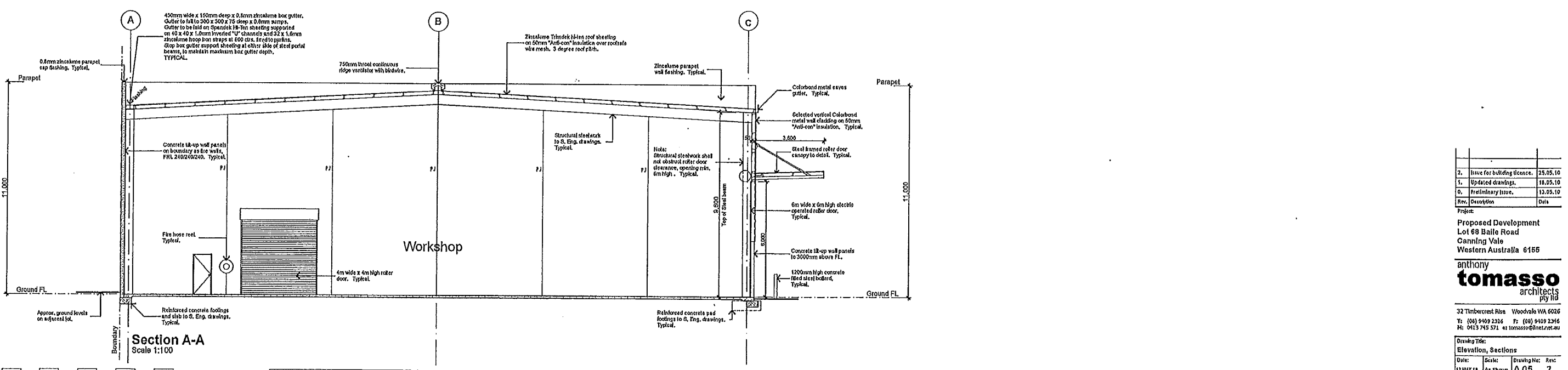
NOTE:
The Contractor shall check all dimensions on site prior to the commencement of any work and report any discrepancies to the Architect.
Do not scale the drawings.
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Elevation 4
Scale 1:100



Section B-B
Scale 1:100



Section A-A
Scale 1:100

2.	Issue for building licence.	25.05.10
1.	Updated drawings.	18.05.10
0.	Preliminary issue.	12.05.10
Rev.	Description	Date

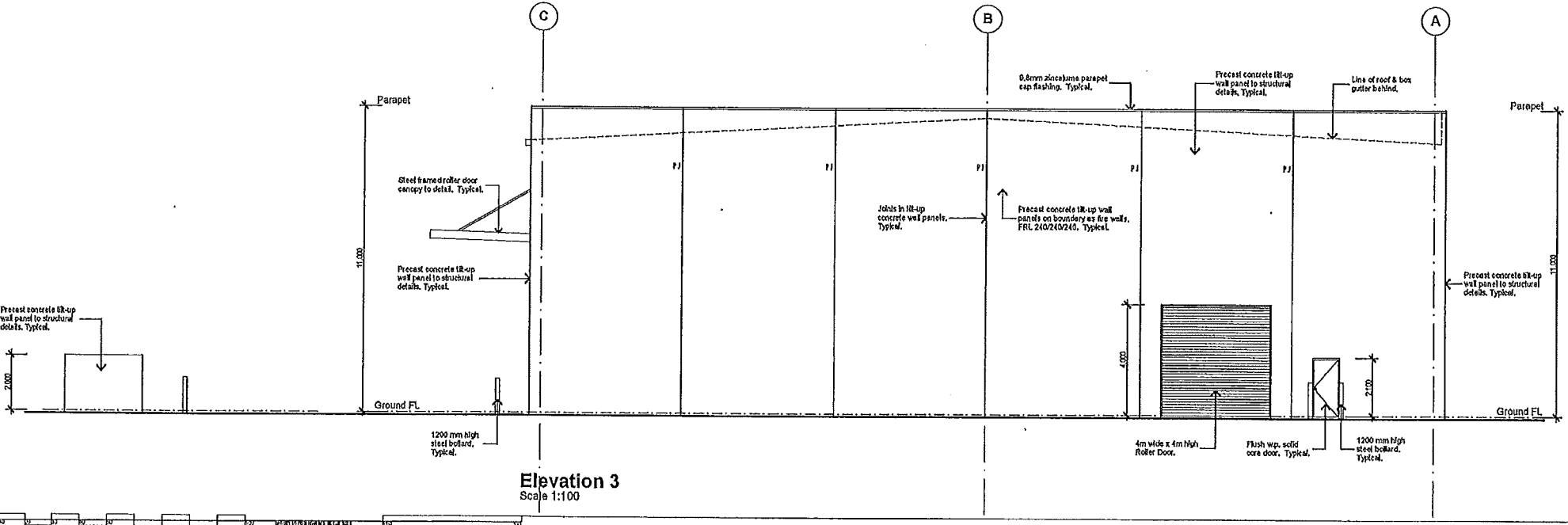
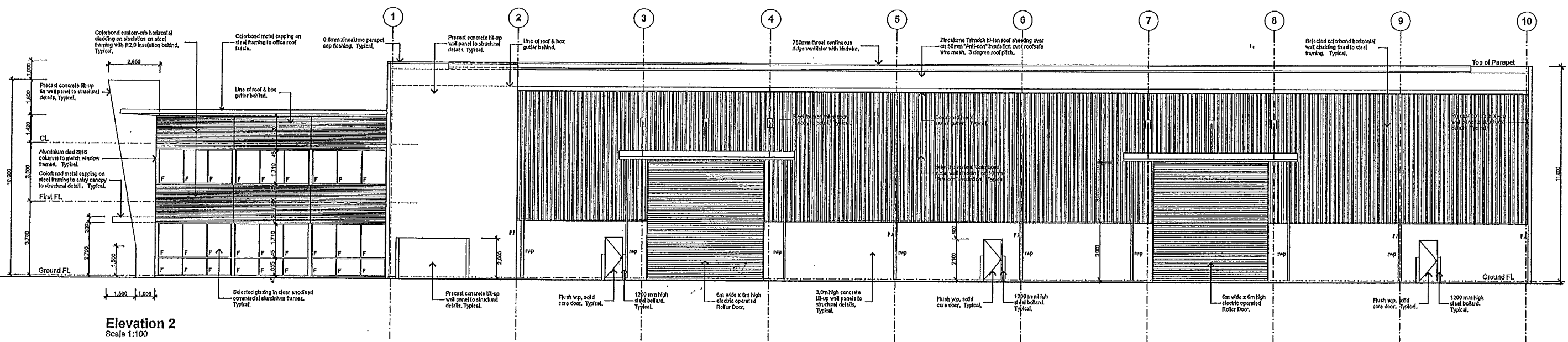
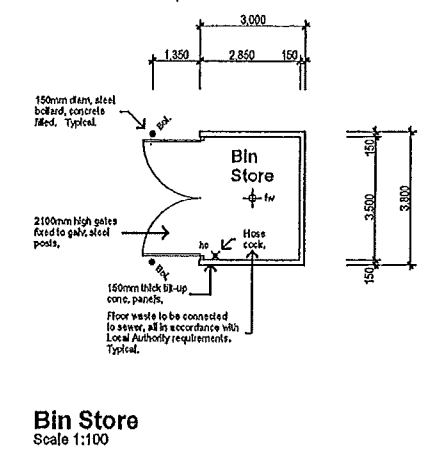
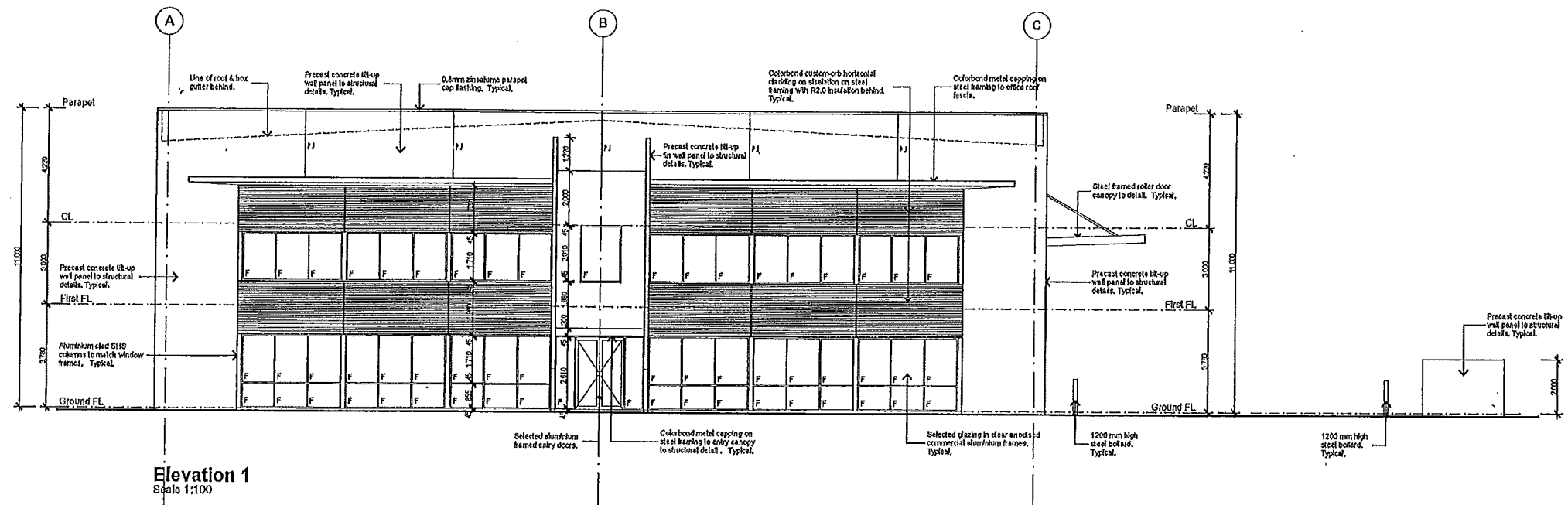
Project:
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Drawing Title:		
Elevation, Sections		
Date:	Scale:	Drawing No: Rev:
11 MAY 10	As Shown	A 05 2.
Plot Date:	25/05/2010	Sheet Size: A1

NOTE:
The Contractor shall check all dimensions on site prior to the commencement of any work and report any discrepancies to the Architect.
Do not scale the drawings.
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Rev.	Description	Date
2.	Issue for building licence.	25.05.10
1.	Updated drawings.	18.05.10
0.	Preliminary Issue.	13.05.10

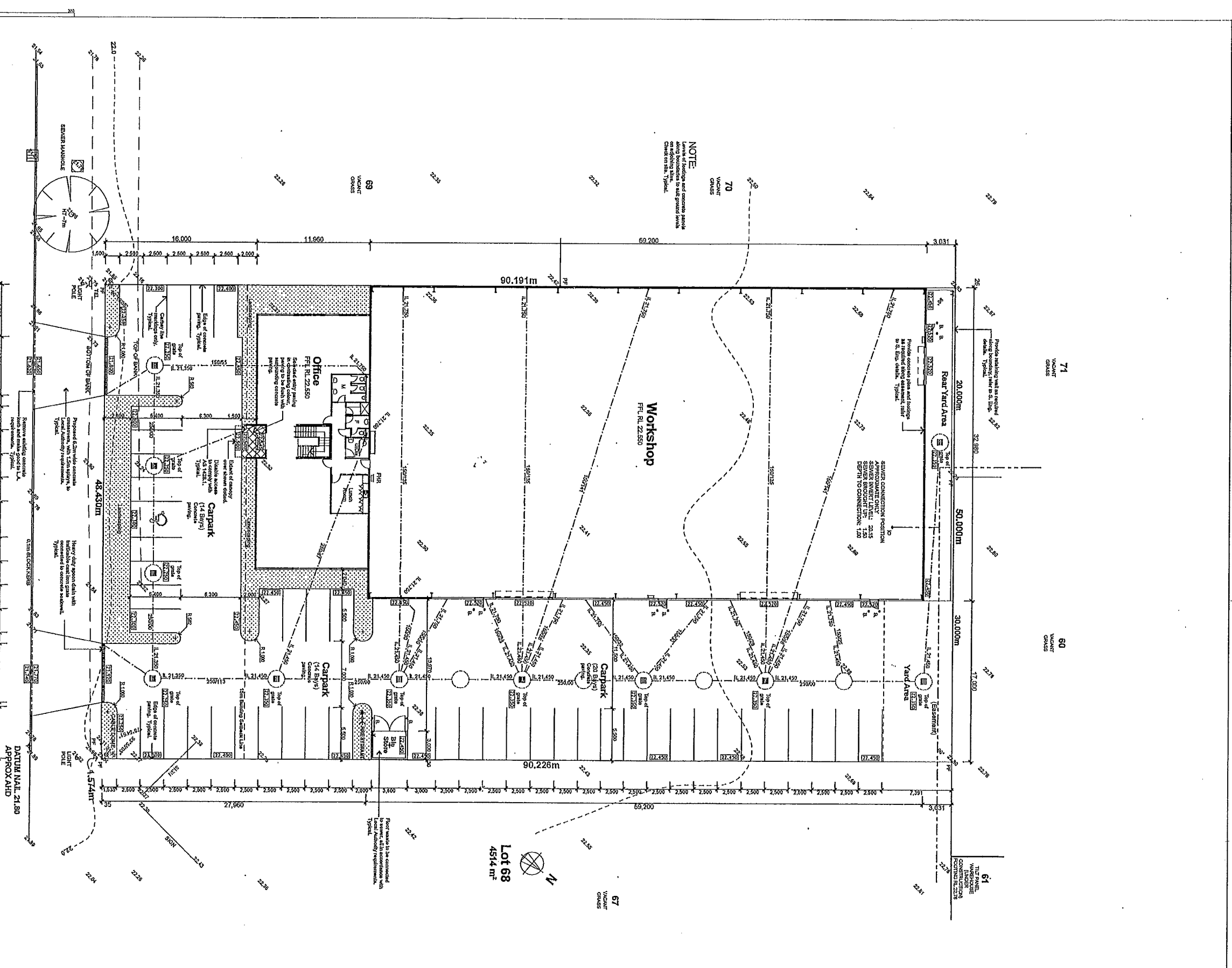
Project:
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Drawing Title:
Elevations
Date: 13 MAY 10
Scale: As Shown
Drawing No: 895
Rev: A 04 2.
Plot Date: 25/05/2010 Sheet Size: A1

NOTE:
The Client shall check all dimensions and areas of the site and confirm the same with the Surveyor and the Council. The Client shall also check the location of all services and confirm the same with the Council. The Client shall also check the location of all services and confirm the same with the Council. The Client shall also check the location of all services and confirm the same with the Council.



Site Plan
Scale 1:200

LEGEND

- Existing contour levels.
- Existing ground and surface levels.
- New floors & Pavement surface levels.
- Stormwater lines either UPVC Sewer grade, PVC Stormwater, or Reinforced Concrete as identified on plan. Stormwater lines shown as grey shaded on plan.
- 1800mm diam x 1800mm effective depth concrete soakwells with heavy duty concrete traffic covers with mild steel grates and frames 500mm square.
- 1800mm diam x 1800mm effective depth concrete soakwells with heavy duty concrete cover in landscaped areas and heavy duty concrete traffic covers in driveways.
- Initial concrete paving to pedestrian paths or similar approved paving.

NOTE:
BUILDER TO PROVIDE PERSONAL PROTECTION EQUIPMENT, INCLUDING HELMETS, GOGGLES, GLOVES, LADDER, ETC. IN ACCORDANCE WITH THE BUILDING CODES OF AUSTRALIA AND WORKSAFE REQUIREMENTS.
CONSULTANTS WHICH PROVIDE THIS SERVICE ARE:
1. SAFETY & RESCUE AUSTRALIA PTY LTD. TEL: (08) 9228 4774, TEL: (08) 9491 4200, TEL: (08) 9514 3377.
2. HEIGHTS SAFETY SYSTEMS.

NOTE:
All structures shall be mechanically ventilated and have a means of extracting air through external air through roof, all in accordance with the Building Code of Australia F4.5. Typical.
All office areas shall be air-conditioned in accordance with the Building Code of Australia F4.5. Typical.

WARNING!
BODILY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

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M: (08) 745 5714 or 0800696666

Drawn By	Checked By	Date
Site Plan	Anthony Tomasso	14.05.16
Site Plan	Anthony Tomasso	14.05.16
Site Plan	Anthony Tomasso	14.05.16

Project: 2005000111 - Sheld-Sher-A1