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## WAREHOUSE UNIT DEVELOPMENT

## WANGARA INDUSTRIAL AREA

**NOTE:**





- 3D IMAGE IS INDICATIVE ONLY.

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DA - ISSUED FOR DEVELOPMENT APPROVAL

Client:  
**Fila Constructions**


Project Title:  
**Lot 154 #40 Volcanic Loop, Wangara**

Cover Page

SHEET SIZE:	A1	DATE:	11.08.20	Project Number:		Drawing Number:	
DRAWN:	CDV	CHECKED:	MB	<b>2042</b>		<b>A0</b>	

SCALE: 1:0.67

REVISION	DATE	DESCRIPTION
A	08.05.20	Preliminary issue for client comments
B	10.09.20	Sketch ammendment
C	15.09.20	Sketch ammendment
D	09.12.20	Issued for Development Approval



QUALITY DESIGN SOLUTIONS

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Φ	SEC Dome
⊕	Power Pole
⊕	Phone Pits
W	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**NOTE:**  
NOTIFICATION  
REFER TO SEC 165 T.P&D, ACT  
SEE DOCUMENT 0224862  
BUSINESS MANAGEMENT PLAN

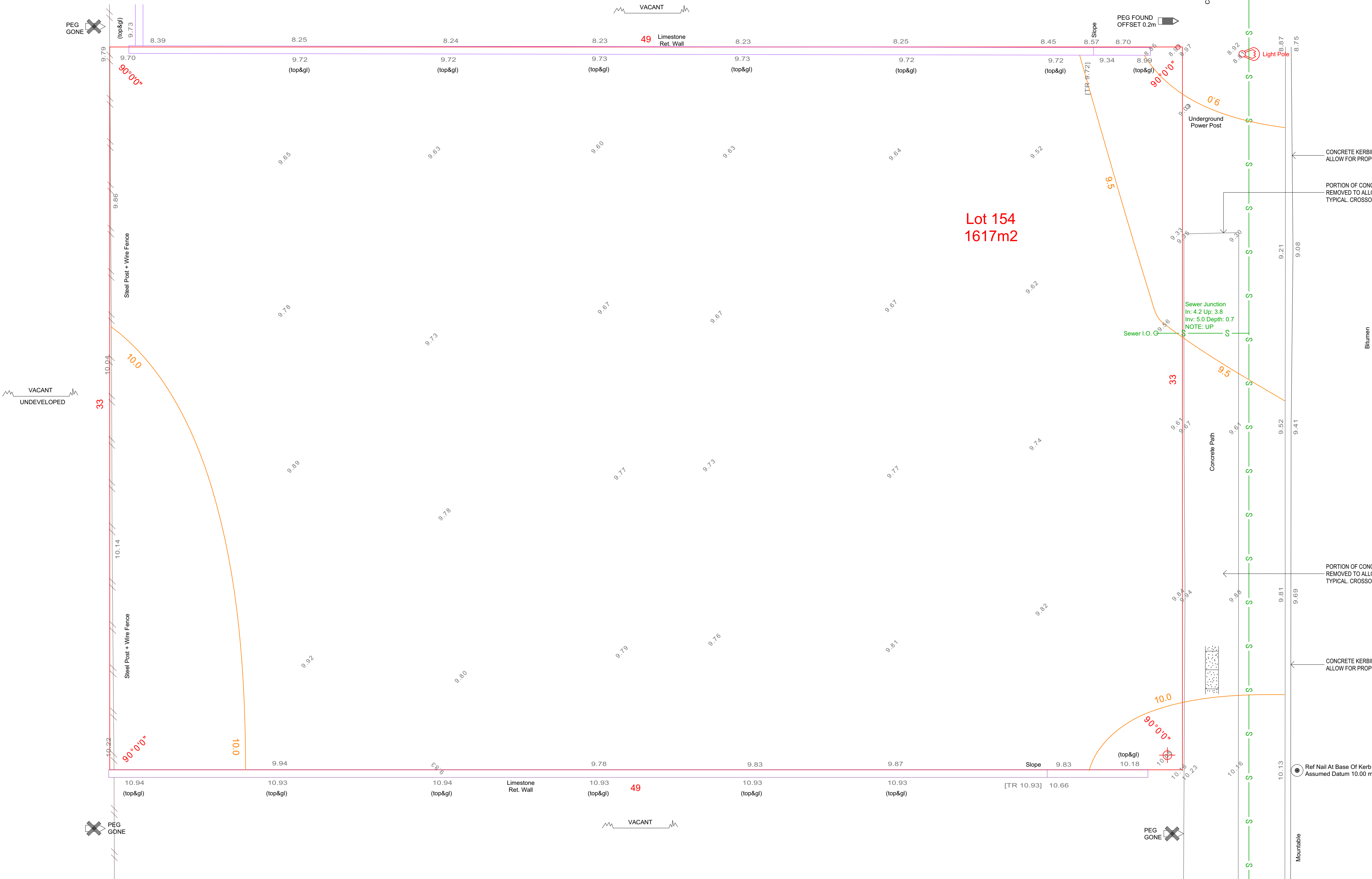
**LOT MISCLOSE**  
0.000 m

**SOIL DESCRIPTION**  
Sand  
Refer to Survey

**BEWARE: POSSIBLE  
SERVICE RUN IN & COST**

Scale 1:200  
0 2 4 6 8

**NOTE:**  
TELSTRA/COMMS. PIT NOT LOCATED  
ADJACENT TO LOT AT TIME OF SURVEY.  
VERIFY AVAILABILITY WITH TELSTRA.



Site Survey Plan  
1:100

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Site Survey Plan

SHEET SIZE: A1 DATE: 11.08.20 Project Number: Drawing Number:

DRAWN: CDV CHECKED: MB 2042 A1

SCALE: 1:100, 1:133.33

REVISION DATE DESCRIPTION

A 08.05.20 Preliminary issue for client comments

B 10.09.20 Sketch amendment

C 15.09.20 Sketch amendment

D 09.12.20 Issued for Development Approval

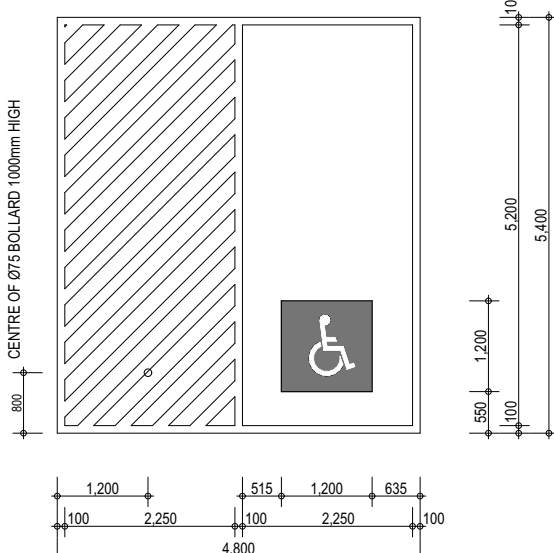


PO Box 2655, Malaga WA 6944  
Email: mike@qds.com.au Mobile: 0403 165 270



ALL CONTRACTORS WORKING ON THIS PROJECT TO CHECK ALL DIMENSIONS AND NOTES PRIOR TO INITIATING ANY WORKS. ALL DISCREPANCIES TO BE NOTIFIED TO THE PROJECT MANAGER STRAIGHT AWAY.

Services Legend	
Symbol	Description
	10A GATE ISOLATOR
	ELECTRICAL DISTRIBUTION BOARD - SUPPLY & BOARD SIZE TBC
	NTD BOARD & GPO - TBC
	SITE MAIN SWITCH BOARD - SUPPLY & BOARD SIZE TBC
	TEMPORARY POWER 10A DOUBLE WP GPO @ 1200



#### Accessible Bay Detail

1:100

##### DISABLED BAY NOTES:

- AS1428.1.2009 - DEDICATED DISABLE PARKING BAYS TO BE MARKED USING YELLOW SLIP RESISTANT SURFACE PAINT.
- PARKING SPACE SHALL BE OUTLINED WITH UNBROKEN LINES 80mm TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDES DELINEATED BY A KERB.
- DIAGONAL STRIPES TO BE BETWEEN 150mm TO 200mm WIDE WITH SPACES 200mm TO 300mm BETWEEN STRIPES.
- THESE STRIPES SHALL BE AT AN ANGLE OF 45 DEGREES TO THE SIDE OF THE SPACE.
- 1200mm x 1200mm SQUARE BOX TO BE PAINTED IN BLUE WITH DISABLE CHAIR SYMBOL TO BE PAINTED IN WHITE IN ACCORDANCE WITH AS1428.1.
- PAVED AREA FOR ENTRY DOORS NOTE: GRADIENTS SHALL NOT EXCEED 1:8 AS PER THE AUSTRALIAN STANDARDS.
- THE DEDICATED DISABLED PARKING SPACE AND WALKWAYS WITHIN OR PARTLY WITHIN THE SHARED AREA SHALL BE OUTLINED ON ALL SIDES EXCEPTING ANY SIDES DELINEATED BY A KERB, BARRIER OR WALL.
- CARPARK NOTE: GRADIENTS SHALL NOT EXCEED 1:40 AS PER THE AUSTRALIAN STANDARDS.

#### DESIGN NOTES

COUNCIL:  
CITY OF WANNEROO  
DISTRICT PLANNING SCHEME No. 2

ZONING:  
GENERAL INDUSTRIAL

SETBACKS:  
PRIMARY STREET - 6m  
SECONDARY STREET - 3m  
SIDE AND REAR BOUNDARIES - NIL

USE DEFINITION:  
WAREHOUSE: MEANS PREMISES USED FOR STORAGE OF GOODS AND MAY INCLUDE THE CARRYING OUT OF COMMERCIAL TRANSACTIONS INVOLVING THE SALE OF SUCH GOODS BY WHOLESALE.

OFFICE: MEANS PREMISES USED FOR ADMINISTRATION, CLERICAL, TECHNICAL, PROFESSIONAL OR OTHER LIKE BUSINESS ACTIVITIES.

#### DESIGN CALCULATIONS

TOTAL SITE AREA:	1617m <sup>2</sup>
BUILDING AREA:	958.88m <sup>2</sup>
PLOT RATIO:	59.30%
REQUIRED LANDSCAPING (8%):	129.36m <sup>2</sup>
PROVIDED LANDSCAPING:	125.91m <sup>2</sup>
PROPOSED WAREHOUSE PARKING: (862.12/50m <sup>2</sup> )	17.24
PROPOSED OFFICE PARKING: (96.76/50m <sup>2</sup> )	1.94
REQUIRED PARKING:	19.18
PROVIDED PARKING:	18.00



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Project Title:

Lot 154 #40 Volcanic Loop, Wangara

Site Plan

SHEET SIZE: A1 DATE: 11.08.20 Project Number: 2042 Drawing Number: A2

SCALE: 1:100, 1:1, 1:200

REVISION DATE DESCRIPTION

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B 10.09.20 Sketch amendment

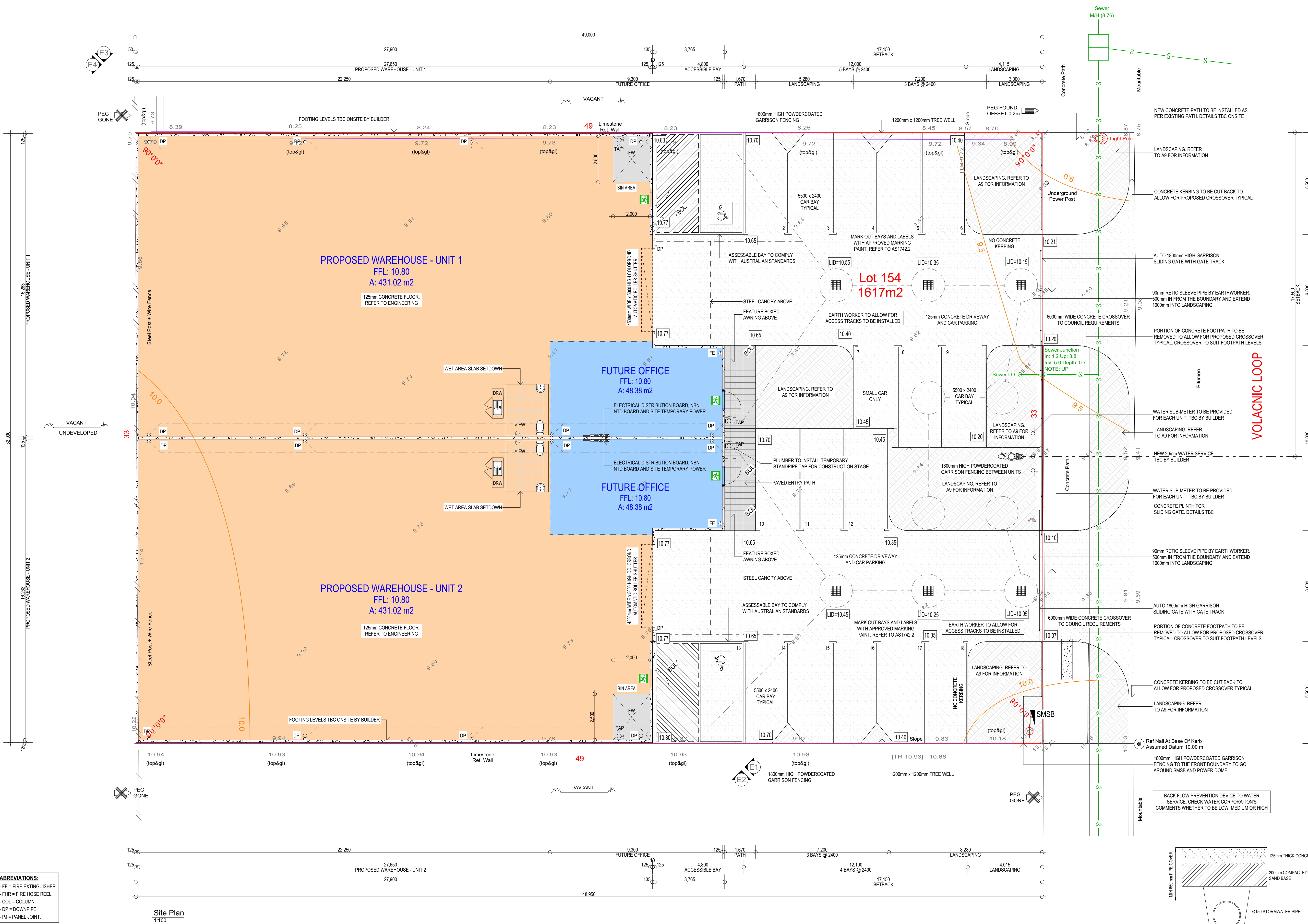
C 15.09.20 Sketch amendment

D 09.12.20 Issued for Development Approval



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ABBREVIATIONS:  
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- FHR = FIRE HOSE REEL  
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- DP = DOWNPIPE  
- PJ = PANEL JOINT

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- ALL BUILDING WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIRED AUSTRALIA STANDARDS AND THE NCC.  
- ALL DIMENSIONS TAKEN TO STRUCTURAL SURFACES UNLESS OTHERWISE NOTED (STUD FRAMING / CONCRETE PANELS ETC). NO ALLOWANCE FOR INTERNAL AND EXTERNAL SHEETINGS. ANY DISCREPANCY CONFIRM WITH OWNER OR BUILDER.  
- CARE SHOULD BE TAKEN TO INCLUDE AN ALLOWANCE IN CALCULATION OF CLEARANCE REQUIRED FOR FIXINGS ETC.

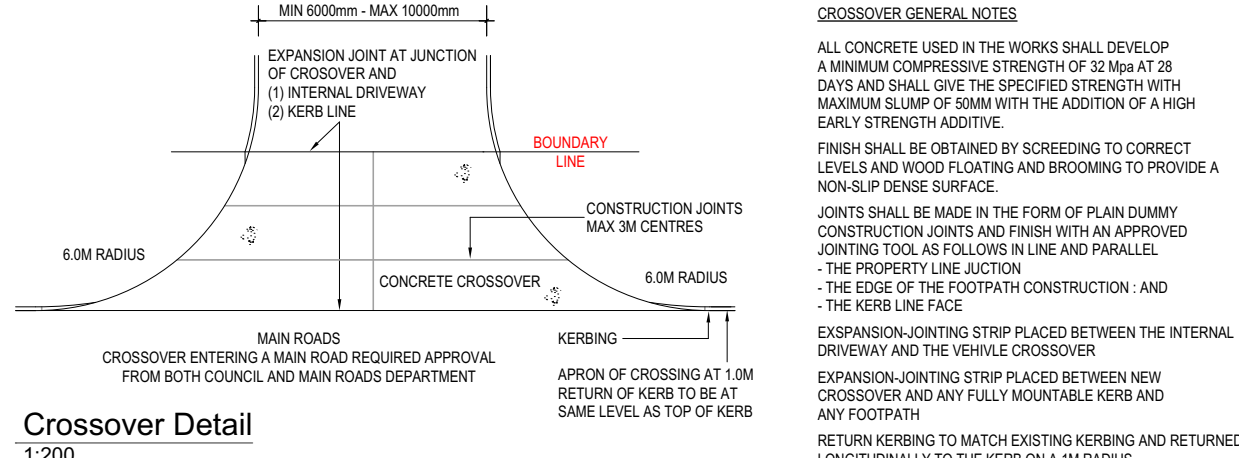
#### SITE NOTES:

- REFER TO A4 ROOF PLAN FOR DOWNPIPE INFORMATION.
- REFER TO A5 LANDSCAPING PLAN FOR BOLLARD LOCATIONS.
- STEEL WORKS TO COMPLY WITH AS4100.
- EXTEND COMPACTION 1.5m PAST THE BUILDING.
- ACCESS AND CARPARKING TO COMPLY WITH AS2890.1.
- NBN TECHNOLOGY FTTP. DEVELOPMENT MUST COMPLY WITH NBN STANDARDS.
- CONCRETE WORKS TO COMPLY WITH AS3600 AND MASONRY WORKS TO COMPLY WITH AS3700.
- TELSTRA PIT AND POWER DOME POSITIONS TO BE CONFIRMED ON SITE. CONDUIT RUNS ARE INDICATIVE ONLY. CONTRACTOR TO CONFIRM ON SITE.

#### STORMWATER NOTES:

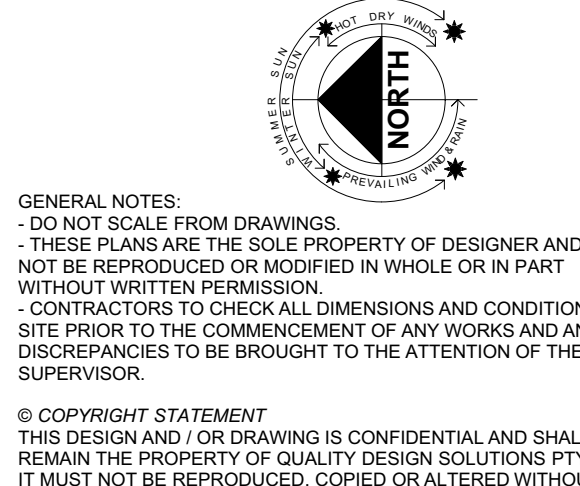
- REFER TO CONSULTANTS PLAN FOR CALCULATIONS AND DETAILS.
- SOAKWELLS WITH TRAFFICABLE GRATED GULLY LID TO BE 1800mm DIA x 1800mm DEEP UNLESS NOTED OTHERWISE.
- SOAKWELLS WITH TRAFFICABLE SOLID LID TO BE 1800mm DIA x 1800mm DEEP UNLESS NOTED OTHERWISE.
- ALL INTERCONNECTING STORMWATER PIPES TO BE 150 DIA UPVC AT 1:100 MIN GRADE WITH 450mm MINIMUM COVER UNLESS NOTED OTHERWISE.
- ALL STORMWATER DRAINAGE AND PLUMBING TO COMPLY WITH AS3500.3.

ALL CARPARK & DRAINAGE DESIGN WORK CARRIED OUT & CERTIFIED BY:  
Stace Rogers  
Assoc Dip Civ Eng (AMEI/Aust)  
SIR Civil Consulting Pty Ltd  
30 North Road  
BASSENDEAN WA 6054  
Email: stace@stacecivilconsulting.com  
Ph: (08) 9379 9481 or 0447 112 481



#### Stormwater Detail

1:100

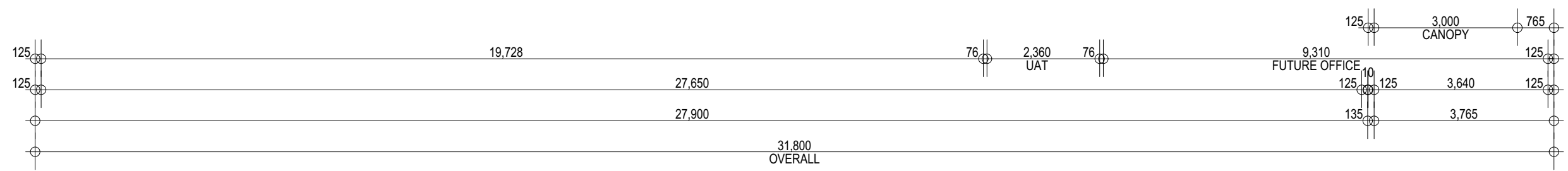
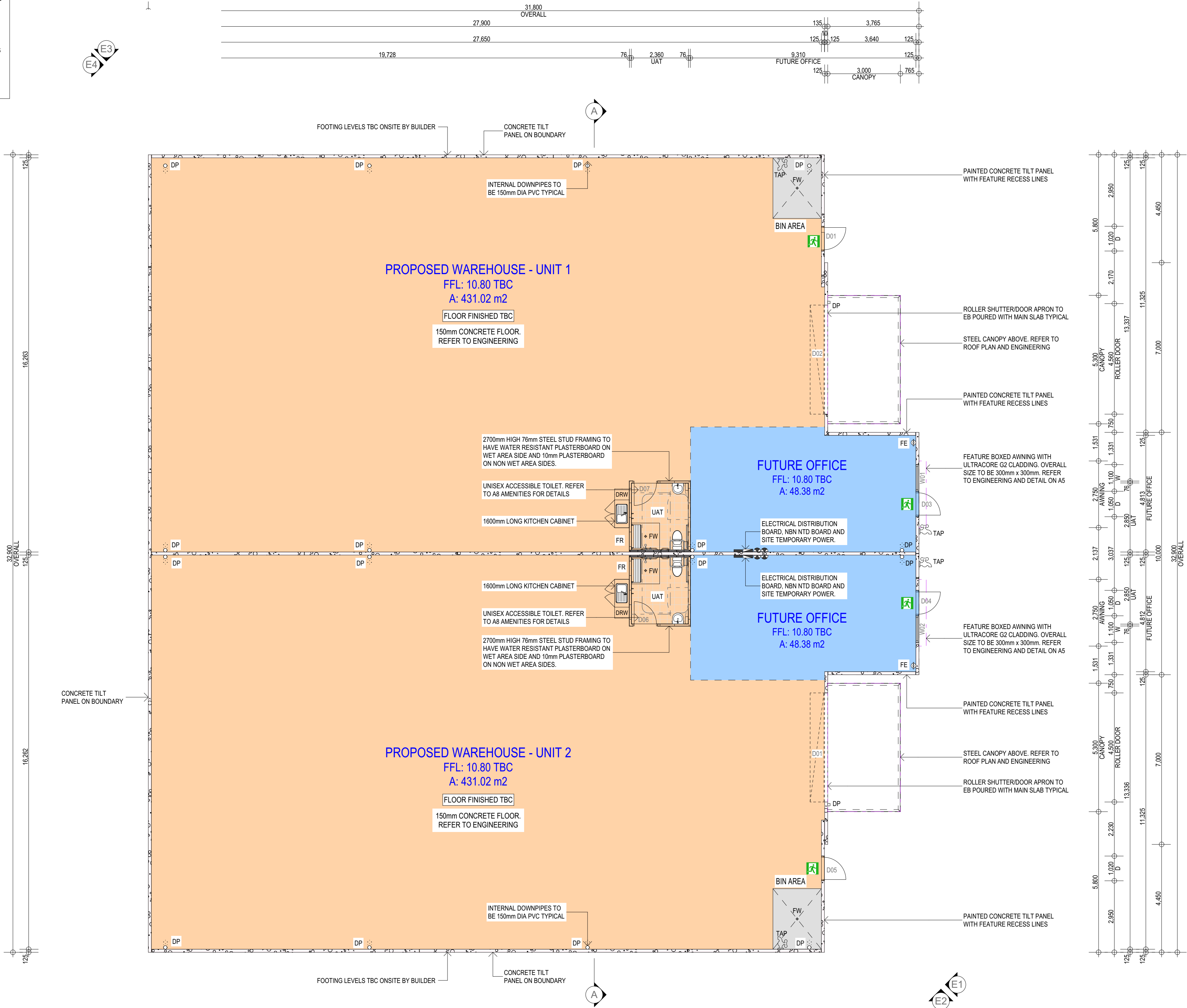


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Ground Floor Plan  
1:100

ABBREVIATIONS:

- FE = FIRE EXTINGUISHER.
- FHR = FIRE HOSE REEL.
- COL = COLUMN.
- DP = DOWNPIPE.
- PJ = PANEL JOINT.

CDC INFORMATION:

NCC VERSION: VOLUME 1 2019  
CLIMATE ZONE: ZONE 5  
CLASSIFICATION:  
CLASS 7b (WAREHOUSE)  
CLASS 5 (OFFICE)  
TYPE OF CONSTRUCTION: TYPE C  
RISE IN STOREYS: 1  
GENERAL FLOOR AREAS (m<sup>2</sup>): 958.88

EXIT DOOR NOTES:

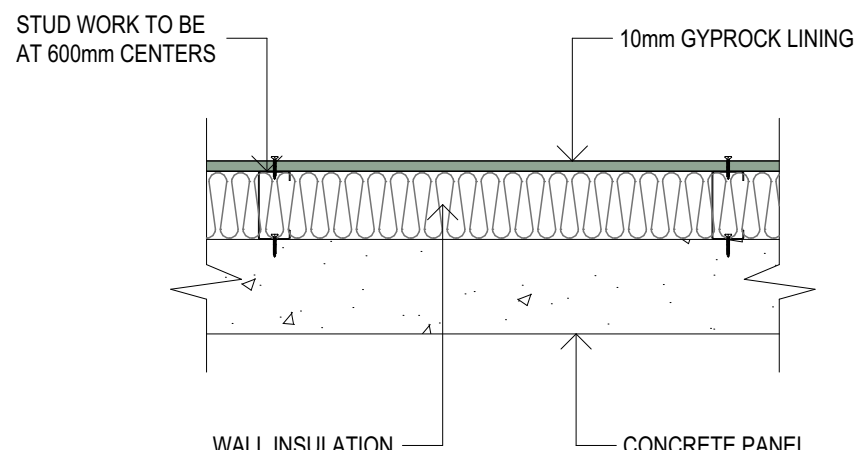
- ALL EXIT DOORS TO COMPLY WITH NCC AND AUSTRALIAN STANDARD REQUIREMENTS.
- REFER TO DOOR SIGNAGE DETAIL FOR ADDITIONAL REQUIREMENTS.
- THE LATCHING MECHANISM ON REQUIRED EXIT DOORS IS TO BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS BY A SINGLE HAND DOWNWARD ACTION OR PUSHING DEVICE WHICH IS LOCATED BETWEEN 900mm & 1100mm ABOVE FFL.
- ALL EXIT DOORS TO SWING IN THE DIRECTION OF EGRESS.
- DOORWAYS ON A CONTINUOUS PATH OF TRAVEL SHALL HAVE 850mm CLEAR OPENING.
- ALL DOORWAYS SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% BETWEEN THE DOOR SYSTEM COMPONENT AND WALLS.
- CLEARANCE BETWEEN THE DOOR HANDLE AND DOOR FACE SHALL BE 35mm.

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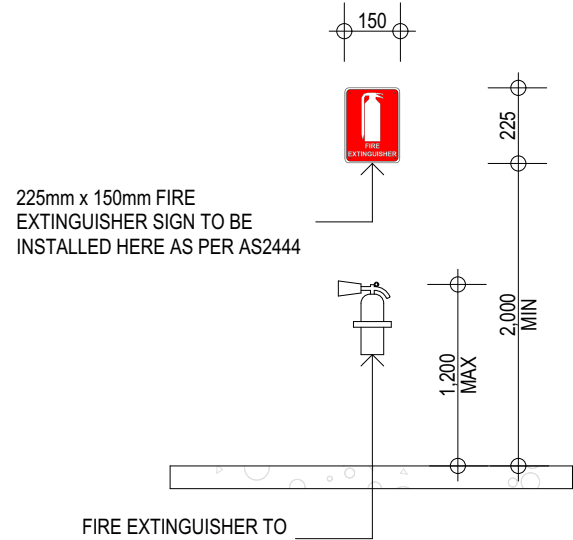
FLOOR PLAN NOTES:

- REFER TO A4 FOR ALL ROOF PLAN AND DOWNPIPE INFORMATION.
- REFER TO A7 FOR ALL ELECTRICAL AND CEILING WORKS.
- REFER TO A8 FOR ALL AMENITIES LAYOUTS DETAILS AND INFORMATION AND ALL DOOR AND WINDOW SCHEDULE INFORMATION.
- REFER TO ENERGY REPORT FOR ALL ROOF, CEILING AND WALL INSULATION REQUIREMENTS.
- STEEL WORKS TO COMPLY WITH AS4100.
- ALL STORMWATER DRAINAGE AND PLUMBING TO COMPLY WITH AS3500.3.
- TIMBER WORKS SHALL COMPLY WITH THE LIGHT TIMBER FRAMING CODE AS1684.
- ALL CLADDING TO BE COMPLIANT NON-COMBUSTABLE. DETAILS TO BE CONFIRMED.
- CONCRETE WORKS TO COMPLY WITH AS3600 AND MASONRY WORKS TO COMPLY WITH AS3700.
- TERMITE MANAGEMENT AS PER NCC CLAUSES B1.4 & F1.9 AND IN ACCORDANCE WITH AS3660 PART 1.
- FIRE HOSE REEL'S TO COMPLY WITH AS2441 AND FIRE EXTINGUISHERS TO COMPLY WITH AS2444 AND AS3745.
- AIR-CONDITIONING SYSTEMS TBC. ALLOWANCE TO BE MADE FOR TUNISH AND LOCATION TO BE CONFIRMED ON SITE.
- VENTILATION, AIR-CONDITIONING AND MECHANICAL SYSTEMS TO BE DESIGNED AND INSTALLED AS PER NCC AND AS1668.2. REFER TO ENERGY REPORT PARTS J5 AND J6.
- ALL EXIT DOORS WITH ILLUMINATED SIGNS TO HAVE BRAILLE SIGNAGE. INSTALL BRAILLE/TACTILE SIGNAGE AS PER NCC CLAUSE D3.6 AND IN ACCORDANCE WITH AS1428.1.



Insulation Detail  
1:10

REFER TO ENERGY REPORT  
FOR INSULATION RATING

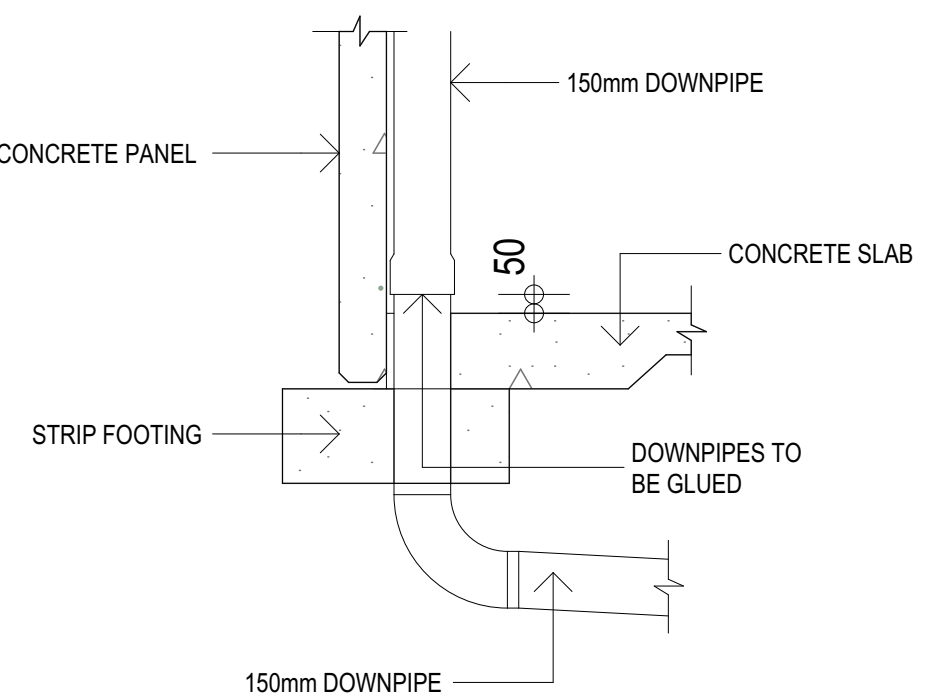


Fire Extinguisher Sign  
1:50

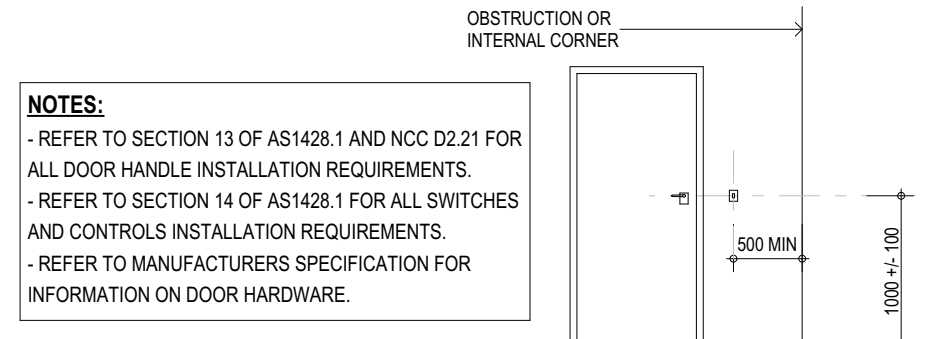
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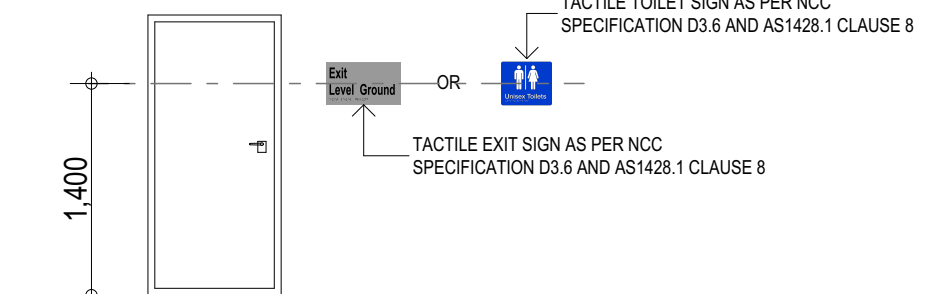
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Downpipe Detail  
1:20



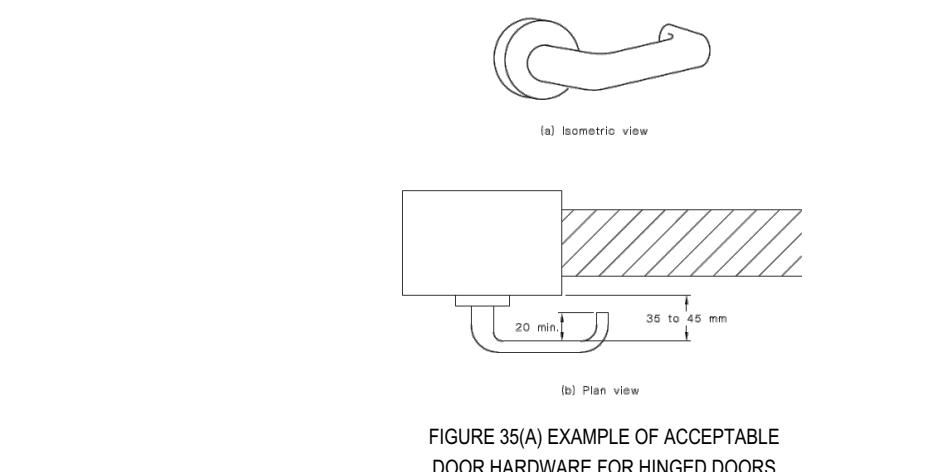
Door Switch & Signage Detail  
1:50



Door Braille and Signage Detail  
1:50

NOTES:  
- REFER TO AS1428.1, NCC D2.23 AND D3.6 FOR SIGNAGE REQUIREMENTS.  
- SIGNS TO BE LOCATED BETWEEN 1200 - 1600 ABOVE FFL.  
- SIGNS TO BE LOCATED ON THE SIDE THAT FACES A PERSON SEEKING EGRESS AND ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50mm AND 300mm FROM THE ARCHITRAVE.  
- TACTILE CHARACTERS TO BE BETWEEN 1250 - 1350 ABOVE FFL.  
- EXIT SIGNAGE MUST STATE "EXIT" AND "LEVEL" FOLLOWED BY THE FLOOR NUMBER.

Door Braille and Signage Detail  
1:50



NOTES:  
- REFER TO SECTION 13.5.2 OF AS1428.1 AND NCC D2.21 FOR ALL DOOR HANDLE INSTALLATION REQUIREMENTS.  
- REFER TO MANUFACTURERS SPECIFICATION FOR INFORMATION ON DOOR HARDWARE.  
- PUSH DOWN LEVERS TO ALL DOORS THROUGHOUT BUILDING FOR EMERGENCY ACCESS TO COMPLY WITH ALL RELEVANT STANDARDS.

Door Control Detail  
1:50



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Ground Floor Plan

SHEET SIZE:	A1	DATE:	11.08.20	Project Number:		Drawing Number:	
DRAWN:	CDV	CHECKED:	MB	2042		A3	

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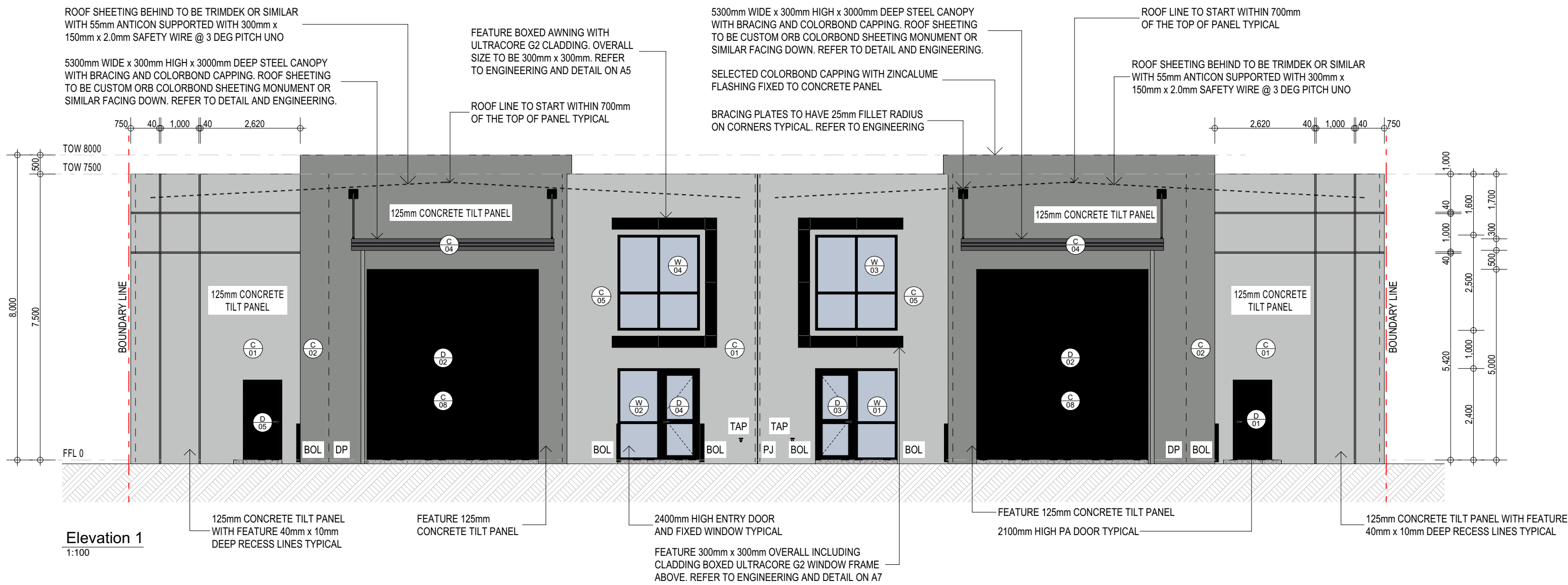
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- REFER TO A8 FOR ALL DOOR AND WINDOW SCHEDULE INFORMATION.
- REFER TO A9 FOR ALL LANDSCAPING DETAILS, BOLLARD DIMENSIONS AND PATH DIMENSIONS.
- REFER TO ENERGY REPORT FOR DETAILS ON GLASS RATINGS.
- ALL TOPS OF PANELS TO HAVE SELECTED COLORBOND CAPPING.
- PREPARATION AND APPLICATION OF TEXTURE PAINT TO COMPLY WITH AS2311.
- ALL CLADDING TO BE COMPLIANT NON-COMBUSTABLE, DETAILS TO BE CONFIRMED.

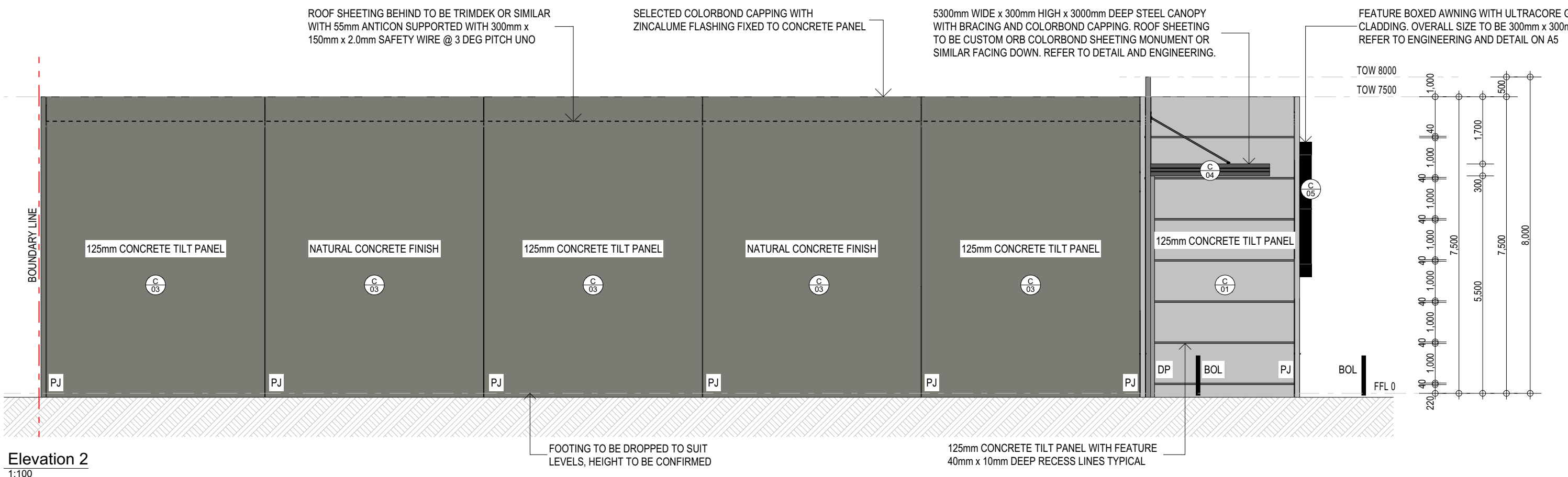
ALL CONTRACTORS WORKING ON THIS PROJECT TO CHECK ALL DIMENSIONS AND NOTES PRIOR TO INITIATING ANY WORKS. ALL DISCREPANCIES TO BE NOTIFIED TO THE PROJECT MANAGER STRAIGHT AWAY.

**MATERIAL & COLOUR SCHEDULE - COLOURS TBC:**

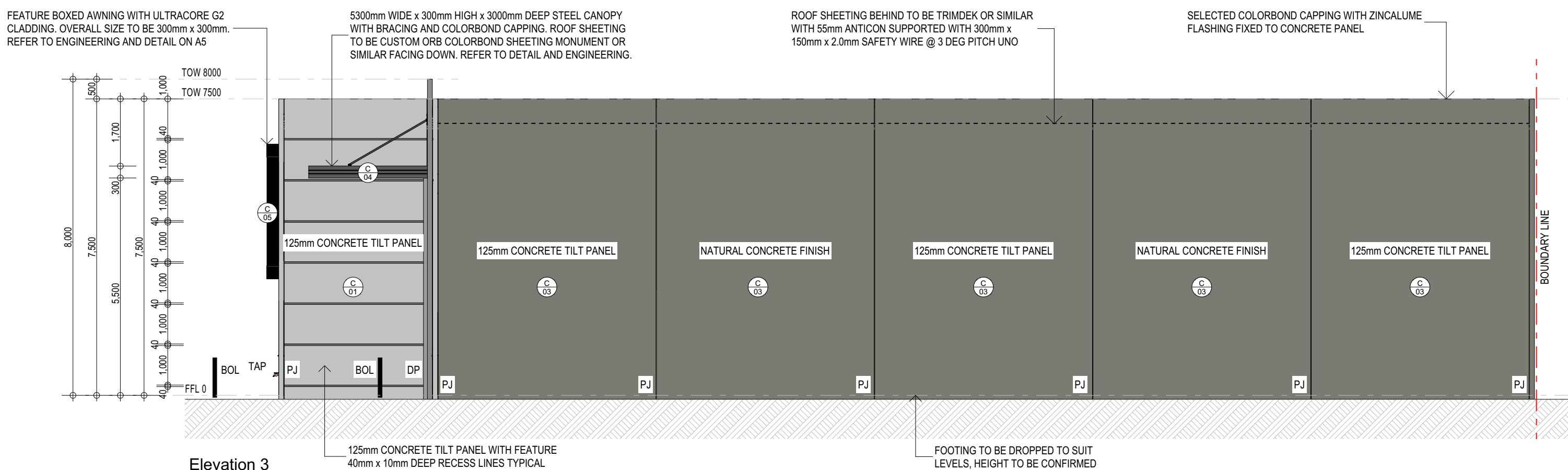
- C/1 - FEATURE CONCRETE WALL - PAINT FINISH - 'WINDSPRAY'
- C/2 - CONCRETE WALL - PAINT FINISH - 'LEXICON'
- C/3 - BOUNDARY CONCRETE WALL - NATURAL FINISH
- C/4 - STEEL CANOPY - COLORBOND CAPPING - 'NIGHT SKY'
- C/5 - ALUMINIUM BOXED AWNING - POWDERCOAT - 'LEXICON'
- C/6 - ALUMINIUM WINDOW / DOOR FRAME - POWDERCOAT - 'BLACK'
- C/7 - WALL CAPPING - COLORBOND - 'NIGHT SKY'
- C/8 - COLORBOND ROLLER DOOR - POWDERCOAT - 'NIGHT SKY'
- C/9 - EXTERNAL DOWNPIPES - COLORBOND - 'WINDSPRAY'
- C/10 - ROOF SHEETING - ZINCALUME



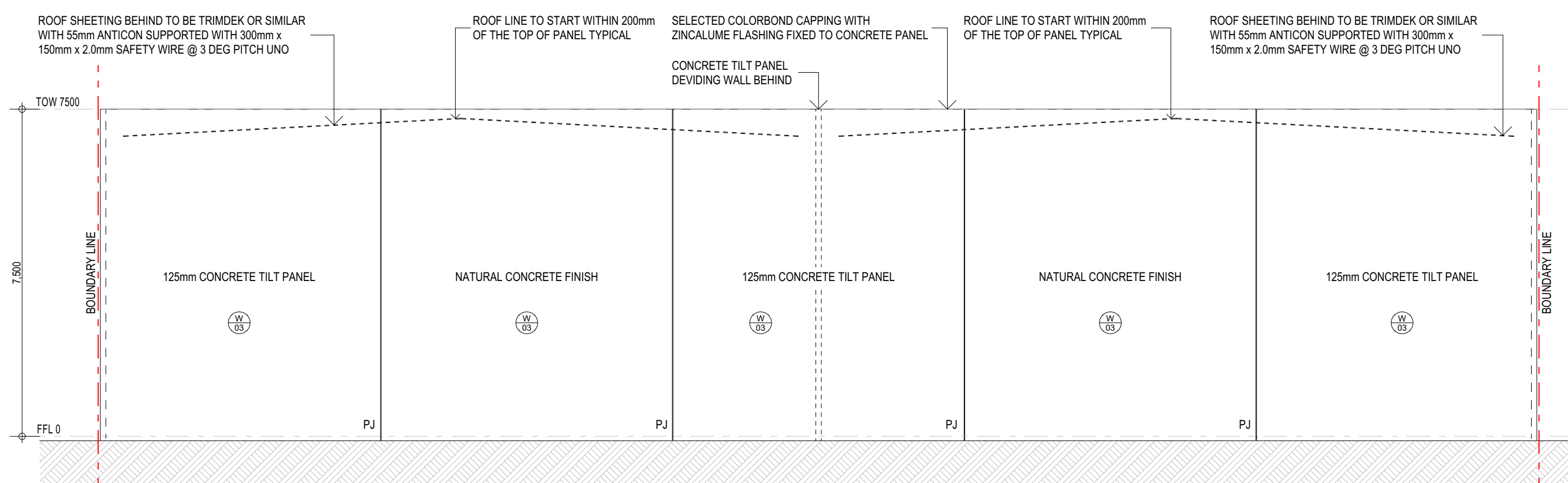
**Elevation 1**  
1:100



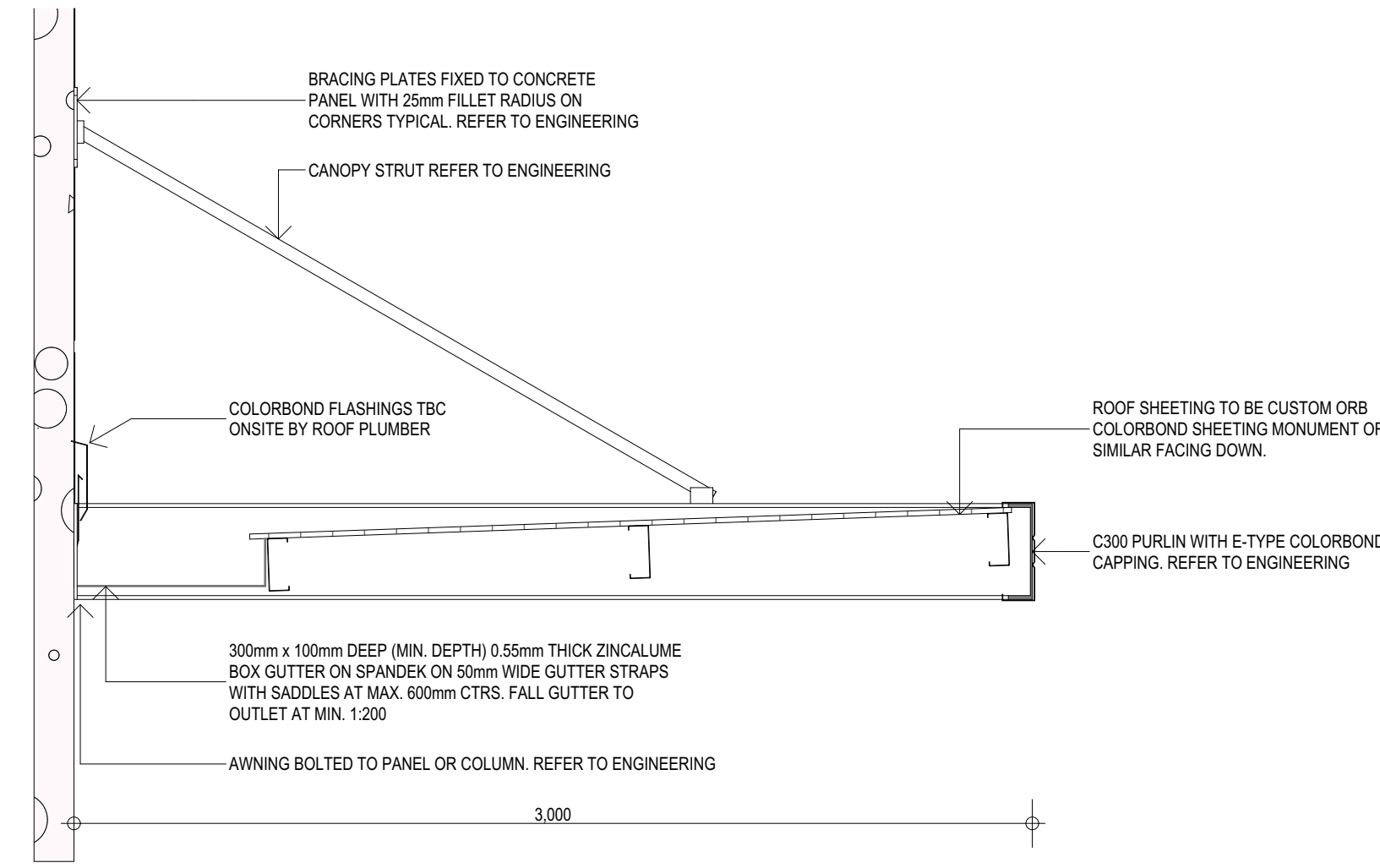
**Elevation 2**  
1:100



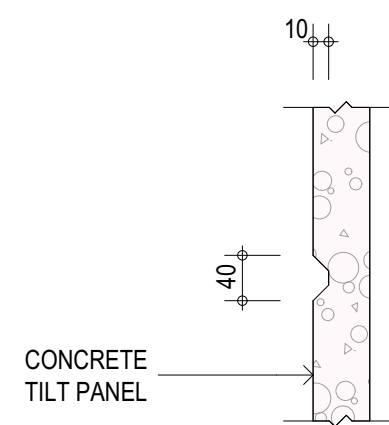
**Elevation 3**  
1:100



**Elevation 4**  
1:100



**Canopy Detail**  
1:20






**Recess Detail**  
1:20

**GENERAL NOTES:**

- DO NOT SCALE FROM DRAWINGS.
- THESE PLANS ARE THE SOLE PROPERTY OF DESIGNER AND MAY NOT BE REPRODUCED OR MODIFIED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
- CONTRACTORS TO CHECK ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE SUPERVISOR.

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**DA - ISSUED FOR DEVELOPMENT APPROVAL**

Client:  
**Fila Constructions**


Project Title:  
**Lot 154 #40 Volcanic Loop, Wangara**

**Elevations**

SHEET SIZE: A1	DATE: 11.08.20	Project Number: 2042	Drawing Number: A5
DRAWN: CDV	CHECKED: MB		

SCALE: 1:20, 1:100, 1:50

REVISION	DATE	DESCRIPTION
A	08.05.20	Preliminary issue for client comments
B	10.09.20	Sketch amendment
C	15.09.20	Sketch amendment
D	09.12.20	Issued for Development Approval



**QUALITY DESIGN SOLUTIONS**

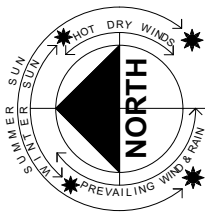
PO Box 2655, Malaga WA 6944

Email: [mike@qds.wa.au](mailto:mike@qds.wa.au) Mobile: 0403 165 270



- THIS CONCEPT PLAN IS INTENDED FOR FEASIBILITY PURPOSES ONLY, NO PLANNING ADVICE HAS BEEN SOUGHT FROM STATUTORY AUTHORITIES IN THE PREPARATION OF THIS PLAN. ALL SETBACKS, SITE COVERAGE, CAR PARKING NUMBERS, LANDSCAPE AREAS AND THE LIKE ARE SUBJECT TO STATUTORY ADVICE AND APPROVAL.
- NO ASSURANCE IS GIVEN AS TO THE FEATURES, ATTRIBUTES, FEASIBILITY OR ACCURACY OF ANYTHING SHOWN OR DISCLOSED IN THIS PLAN.
- ALL EXISTING AND PROPOSED BOUNDARIES, DIMENSIONS, AREAS AND BOUNDARIES ARE APPROXIMATE ONLY AND SUBJECT TO VERIFICATION VIA A DETAILED SITE CONTOUR SURVEY BY A LICENCED SURVEYOR.
- BUILDING COMPLIANCE SUBJECT TO THE NCC BUILDING CODES OF AUSTRALIA AND SUBJECT TO REVIEW BY A CERTIFIED BUILDING SURVEYOR.

## VOLACNIC LOOP



The footer contains three logos: BDAWA (a red square with a white diagonal line and the text 'BDAWA' below it), NABD (a black square with the text 'nabd' in white, followed by 'NATIONAL ASSOCIATION BUILDING DESIGNERS' in black), and Fila Constructions (a blue logo featuring a stylized building icon and the text 'Fila Constructions' in blue).

**NOTES:**

- THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, REPORTS, CONTRACTS AND DRAWINGS.
- ALL BUILDING WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIRED AUSTRALIA STANDARDS AND THE NCC.
- ALL DIMENSIONS TAKEN TO STRUCTURAL SURFACES UNLESS OTHERWISE NOTED (STUD FRAMING / CONCRETE PANELS ETC), NO ALLOWANCE FOR INTERNAL AND EXTERNAL SHEETING. ANY DISCREPANCY CONFIRM WITH OWNER OR BUILDER.
- CARE SHOULD BE TAKEN TO INCLUDE AN ALLOWANCE IN CALCULATION OF CLEARANCE REQUIRED FOR FIXINGS ETC.

- ALL TREES TO BE STAKED AND TIED.
- ALL WEEDS TO BE SPRAYED BEFORE MULCH BEING LAYED.
- WHERE FERTILISER IS REQUIRED - SLOW RELEASE FERTILISER SHOULD BE APPLIED.
- ALL GARDENS TO BE FULLY RETICULATED WITH A SELF WATERING RETICULATION SYSTEM.
- PLANTS SHALL BE PLANTED TO ALLOW ENOUGH SPACING AND GROUND COVER FOR WHEN THE PLANTS MATURE.
- ALL GARDEN BEDS TO BE MULCHED TO A MINIMUM DEPTH OF 100mm with 50mm BREATHING SPACE AROUND STEMS AND TRUNKS OF PLANTS.
- ALL LANDSCAPED AREAS INCLUDING VERGE LAWN TO BE SUITABLY RETICULATED. IRRIGATION DESIGN TO BE COMPLETED BY LANDSCAPING CONTRACTOR TO SUIT THE PLANTING SPECIFICATIONS.
- IRRIGATION SYSTEMS ARE TO BE DIVIDED INTO THREE-VALVE ZONES. ONE ZONE FOR TREES WITH A BUZZLER PER TREE, ONE ZONE FOR LAWN WITH WATER EFFICIENT SPRINKLERS AND THE OTHER ZONE FOR PLANTING BASED ON A DRIPPER SYSTEM WITH MOISTURE SENSOR CONTROLS.

