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 - BUILDING COMPLIANCE SUBJECT TO THE NCC BUILDING CODES OF AUSTRALIA AND
 SUBJECT TO REVIEW BY A CERTIFIED BUILDING SURVEYOR.



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WAREHOUSE UNIT DEVELOPMENT

WANGARA INDUSTRIAL AREA



DA - ISSUED FOR DEVELOPMENT APPROVAL

Client: **Fila Constructions**

Project Title: **Lot 154 #40 Volcanic Loop, Wangara**

Cover Page

SHEET SIZE:	A1	DATE:	11.08.20	Project Number:	Drawing Number:
DRAWN:	CDV	CHECKED:	MB	2042	A0
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REVISION DATE DESCRIPTION

A 08.05.20 Preliminary issue for client comments

B 10.09.20 Sketch amendment

C 15.09.20 Sketch amendment

D 09.12.20 Issued for Development Approval

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 CONTRACTOR TO CHECK ALL DIMENSIONS AND CONDITIONS ON
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DISCLAIMER:
Lot boundaries are on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels or boundaries. Survey date is the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

A NOTE:
NO POSITION
REFER TO SEC-165 T P&D ACT
SEE DOCUMENT 022482
BUSHFIRE MANAGEMENT PLAN

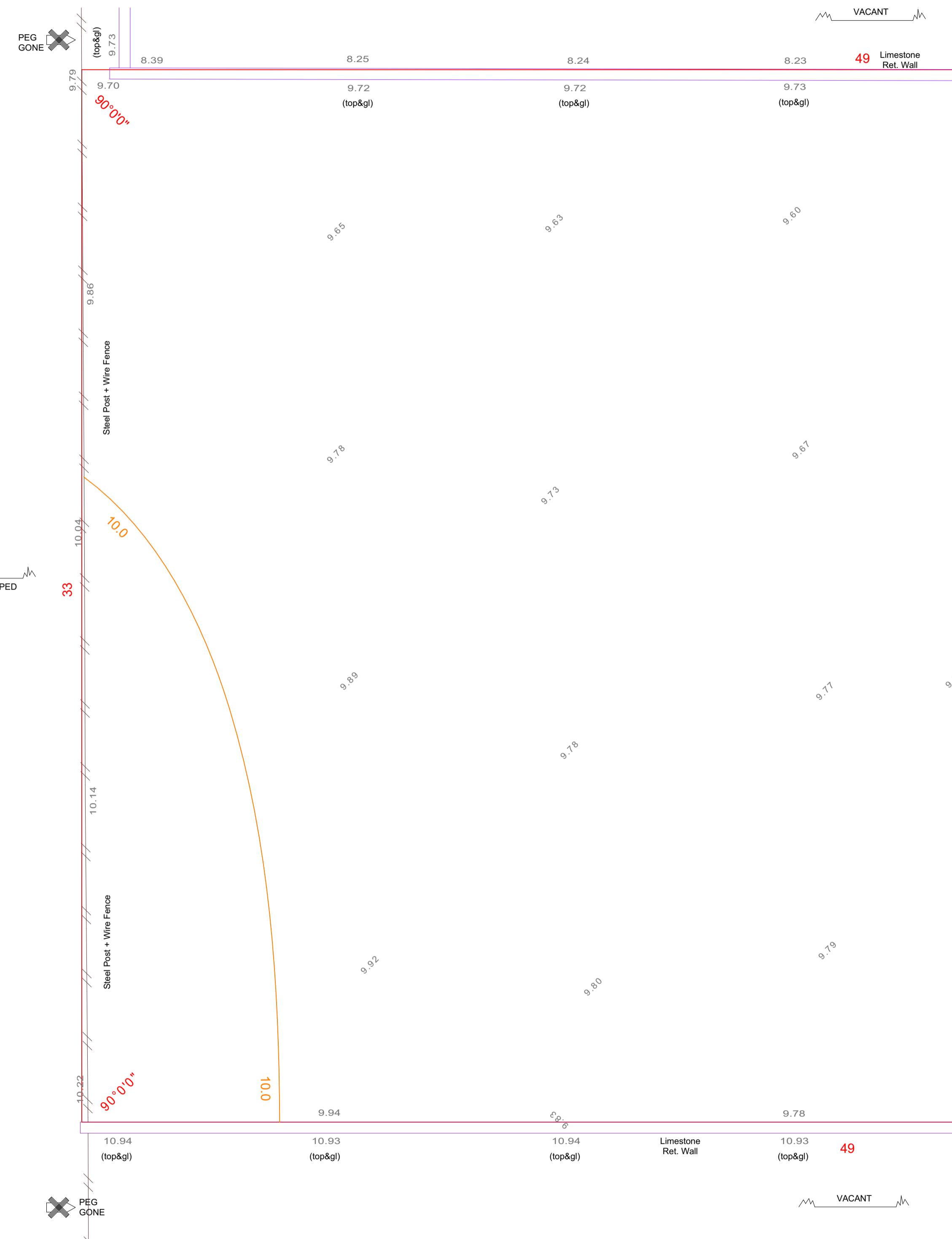
LOT MISCLOSE
0.000 m

SOIL DESCRIPTION
Sand
Refer to Survey

BEWARE: POSSIBLE SERVICE RUN IN & COST

Scale 1:200
0 2 4 6 8

A NOTE:
TELSTRA/COMMS. PIT NOT LOCATED
ADJACENT TO LOT AT TIME OF SURVEY.
VERIFY AVAILABILITY WITH TELSTRA.



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MATERIAL & COLOUR SCHEDULE - COLOURS TBC:

FEATURE CONCRETE WALL - PAINT FINISH - 'WINDSPRAY'

CONCRETE WALL - PAINT FINISH - 'LEXICON'

BOUNDARY CONCRETE WALL - NATURAL FINISH

STEEL CANOPY - COLORBOND CAPPING - 'NIGHT SKY'

ALUMINIUM BOXED AWNING - POWDERCOAT - 'LEXICON'

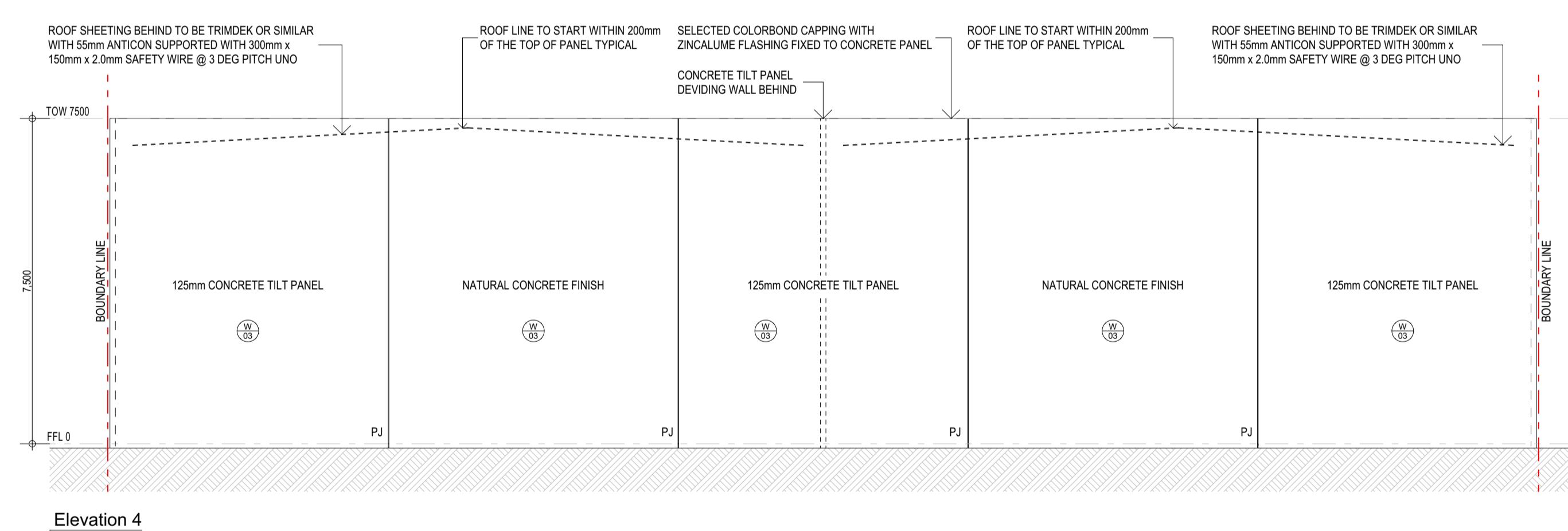
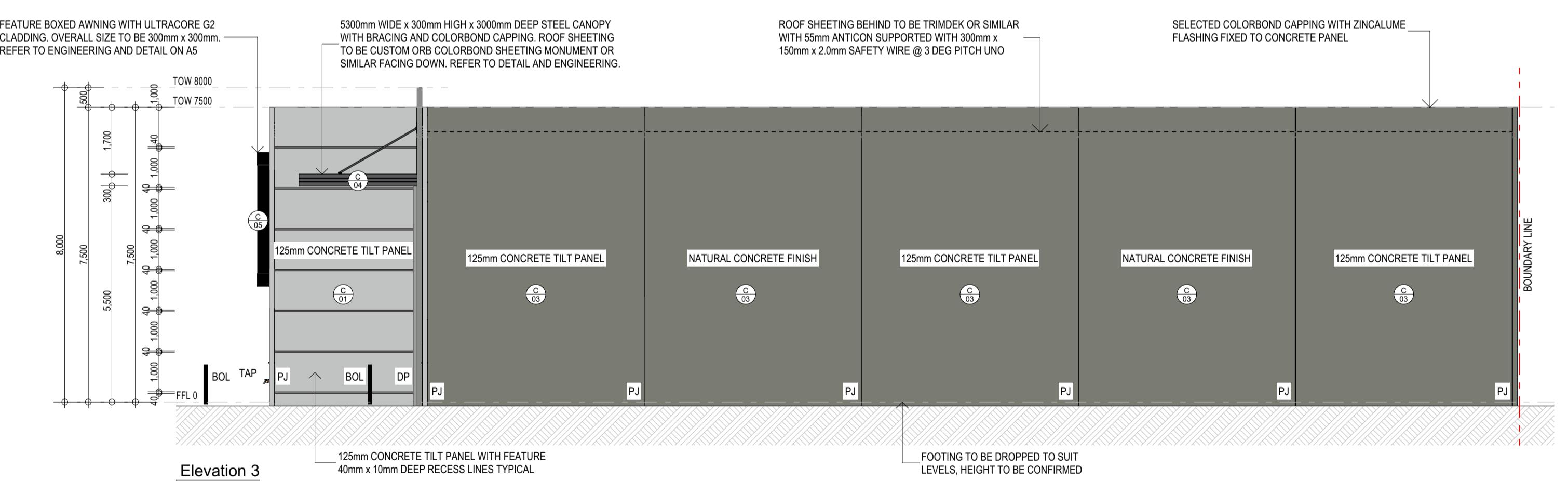
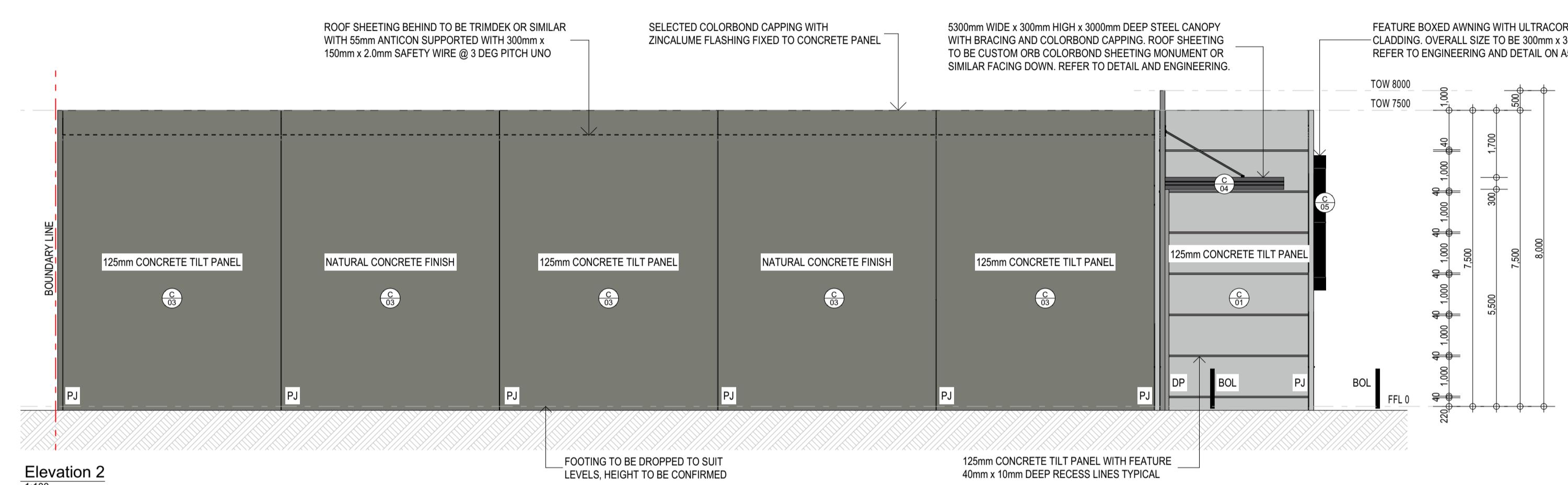
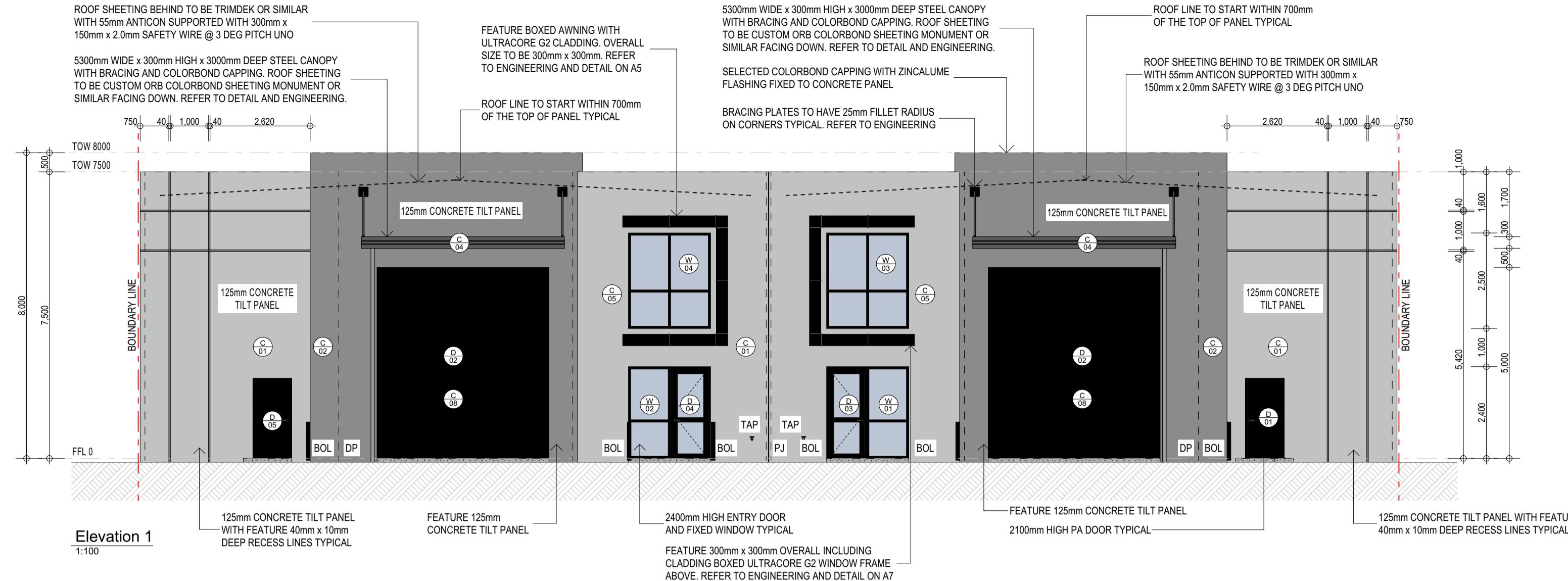
ALUMINIUM WINDOW / DOOR FRAME - POWDERCOAT - 'BLACK'

WALL CAPPING - COLORBOND - 'NIGHT SKY'

COLORBOND ROLLER DOOR - POWDERCOAT - 'NIGHT SKY'

EXTERNAL DOWNPipes - COLORBOND - 'WINDSPRAY'

- ROOF SHEETING - ZINCALUME



EViations:
= FIRE EXTINGUISHER.
= FIRE HOSE REEL.
= COLUMN.
= DOWNPipe.
= PANEL JOINT.

S:
DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, REPORTS, CONTRACTS AND DRAWINGS
BUILDING WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIRED AUSTRALIA STANDARDS AND THE NCC.
DIMENSIONS TAKEN TO STRUCTURAL SURFACES UNLESS OTHERWISE NOTED (STUD FRAMING / CONCRETE PANELS ETC)
ANCE FOR INTERNAL AND EXTERNAL SHEETING. ANY DISCREPANCY CONFIRM WITH OWNER OR BUILDER.
E SHOULD BE TAKEN TO INCLUDE AN ALLOWANCE IN CALCULATION OF CLEARANCE REQUIRED FOR FIXINGS ETC.

ELEVATION NOTES:

- REFER TO A4 FOR ALL ROOF PLAN AND DOWNPipe INFORMATION.
- REFER TO A7 FOR ALL ELECTRICAL AND CEILING WORKS.
- REFER TO A8 FOR ALL AMENITIES LAYOUTS DETAILS AND INFORMATION.
- REFER TO A8 FOR ALL DOOR AND WINDOW SCHEDULE INFORMATION.
- REFER TO A9 FOR ALL LANDSCAPING DETAILS, BOLLARD DIMENSIONS AND PATH DIMENSIONS.
- REFER TO ENERGY REPORT FOR DETAILS ON GLASS RATINGS.
- ALL TOPS OF PANELS TO HAVE SELECTED COLORBOND CAPPING.
- PREPARATION AND APPLICATION OF TEXTURE PAINT TO COMPLY WITH AS2311.
- ALL CLADDING TO BE COMPLIANT NON COMBUSTIBLE. DETAILS TO BE CONFIRMED.

BRACING PLATES FIXED TO CONCRETE PANEL WITH 25mm FILLET RADIUS ON CORNERS TYPICAL. REFER TO ENGINEERING

CANOPY STRUT REFER TO ENGINEERING

COLORBOND FLASHINGS TBC ONSITE BY ROOF PLUMBER

300mm x 100mm DEEP (MIN. DEPTH) 0.55mm THICK ZINCALUME BOX GUTTER ON SPANDEK ON 50mm WIDE GUTTER STRAPS WITH SADDLES AT MAX. 600mm CTRS. FALL GUTTER TO OUTLET AT MIN. 1:200

AWNING BOLTED TO PANEL OR COLUMN. REFER TO ENGINEERING

ROOF SHEETING TO BE CUSTOM ORB COLORBOND SHEETING MONUMENT OR SIMILAR FACING DOWN.

C300 PURLIN WITH E-TYPE COLORBOND CAPPING. REFER TO ENGINEERING

3,000

A technical drawing of a concrete tilt panel. The panel is a vertical rectangle with a thickness of 10 indicated at the top. A horizontal line extends from the left side of the panel, labeled 'CONCRETE TILT PANEL'. A dimension of 40 is shown on the left side, indicating the width of the panel. The drawing also shows a vertical line on the right side with a triangular symbol at the top, and a horizontal line with a circle symbol at the bottom. There are also some small circles and a triangle on the right edge of the panel.

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Project Title: **Lot 154 #40 Volcanic Loop, Wangara**

Elevations

HEET SIZE:	A1	DATE:	11.08.20	Project Number:	Drawing Number:
AWN:	CDV	CHECKED:	MB	2042	A5
ALE:	1:20, 1:100, 1:50				
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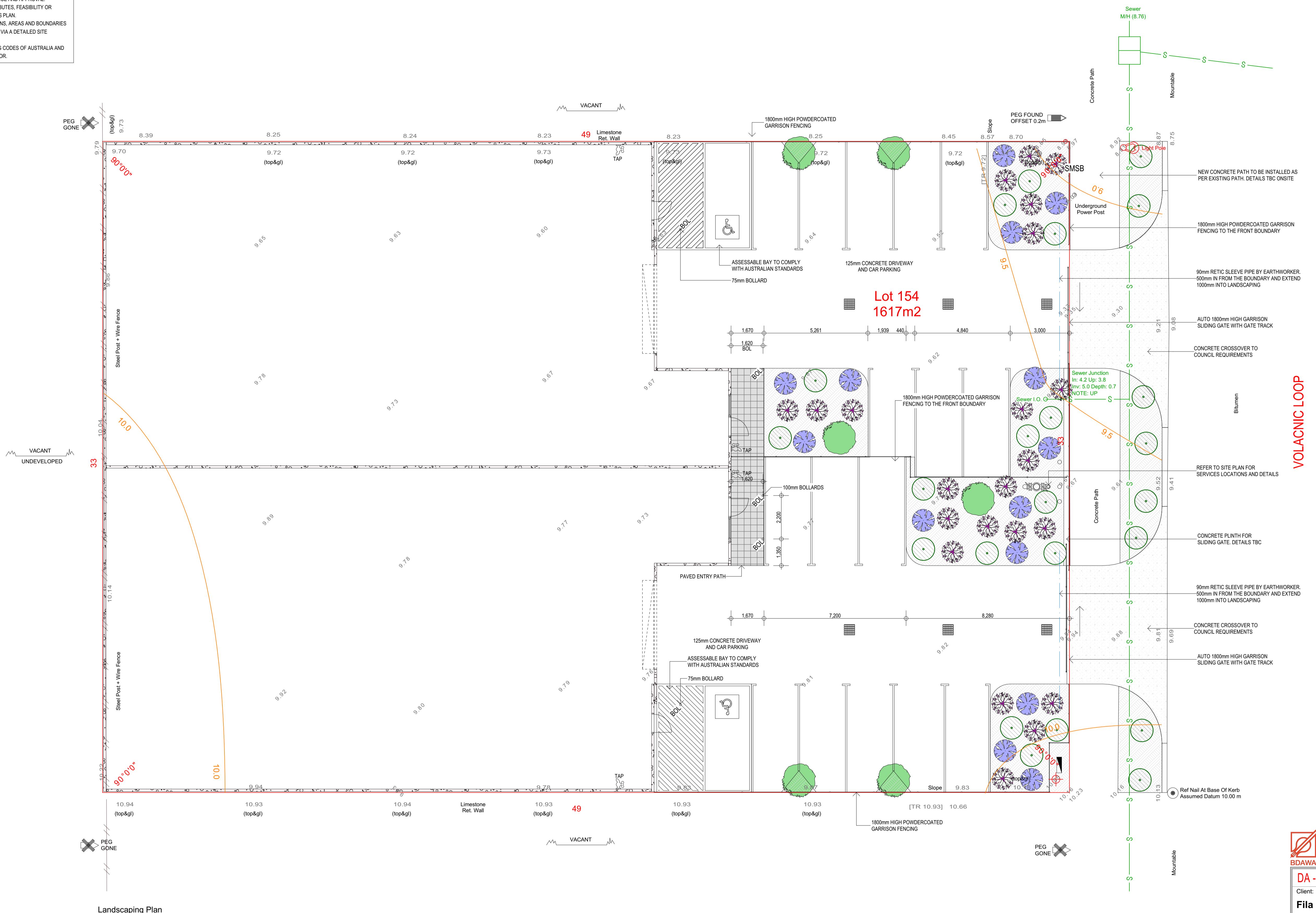
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Landscaping Plan

ABBREVIATIONS:
FIRE EXTINGUISHER.
FIRE HOSE REEL.
COLUMN.
DNPIPE.
PANEL JOINT.

LANDSCAPING NOTES:

- ALL TREES TO BE STAKED AND TIED.
- ALL WEEDS TO BE SPRAYED BEFORE MULCH BEING LAYED.
- WHERE FERTILISER IS REQUIRED - SLOW RELEASE FERTILISER SHOULD BE APPLIED.
- ALL GARDENS TO BE FULLY RETICULATED WITH A SELF WATERING RETICULATION SYSTEM.

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BUILDING DESIGNERS

Fila Constructions

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a Constructions

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Landscaping Plan

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