

Surfers Paradise

RayWhite

Park Lake  
State School

Westfield  
Helensvale

OUTLINE INDICATIVE ONLY

LOT 3 DONINGTON DRIVE,  
MAUDSLAND QLD 4210

# INFORMATION MEMORANDUM

PREPARED BY RAY WHITE SPECIAL PROJECTS QLD  
NOVEMBER 2019

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# THE OPPORTUNITY

Ray White Special Projects (Queensland) are pleased to exclusively offer to the market the approved and 'shovel ready' residential development site located at Lot 3 Donington Drive, Maudsland Qld 4210.

Highlights include:

- Development Approval and OPW Approvals for 7 community title dwellings
- Land area: 2,572m<sup>2</sup>\*
- Located in the northern Gold Coast growth corridor directly opposite the Huntington Rise Estate
- Existing approval allows for attached and detached dwellings with generous open space areas and elevated views
- 5km\* to the Westfield Helensvale Town Centre
- Well located to the M1 Pacific Motorway, local retail facilities, theme parks and to a range of primary and secondary schools

As the exclusive marketing agents we encourage your strong consideration of this outstanding asset and look forward to assisting you with your enquiries.



**Dax Roep**  
Ray White Special Projects (QLD)  
M 0421 230 354  
E [dax.roep@raywhite.com](mailto:dax.roep@raywhite.com)



**Matthew Fritzsche**  
Ray White Special Projects (QLD)  
M 0410 435 891  
E [matthew.f@raywhite.com](mailto:matthew.f@raywhite.com)

\*Approximately

^ Important: Prospective purchasers conduct due diligence investigations of the property strictly at their own expense and risk, and the vendor will have no liability in relation to such expenses. Consent by the vendor to the conduct by any potential purchaser of due diligence activities or investigation will not in any circumstance be construed as a representation that the vendor will be exercising, or refraining from exercising its rights to deal with the property, or any representation that the vendor intends to contract with that potential buyer, or at all.

# PROPERTY HIGHLIGHTS

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## DEVELOPMENT APPROVAL

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The site has Development Approval and OPW Approvals for 7 dwellings. There are very few opportunities in this market to purchase an approved development site, offering certainty and speed to market.



## LOCATION

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The site is strategically located at Maudsland, situated in the rapidly expanding Gold Coast to Brisbane growth corridor, comprising a range of primary and secondary schools, retail facilities and transport. The area is well known from the development of major residential estates including Stockland's Riverstone Crossing and Huntington Downs.



## SERVICES

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The site provides direct connectivity to essential services including power, water, telephone and sewer.



## CONNECTIVITY

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The site is within close proximity to transport nodes including, local bus, rail and major road infrastructure. The M1 Pacific Highway is easily accessible via a major interchange within 4km\* which provides connectivity to major nearby localities including the Brisbane CBD, Logan and central Gold Coast. The G-Link light rail and heavy rail is also within 5km\* adjoining Westfield Helensvale.

# SALES SUMMARY

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**Address**

Lot 3 Donington Drive, Maudsland QLD 4210

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The property is being offered for sale asking \$550,000 (inclusive of GST).

The seller retains the right (in their absolute discretion) to:

- Decline to consider and/or accept any offers lodged in response to this invitation;
- Negotiate directly with any party who has lodged an offer at any stage;
- Accept or decline a non-conforming offer at any stage of the sale process;
- Enter into any agreement for sale of the property on such terms as are acceptable to the sellers discretion;
- Change this invitation;
- Require additional information from a party who has lodged an offer;
- Reject all or any offers at any time for any reason; and
- Withdraw the property from sale.

**Method of Sale**

If an offer is to be submitted by hard copy it is to be enclosed within a sealed envelope marked clearly with:

Offer for Lot 3 Donington Drive, Maudsland

c/- Dax Roep  
Ray White Special Projects (QLD)  
Level 26, One One One Eagle Street  
111 Eagle Street, Brisbane Qld 4000

If the offer is to be submitted electronically, details are as follows:

c/- Ray White Special Projects (QLD)  
Facsimile: (07) 3832 4777  
E-mail: matthew.f@raywhite.com or dax.roep@raywhite.com

Sale Documents are available from the marketing agents upon request.

---

**Marketing Agents**

**Matthew Fritzsche**  
Ray White Special Projects (Qld)  
M: 0410 435 891  
E: matthew.f@raywhite.com

**Dax Roep**  
Ray White Special Projects (Qld)  
M: 0421 230 354  
E: dax.roep@raywhite.com

---

# PROPERTY OVERVIEW

Address	Lot 3 Donington Drive, Maudsland QLD 4210
Real Property Details	Lot 3 on SP275769
Land Area	2,572m <sup>2</sup>
Local Authority	City of Gold Coast
Zoning	Emerging Community
Site Description	The site comprises an irregular shaped development parcel, located to the southern side of Donington Drive with additional frontages to Yallaroi Road and Gaven Arterial Road. The site is currently unimproved and rises up gradually from the southern to northern boundary. Elevated views are available.
Services and Amenities	All normal utilities including electricity, telephone, reticulated town water, stormwater drainage and sewerage services are available.
Roads and Access	The property currently features 3 street frontages however under the approval, access will be via Donington Drive to the north.
Development Approval	<p>The site received a Combined Development Approval on the 1 May 2018 under Application No. MCU201701129 for a Development Permit for a Material Change of Use (Impact Assessment) for Multiple dwellings (7 dwellings) and Reconfiguring a lot for Community Title Subdivision (1 into 4 lots).</p> <p>The proposal comprises a 7 dwelling community title complex with access directly from Donington Drive to the north. Under the proposal, all of the dwellings will incorporate three bedrooms and two bathrooms, with either single or double garages.</p> <p>In addition, an Operational Works Approval for Earthworks and Retaining Walls, Vegetation Clearing and Infrastructure (Roadworks, Stormwater Drainage and Sewerage Reticulation) was received on 29 October 2019.</p> <p>Applications for Landscaping and Electrical OPWs have been submitted with Council and pending.</p>

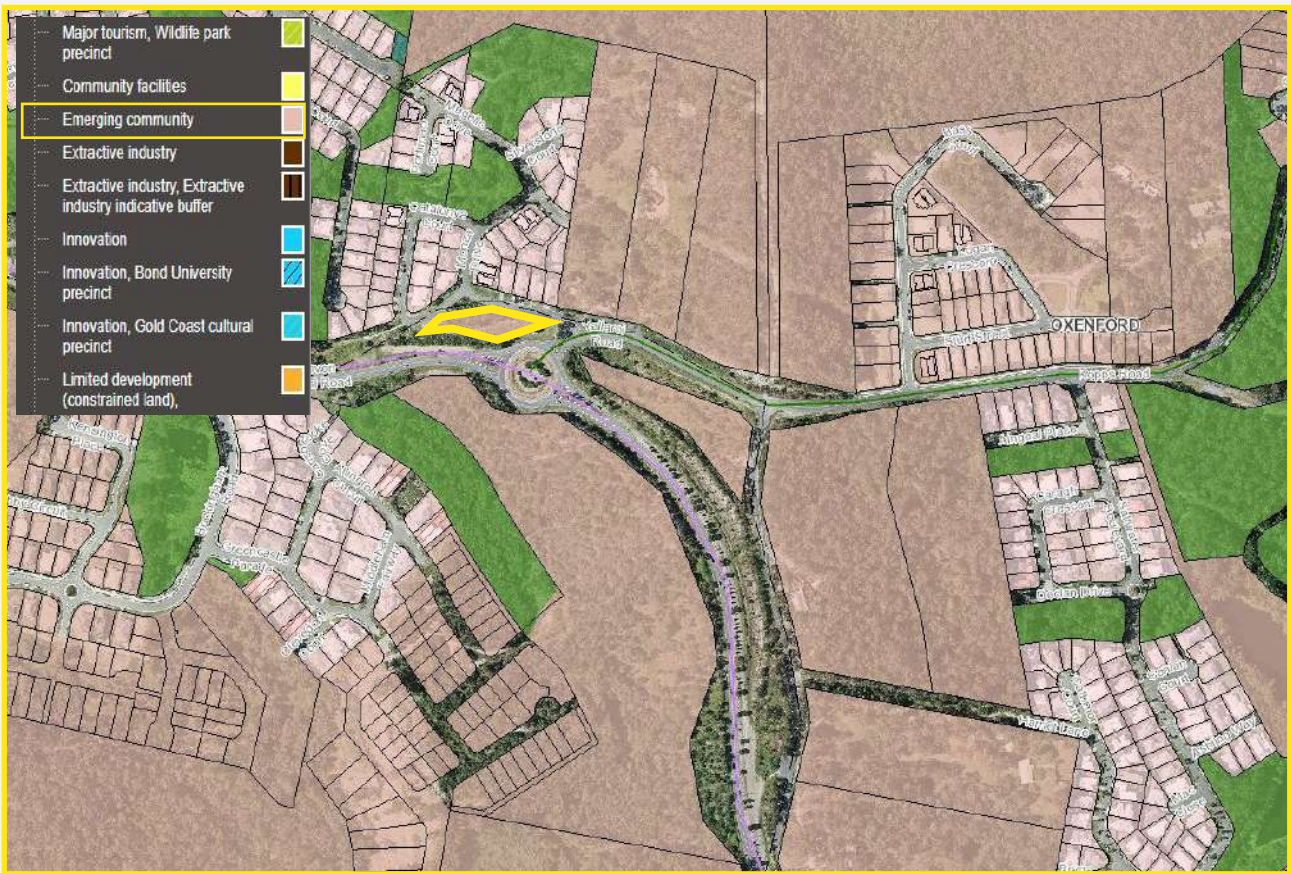
\*Approximately

# TOWN PLANNING OVERVIEW

## EMERGING COMMUNITY

The purpose of the Emerging Community zone code is to:

1. identify land that is suitable for urban purposes and protect land that may be suitable for urban development in the future.
2. manage the timely conversion of non-urban land to urban purposes.
3. prevent or discourage development that is likely to compromise appropriate longer term land use.



# DEVELOPMENT OVERVIEW

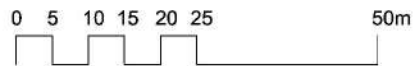
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APPROVED PLAN OF DEVELOPMENT  
*(SOURCE: DRYHURST STUART ARCHITECTS)*

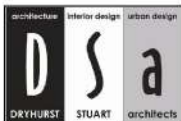




NOTE: This layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.



## DONINGTON DRIVE Site Plan



The ownership of this drawing remains with D S a and may not be use, copied or amended without the written permission of D S a.

HATIA PROPERTY CORPORATION

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Date  
JUL-2017

Scale  
1:750@A3

Mortons Urban Solutions

Job No  
206.2

Dwg No  
DA-1-10

Issue  
c

# LOCATION OVERVIEW

## MAUDSLAND PROFILE

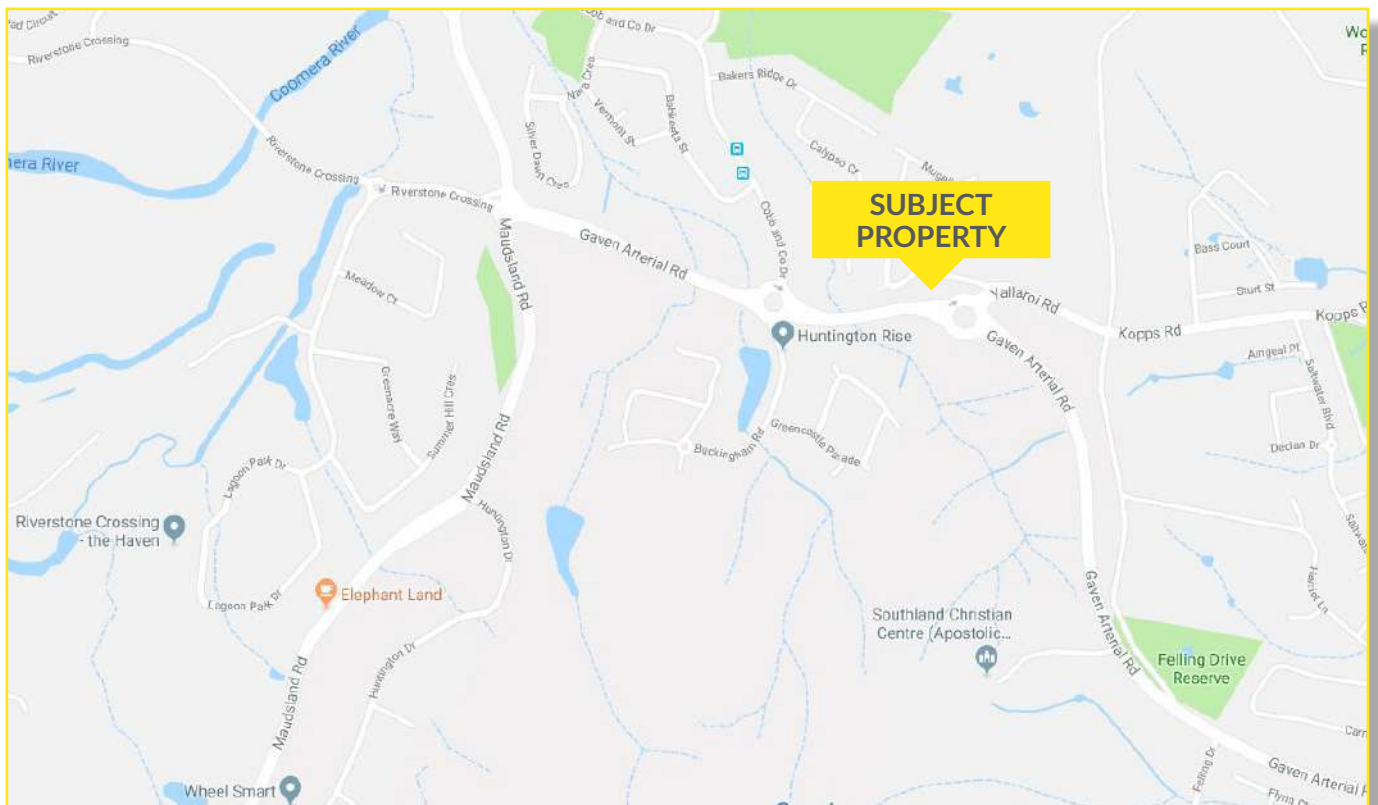
Maudsland is centrally located 40 minutes from the Brisbane CBD and 30 minutes to the Gold Coast beaches. Maudsland is tucked away at the foot of the Gold Coast hinterland and is in close proximity to forests and national parks. The locality is a rapidly developing residential area which has seen a significant population increase over the past ten years with the development of a number of large scale residential estates including Riverstone Crossing, Highland Reserve, Tuxedo Junction and Huntington Rise (directly opposite).

The central location allows residents to be close to a number of shopping centres, schools, bus transport and leisure amenities, as well as close proximity to the Pacific Motorway enabling easy access to both Brisbane and the Gold Coast. Additionally, the Helensvale railway station and G-Link light rail are within 5 kilometres.

Other notable features within a five kilometre radius include the Movie World and Wet n Wild theme parks, Paradise Country, Gold Coast Wake park, Westfield Helensvale and Helensvale Golf Club.

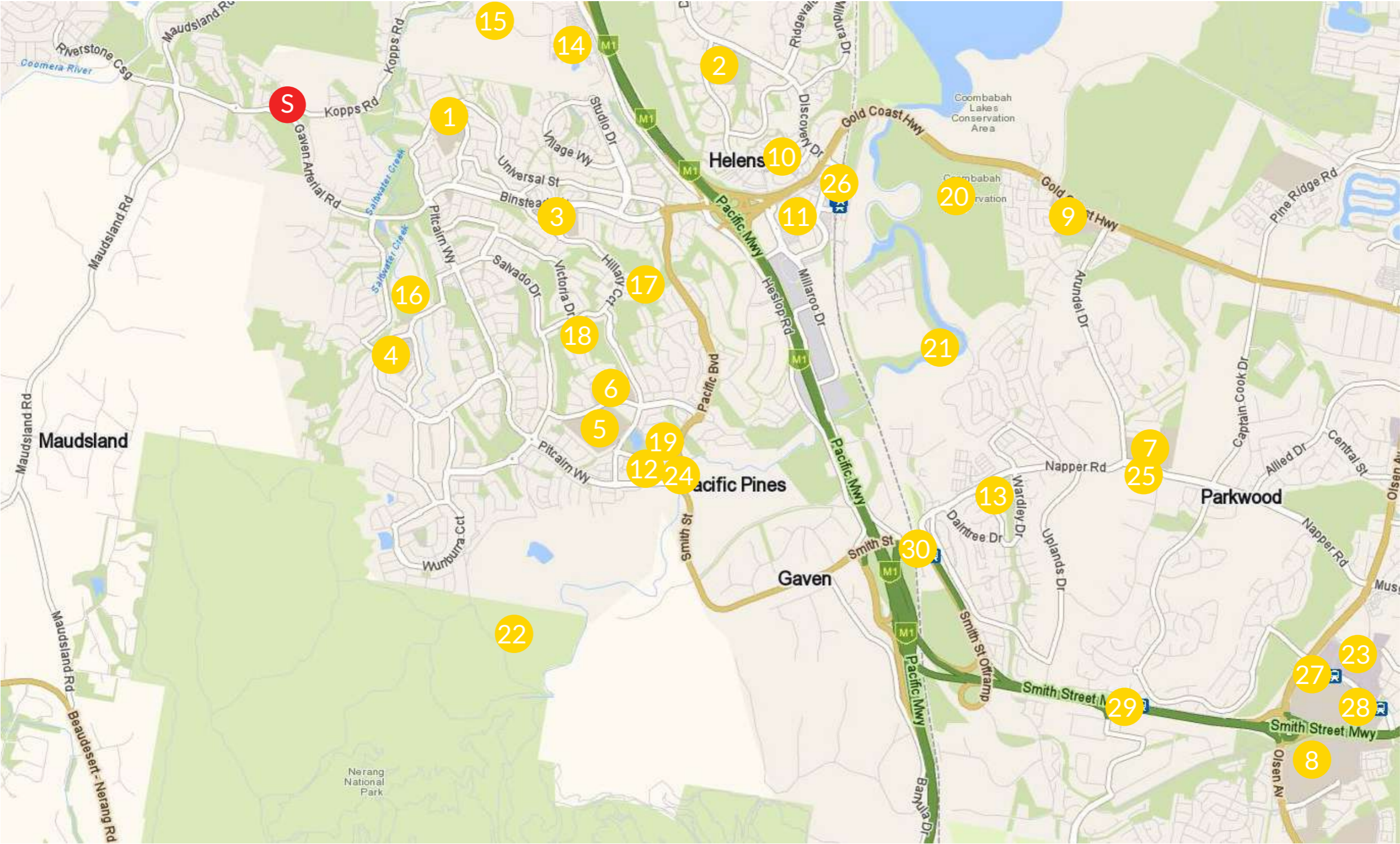


# LOCATION MAP



\*Outline and Locations indicative only

# AMENITIES MAP



**Schools**

- 1. Gaven State School
- 2. Helensvale State School
- 3. Jubilee State School
- 4. Park Lake State School
- 5. Pacific Pines State High School
- 6. Pacific Pines State School
- 7. Arundel State School
- 8. Griffith University Gold Coast
- 9. A.B. Paterson College

**Shopping**

- 10. Helensvale Plaza
- 11. Westfield Helensvale
- 12. Pacific Pines Town Centre
- 13. Arundel Plaza

**Recreation and Parks**

- 14. Wet n Wild Theme Park
- 15. Movie World Theme Park
- 16. Flooded Gum Park
- 17. Pacific Pines Parklands
- 18. Moorea Court Reserve
- 19. Central Park
- 20. Coombabah Lake Conservation Park
- 21. Coombabah Lakelands Conservation Area
- 22. Nerang National Park

**Medical**

- 23. Gold Coast University Hospital
- 24. Pacific Pines Medical Centre
- 25. Parkwood Medical Centre

**Public Transport**

- 26. Helensvale Railway Station
- 27. Gold Coast University Hospital Tram Station
- 28. Gold Coast University Hospital Tram Station (South)
- 29. Parkwood East Tram Station
- 30. Parkwood Tram Station

**S** Subject Property

# DISCLAIMER

The information contained in this Information Memorandum and any other verbal or written information given in respect of the property ("Information") is provided to the recipient ("you") on the following conditions:

1. Eagle Street (Brisbane) Pty Ltd ABN 68 164 201 629 trading as Ray White Commercial (Queensland) and or any of its officers, employees or consultants ("we, us") make no representation, warranty or guarantee, that the Information, whether or not in writing, is complete, accurate or balanced. Some information has been obtained from third parties and has not been independently verified. Accordingly, no warranty, representation or undertaking, whether express or implied, is made and no responsibility is accepted by us as to the accuracy of any part of this, or any further information supplied by or on our behalf, whether orally or in writing.
2. All visual images (including but not limited to plans, photographs, specifications, artist impressions) are indicative only and are subject to change. Any measurement noted is indicative and not to scale. All outlines on photographs are indicative only.
3. The Information does not constitute, and should not be considered as, a recommendation in relation to the purchase of the property or a solicitation or offer to sell the property or a contract of sale for the property.
4. You should satisfy yourself as to the accuracy and completeness of the Information through your own inspections, surveys, enquiries, and searches by your own independent consultants, and we recommend that you obtain independent legal, financial and taxation advice. This includes as to whether any listing price is inclusive or exclusive of GST.
5. We are not valuers and make no comment as to value. "Sold/ leased" designations show only that stock is "currently not available" – not that the property is contracted/ settled. If you require a valuation we recommend that you obtain advice from a registered valuer.
6. The Information does not and will not form part of any contract of sale for the property. If an interested party makes an offer or signs a contract for the property, the only information, representations and warranties upon which you will be entitled to rely will be as expressly set out in such a contract.
7. Interested parties will be responsible for meeting their own costs of participating in the sale process for the property. We will not be liable to compensate any intending purchasers for any costs or expenses incurred in reviewing, investigating or analysing any Information.
8. We will not be liable to you (to the full extent permitted by law) for any liabilities, costs or expenses incurred in connection with the Information or subsequent sale of the property whatsoever, whether the loss or damage arises in connection with any negligence, default or lack of care on our part.
9. No person is authorised to give information other than the Information in this Information Memorandum or in another brochure or document authorised by us. Any statement or representation by an officer, agent, supplier, customer, relative or employee of the vendor will not be binding on the vendor or us.
10. To the extent that any of the above paragraphs may be construed as being a contravention of any law of the State or the Commonwealth, such paragraphs should be read down, severed or both as the case may require and the remaining paragraphs shall continue to have full force and effect.
11. You may not discuss the Information or the proposed sale of the property with the vendors or with any agent, friend, associate or relative of the vendor or any other person connected with the vendor without our prior written consent. We accept no responsibility or liability to any other party who might use or rely upon this report in whole or part of its contents.
12. The Information must not be reproduced, transmitted or otherwise made available to any other person without our prior written consent.

# SOURCES OF INFORMATION

PAGE	CONTENT	SOURCE
Page 04	Property Overview	RP Data
Page 05	Town Planning Overview	Gold Coast City Council
Page 06	Approved Plan of Development	Dryhurst Stuart Architects
Page 08	Location Overview	Wikipedia, Google Maps, & Gold Coast City Council
Page 09	Location Map	Google
Page 10	Amenities Map	Google
Annexure A	Aerial Photography	Skyepics
Annexure B	Offers to Purchase Form	Ray White
Annexure C	Title Search	Department of Natural Resources and Mines
Annexure D	Survey Plan	Department of Natural Resources and Mines
Annexure E	Smart Map	Department of Natural Resources and Mines
Annexure F	Decision Notice	Gold Coast City Council
Annexure G	Infrastructure Charges Notice	Gold Coast City Council
Annexure H	Plans and Drawings	Dryhurst Stuart Architects
Annexure I	Operational Works Approvals	Gold Coast City Council

# ANNEXURE A

# AERIAL PHOTOGRAPHY

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SOURCE: SKYEPICS



Outline Indicative Only



Outline Indicative Only





# ANNEXURE B

# OFFERS TO PURCHASE FORM

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SOURCE: RAY WHITE

# OFFERS TO PURCHASE FORM

## Offers to Purchase (OTP) Form / Particulars

I / We register our Offer to Purchase to enter into negotiations to purchase the property located at Lot 3 Donington Drive, Maudsland Qld 4210. ("the Property").

### Property Details

Address Lot 3 Donington Drive, Maudsland Qld 4210

Real Property Description Lot 3 on SP275769

Local Authority Gold Coast City Council

Land Area 2,572m<sup>2</sup>\*

### Offer to Purchase

Proposed Price: \$ excluding GST

Proposed Deposit: 10% of the Purchase Price

Proposed Settlement Date:

Further Details / Information:  
(Finance, Conditions etc.)

### Details of Proposed Buyer

Full Name(s):

If Company Name:  
ABN:  
Registered for GST: Yes or No (please circle one)

Contact Details Address:  
Mobile:  
Email:

FIRB approval require to purchase the Property: Registered for GST: Yes or No (please circle one)  
Buyers should consult their legal advisers if in doubt

Proposed Guarantors\* (please complete if the proposed Buyer is a company or trustee of a trust): Name:  
Address:  
Telephone:  
Email:

\*Guarantors should be directors of a company Buyer or principal beneficiaries if trustee Buyer

### Details of Proposed Buyer's Solicitor (if known)

---

Firm:

---

Name / Contact:

---

Address:

---

Contacts:

Telephone:

Email:

---

### Proposed Buyer Acknowledgment

---

In submitting an Offer to Purchase to buy the subject property ("OTP"), the Proposed Buyer agrees to the following conditions:

1. The Proposed Buyer agrees to and accepts all disclaimers, limitations and qualifications in any written or verbal brochure, advertisement, representation, search, advice or information issued by the Vendors or Ray White or anyone on behalf of either of them ("Marketing Material").
2. The Proposed Buyer acknowledges that the Proposed Buyer has to satisfy itself about the characteristics, value, potential and features of the subject property by relying only on the Buyer's own enquiries and investigations and not on any Marketing Material. Therefore, neither the Vendors nor Ray White (or their respective employees and agents) will be liable if any Marketing Material is incorrect, incomplete or misleading.
3. The Proposed Buyer accepts and agrees to the terms of the Disclaimer in the Information Memorandum containing this OTP form.
4. The Proposed Buyer agrees that the Vendors will not be obliged to sell the subject property in response to this or any particular OTP.
5. The Vendors may sell the subject property to any person they choose, as a result of the OTP process or otherwise, or not at all. The Proposed Buyer cannot assume or expect that:
  - the Vendors will negotiate, or not negotiate, with the Proposed Buyer or any other respondent;
  - the Vendors will accept the highest purchase price offered;
  - the Vendors will consider any particular feature of an OTP or other proposal to buy the subject property as determinative; or
  - the submission of the Proposed Buyer's OTP will lead to any particular outcome.
6. No claim can be made against the Vendors or Ray White in relation to any costs or expenses incurred by a respondent in evaluating the subject property or submitting an OTP.
7. This OTP constitutes an Offer to Purchase by the Proposed Buyer to negotiate for the possible sale and purchase of the subject property.

### Execution

---

Signed by the Proposed Buyer:

Signature

---

Full Name:

---

# ANNEXURE C TITLE SEARCH

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SOURCE: DEPARTMENT OF NATURAL RESOURCES AND MINES

CURRENT TITLE SEARCH  
NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 32584635  
Search Date: 13/11/2019 12:30

Title Reference: 51082796  
Date Created: 01/03/2017

Previous Title: 51074386

REGISTERED OWNER

Dealing No: 719506122 10/07/2019

TELLURIUM GG PTY LTD A.C.N. 631 467 082  
TRUSTEE  
UNDER INSTRUMENT 719506122

ESTATE AND LAND

Estate in Fee Simple

LOT 3 SURVEY PLAN 275769  
Local Government: GOLD COAST

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 10435002 (POR 47)
2. EASEMENT IN GROSS No 717830285 09/02/2017 at 13:54  
burdening the land  
COUNCIL OF THE CITY OF GOLD COAST  
over  
EASEMENTS A AND B ON SP275769
3. MORTGAGE No 719506127 10/07/2019 at 12:51  
G V EDWARDS PTY LTD A.C.N. 052 481 866 TENANT IN COMMON 1/2  
GORDON JAMES APPLETON  
MERRILL LOUISE APPLETON JOINT TENANTS INTER SE 1/2

ADMINISTRATIVE ADVICES - NIL  
UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2019]  
Requested By: D-ENQ GLOBAL X

# ANNEXURE D SURVEY PLAN

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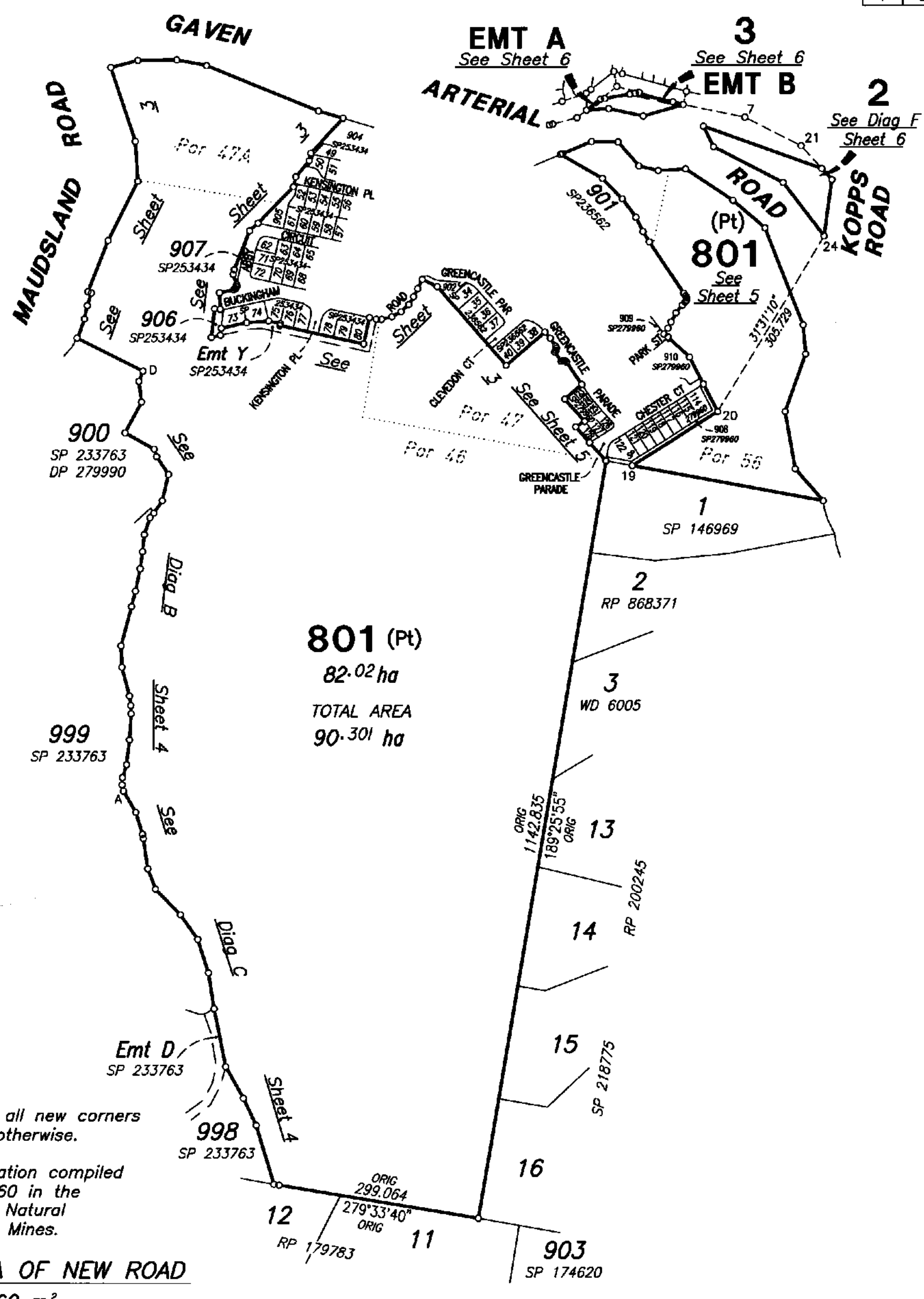
SOURCE: DEPARTMENT OF NATURAL RESOURCES AND MINES

FINAL 2021B-1B (TJE/BNE)

Land Title Act 1994 ; Land Act 1994  
Form 21 Version 4

SURVEY PLAN

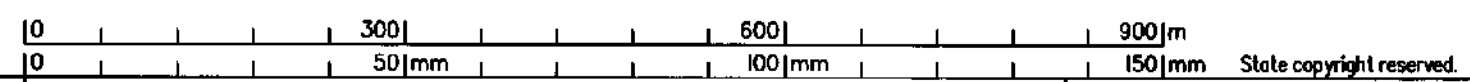
Sheet 1 of 6



Peg placed at all new corners unless shown otherwise.

Original information compiled from SP 279960 in the Department of Natural Resources and Mines.

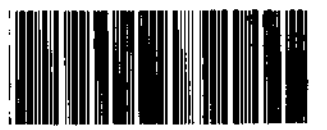
**TOTAL AREA OF NEW ROAD**  
69 m<sup>2</sup>



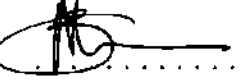
RPS Australia East Pty Ltd (ACN 140 292 762) hereby certify that the land comprised in this plan was surveyed by the corporation, by Reza ZOLFAGHARZADEH, surveying graduate, for whose work the corporation accepts responsibility, under the supervision of Benjamin Wilkes MILLEN, cadastral surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 17/10/2016.

**PLAN OF**  
**LOTS 2, 3, 801 & EMTS A & B IN LOT 3**  
**Cancelling Lot 800 on SP279960**

Scale: 1 : 6000  
Format: STANDARD



LOCAL GOVERNMENT: GOLD COAST CITY LOCALITY: MAUDSLAND  
Meridian: SP279960 Survey Records NO

 Authorized Delegate  
24.10.2016 Date



**717830256**

**\$678.00**  
09/02/2017 13:49

**BE 400 NT**

**WARNING : Folded or Mutilated Plans will not be accepted.**  
**Plans may be rolled.**  
**Information may not be placed in the outer margins.**

Sheet **2** of **6**

5. Lodged by

*Blatzen*

*300 A*

(Include address, phone number, reference and Lodger Code)

1. Certificate of Registered Owners or Lessees.

t/We HATIA PROPERTY CORPORATION PTY LTD  
A.C.N. 103 517 586

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

\* as Lessees of this land agree to this plan.

*[Signature]*

Signature of \*Registered Owners \*Lessees

*MAHOMED FAISAL YUSUF HATIA (SOLE DIRECTOR)*

\* Rule out whichever is inapplicable

2. Planning Body Approval.

\* **Council of the City of Gold Coast**

hereby approves this plan in accordance with the:

**Sustainable Planning Act 2009**

Dated this 17<sup>th</sup> day of January 2017

*[Signature]*

**Andrew Young**  
Authorising Officer

\* Insert the name of the Planning Body.

# Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :

4. References :

Dept File : PN33658-710602

Local Govt : GC CC

Surveyor : 20218-18

6. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
	Lot 800 on SP 279960	2, 3 & 801	New Road	Easements A & B

Easement		Lots to be Encumbered
716336319	(Emt Y on SP253434)	801
714195242	(Emt H on SP236561)	801
714195246	(Emt G on SP236561)	801

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
713068819	2, 3 & 801	-
713068825	2, 3 & 801	-

**REINSTATEMENT REPORT**

- Plans searched - SP279960, IS224797, SP231660, SP231650, SP218773, SP188406, SP146988, RP903707, IS127068, IS126577, RP159055, RP159054, RP153300, RP141481, RP115714, RP76326,
- The northern side of Donington Drive is fixed with reference to recent surveys. There is a small amount of excess in line 5-6.
- The southern side of Donington Drive is fixed by applying deed road width, as per the original intent (RP115714).
- Deed distances (vide RP159055) from station 12 used to fix stations 10 & 13.
- Deed distances (vide SP146988) from stations 10 & 13 used to fix stations 8 & 14, respectively.
- Boundaries 14-17-18-8 fixed by maintaining deed angles (including 13-14-17) and proportioning a small amount of excess in lines 14-17, 17-18 & 18-8.
- Station 24 fixed by original marks and lines 8-7-21-22-23-24 fixed using deed dimensions (vide SP146988).

9. Building Format Plans only.

I certify that:  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Authorised Delegate \_\_\_\_\_ Date \_\_\_\_\_

Cadastral Surveyor/Director\*

\*delete words not required

3	Por 47
2	Por 56
801	Por 46, Por 47, Por 47A & Por 56
Lots	Orig

7. Orig Grant Allocation :

8. Passed & Endorsed :

By: RPS Australia East Pty Ltd

Date: 8-12-16

Signed: *[Signature]*

Designation: Cadastral Surveyor

10. Lodgement Fees :

Survey Deposit \$ .....  
Lodgement \$ .....  
..... New Titles \$ .....  
Photocopy \$ .....  
Postage \$ .....  
TOTAL \$ .....

11. Insert Plan Number

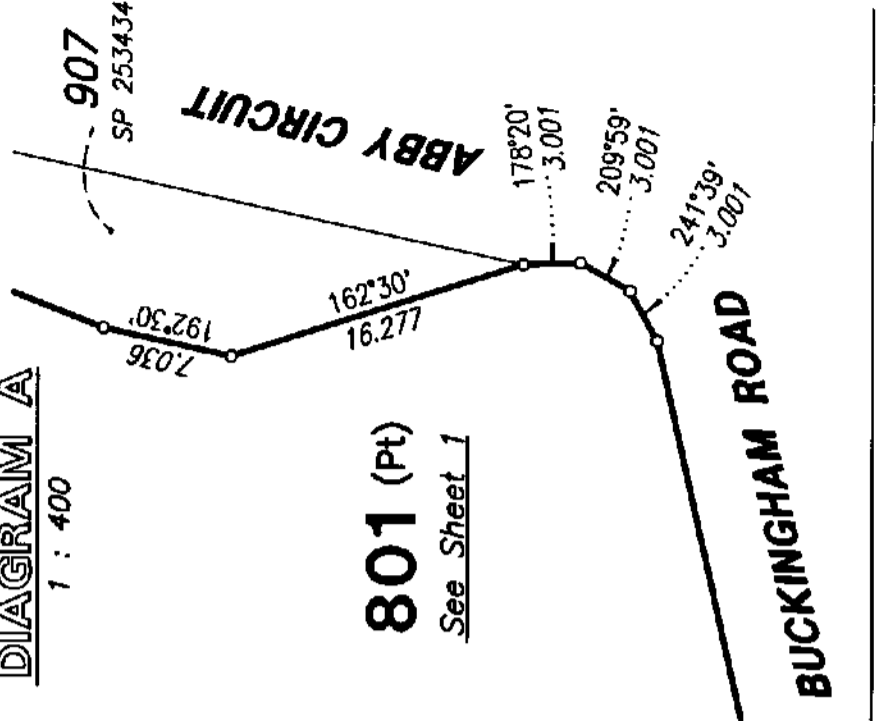
**SP275769**

**DIAGRAM A**

1 : 400

**801 (Pt)**

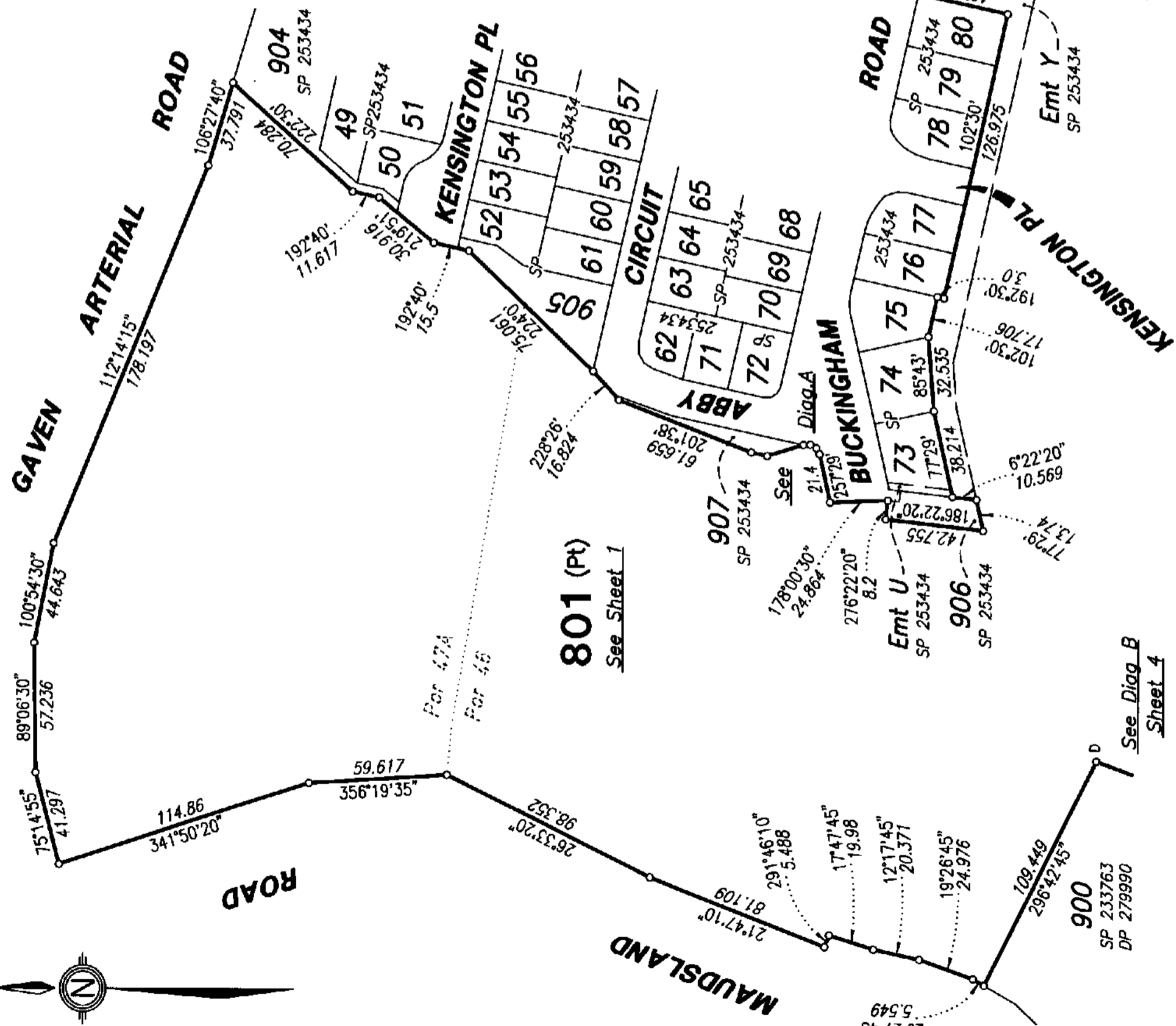
See Sheet 1



All bearings and distances shown on this sheet are original.

Scale 1 : 2000

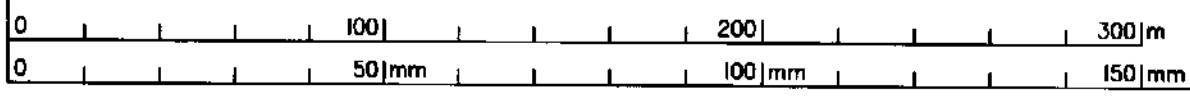
Por 47



**801 (Pt)**

See Sheet 1

See Diag B  
Sheet 4

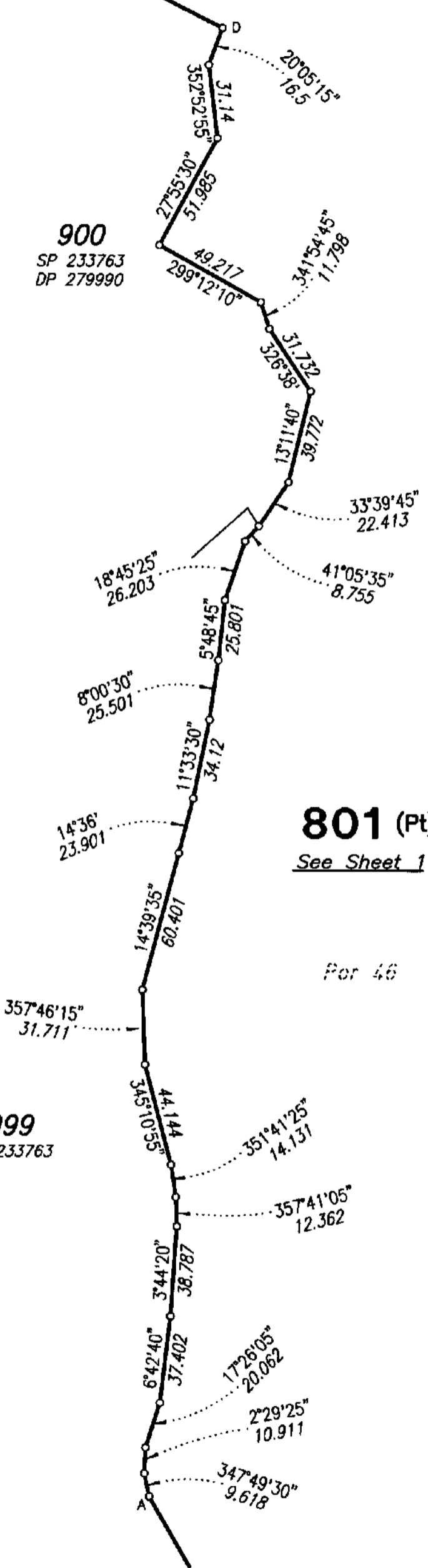


**DIAGRAM B**

1 : 2000

See Sheet 3

**900**  
SP 233763  
DP 279990



**801 (Pt)**

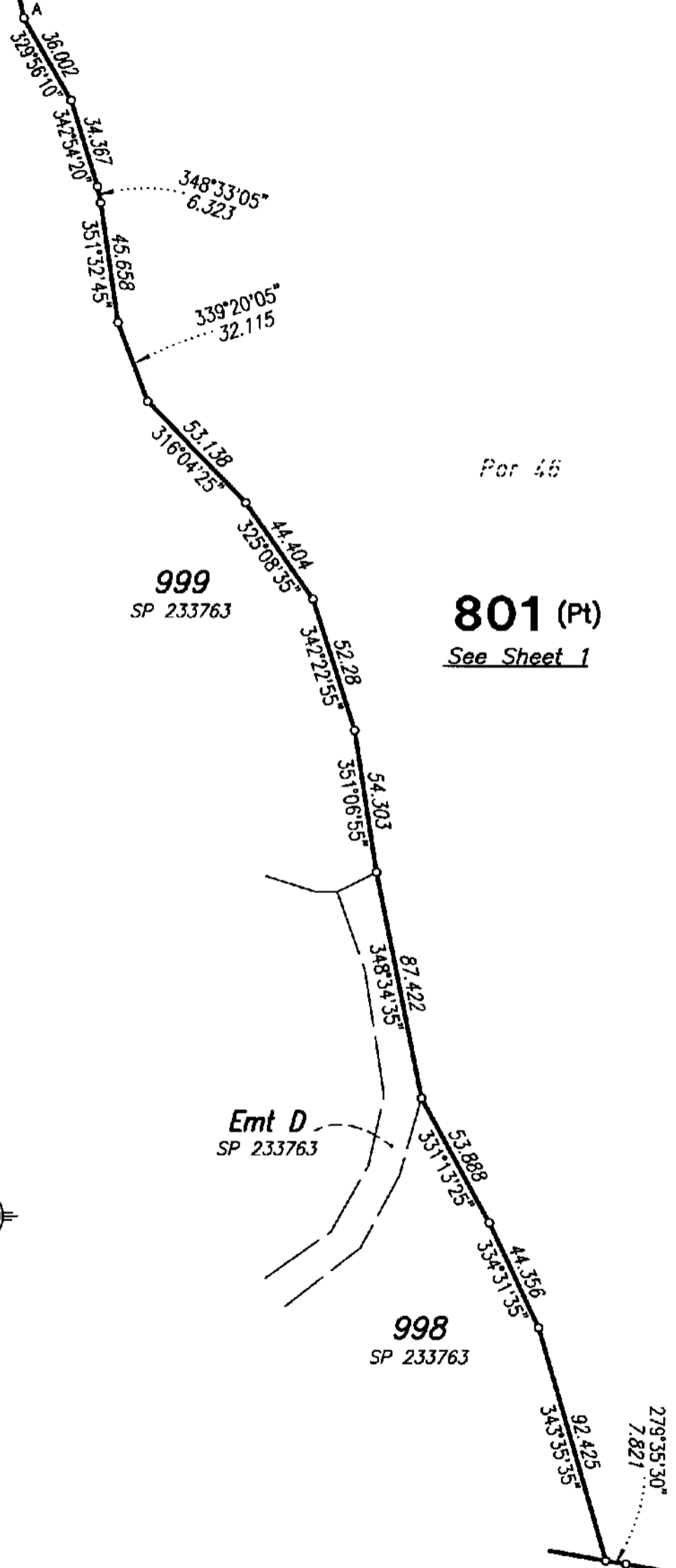
See Sheet 1

Por 46

**999**  
SP 233763

See Diag C

See Diag B



**999**  
SP 233763

**801 (Pt)**

See Sheet 1

Por 46

**Emt D**  
SP 233763

**998**  
SP 233763

**12**  
RP 179783

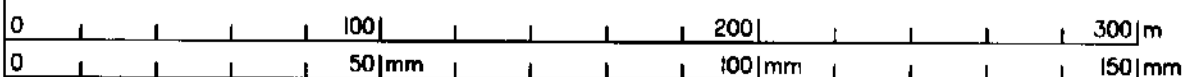
See Sheet 1

**DIAGRAM C**

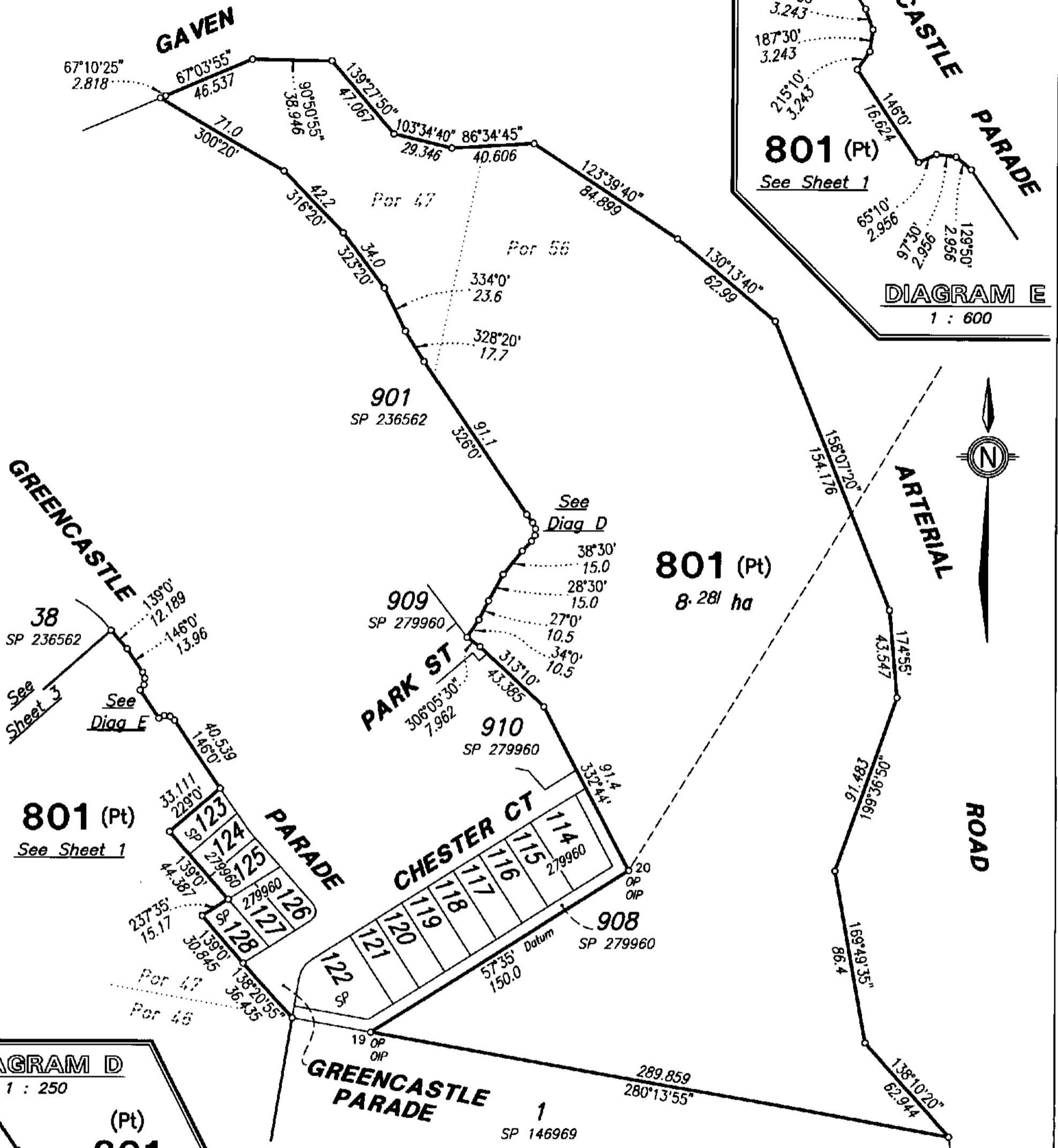
1 : 2000

All bearings and distances shown on this sheet are original.

State copyright reserved.



Insert Plan Number **SP275769**



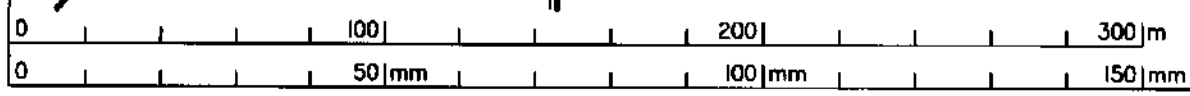
All bearings and distances shown on this sheet are original except the bearing and distance between stations 19 & 20.

Scale 1 : 2000

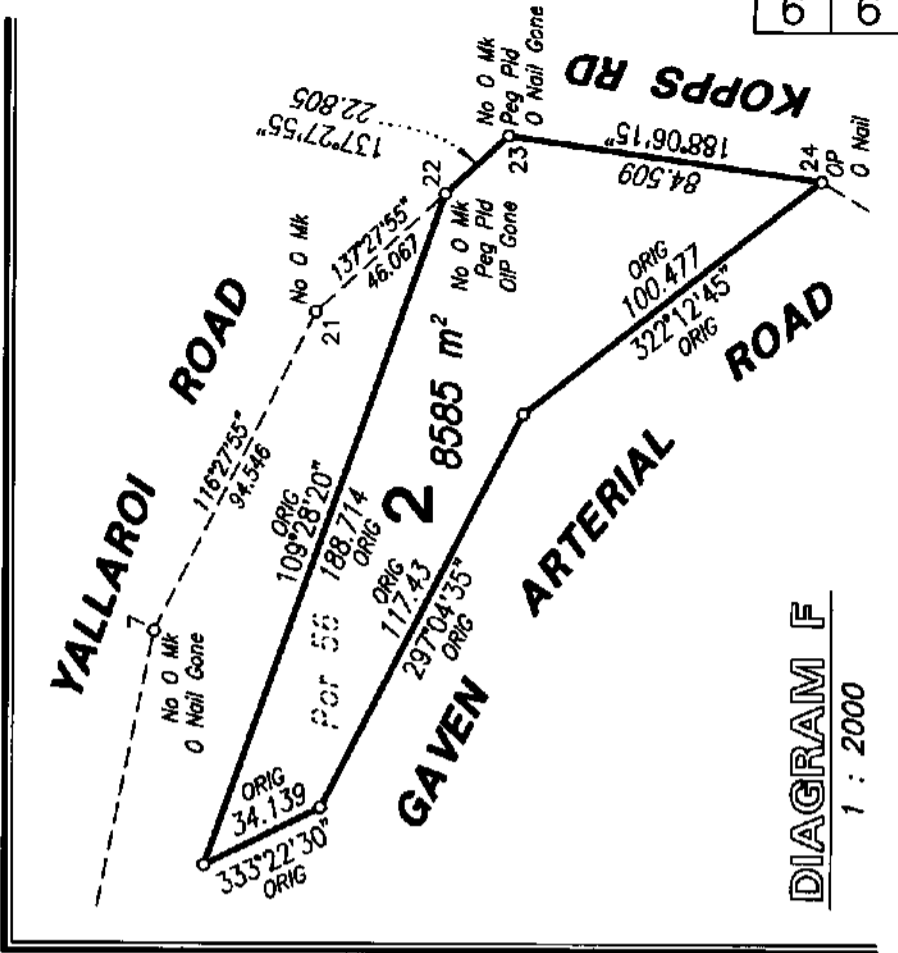
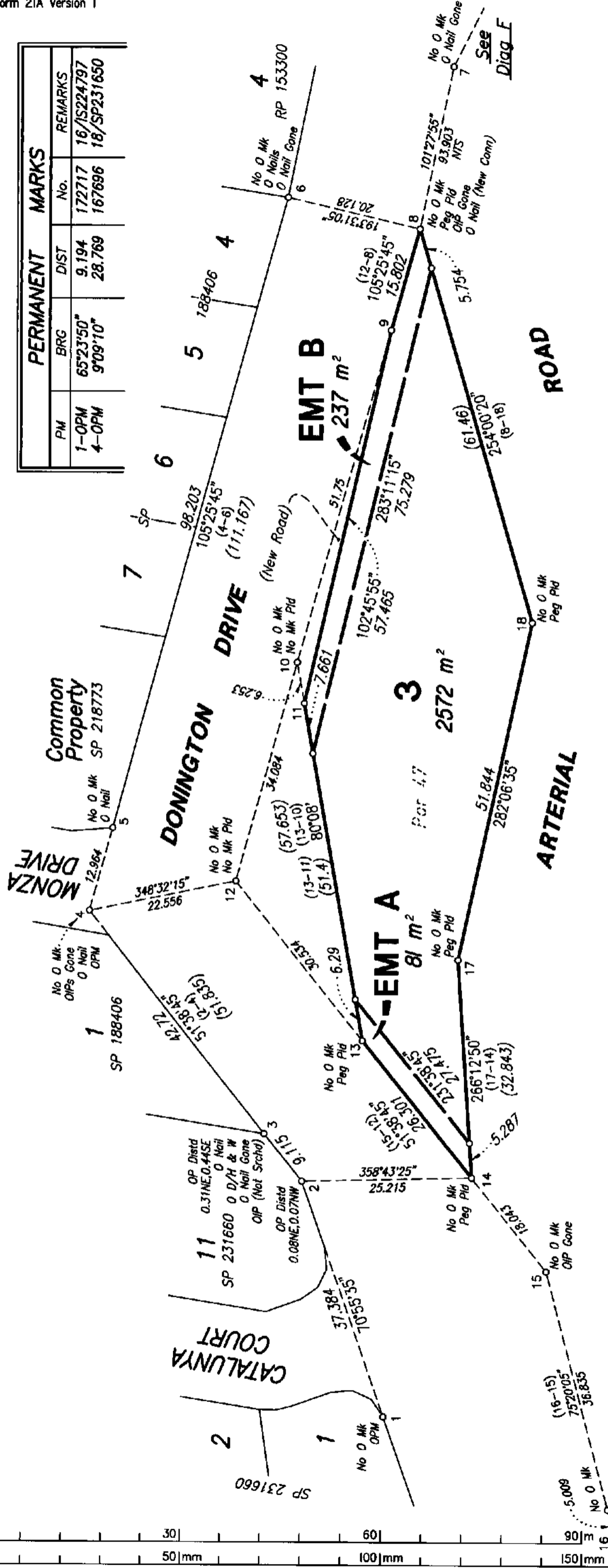
REFERENCE		MARKS		
STN	TO	BRG	DIST	REMARKS
19	OIP	171°50'	3.683	128/SP279960
20	OIP	227°46'30"	12.208	127/SP279960

State copyright reserved.

Insert Plan Number **SP275769**



PERMANENT MARKS		REMARKS	
PM	BRG	DIST	No.
1-OPM	65°23'50"	9.194	172717
4-OPM	9°09'10"	28.769	167696
			16/IS224797
			18/SP231650



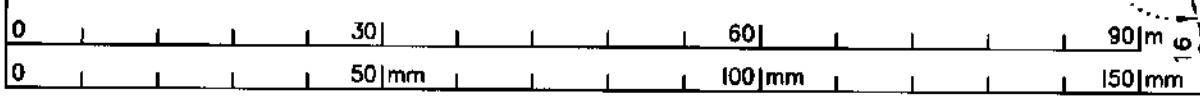
STN	TO	BRG	DIST	REMARKS
3	0 Nail in Kerb	135°06'05"	6.546	17/SP231650
3	0 D/H & W	150°10'40"	14.468	7/IS224797
3	0 Nail in Kerb Gone	122°24'20"	15.248	17/SP231650
3	OIP (Not Strchd)	320°08'10"	31.429	17/SP231650
4	OIP Gone	168°20'25"	0.576	8/IS127068
4	OIP Gone	181°10'05"	1.15	IS126577
4	0 Nail in Kerb	182°12'05"	7.088	4/SP188406
5	0 Nail in Kerb	210°19'40"	4.957	5/SP188406
6	0 Nail in Kerb	200°55'40"	5.235	7/SP188406
6	0 Nail in Bit Gone	275°42'40"	10.649	6/SP188405
6	0 Nail in Kerb *	198°57'20"	14.692	7/SP188406
7	0 GI Nail in Bit Gone	86°50'15"	12.272	10/SP146988
8	OIP Gone	13°25'45"	0.604	11a/RP115714
8	0 Nail in Kerb *	359°19'	5.676	7/SP188406
11	Nail in Kerb Fd Pin	72°35'30"	26.251	13/RP115714
12	OIP Gone	54°44'40"	14.789	8/RP903707
15	OIP Gone	333°20'05"	0.616	14a/SP146988
16	OIP Gone	338°23'20"	0.747	14/SP146988
22	OIP Gone	38°20'15"	1.08	14/SP146988
22	Nail in Bit Fd	7°00'30"	26.86	15/SP146988
23	0 Nail in Bit Gone	29°45'15"	4.113	
23	Pin	168°18'50"	39.647	
24	0 Nail in Bit	223°00'30"	6.473	
24	Pin	105°47'15"	11.57	

\* denotes Same Mark



Scale 1 : 600

State copyright reserved.  
Insert Plan Number **SP275769**

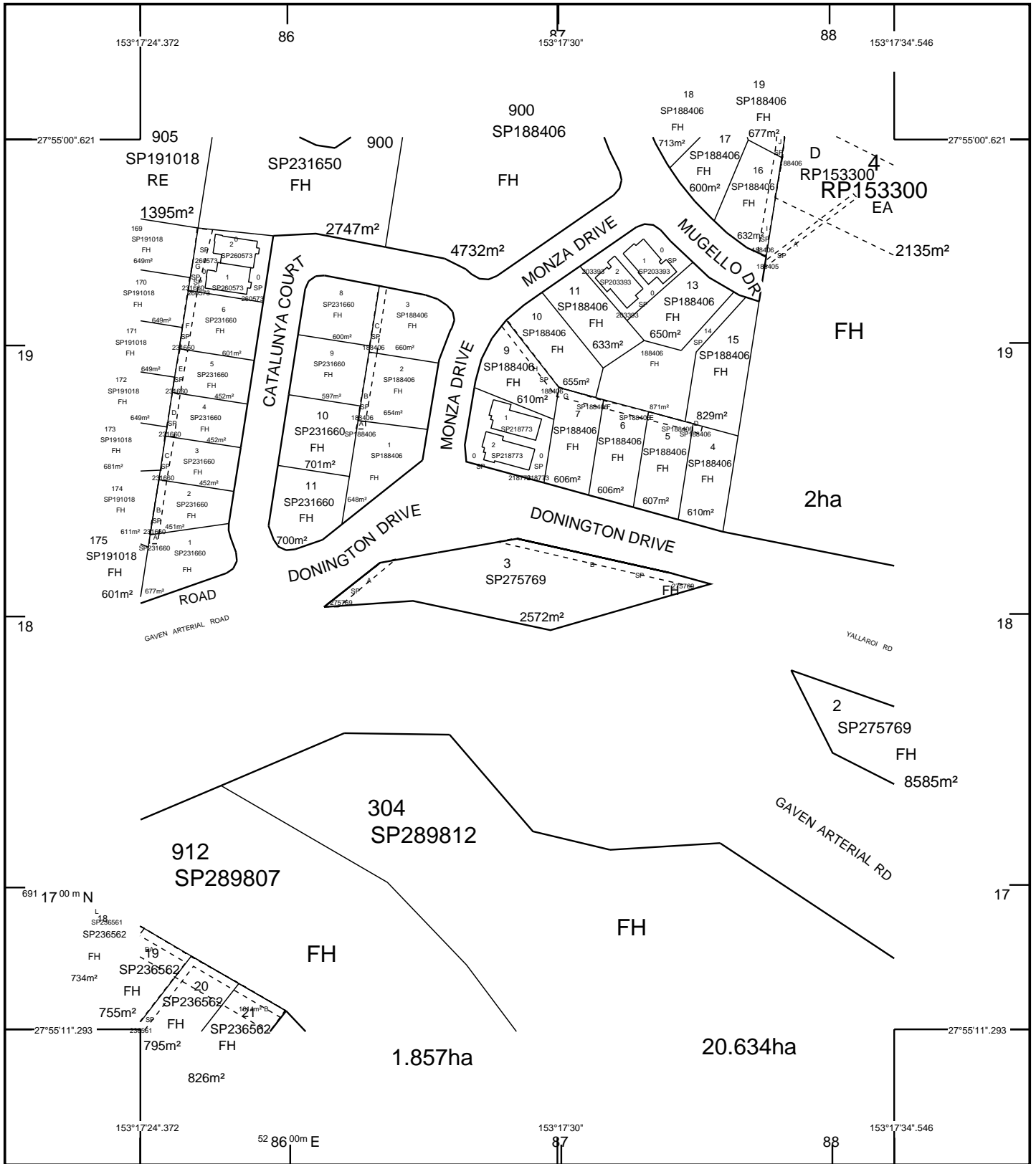


# ANNEXURE E

# SMART MAP

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SOURCE: DEPARTMENT OF NATURAL RESOURCES AND MINES



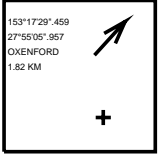
STANDARD MAP NUMBER  
9542-23424



**SmartMap**

An External Product of  
SmartMap Information Services  
Based upon an extraction from the  
Digital Cadastral Data Base

MAP WINDOW POSITION &  
NEAREST LOCATION



**SUBJECT PARCEL DESCRIPTION**

DCDB	
Lot/Plan	3/SP275769
Area/Volume	2572m <sup>2</sup>
Tenure	FREEHOLD
Local Government	GOLD COAST CITY
Locality	MAUDSLAND
Segment/Parcel	63402/243

**CLIENT SERVICE STANDARDS**

PRINTED (dd/mm/yyyy)	19/06/2018
DCDB	18/06/2018
Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.	
Despite Department of Natural Resources and Mines(DNRM)'s best efforts, DNRM makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information	
For further information on SmartMap products visit <a href="http://nrw.qld.gov.au/property/mapping/blinmap">http://nrw.qld.gov.au/property/mapping/blinmap</a>	



(c) The State of Queensland,  
(Department of Natural  
Resources and Mines) 2018.



# ANNEXURE F DECISION NOTICE

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SOURCE: GOLD COAST CITY COUNCIL



Date: 30 October 2019  
Contact: Nathan Seiler  
Location: City Development  
Telephone: 07 5582 8866  
Your reference:  
Our reference: OPW/2019/1241

Tellurium Gg Pty Ltd  
C/- Mortons Urban Solutions  
PO BOX 2484  
SOUTHPORT QLD 4215

Dear Sir/Madam

### **Decision Notice**

<b>Property description</b>	Lot 3 SP275769
<b>Property location</b>	Lot 3 Gaven Arterial Road, MAUDSLAND QLD 4210
<b>Application details</b>	Operational Works

Please find enclosed the decision notice for the proposed development identified above.

For further information regarding the assessment of this application, access the Planning and Development page on City of Gold Coast's website [cityofgoldcoast.com.au](http://cityofgoldcoast.com.au) and reference application number OPW/2019/1241.

If you are unable to access the website, please email your query to [mail@goldcoast.qld.gov.au](mailto:mail@goldcoast.qld.gov.au) and reference your application number.

### **Contacting us**

Should you wish to clarify any issues contained in this letter, please do not hesitate to contact Planning Assessment on 07 5582 8866.

Yours sincerely

City Development Branch  
Planning & Environment Directorate  
*For the Chief Executive Officer*  
Council of the City of Gold Coast

Our reference: PN349822/12/DA1  
Your reference: MCU201701129

**Decision notice —approval (with conditions)**  
(Given under section 63(2) of the *Planning Act 2016*)

**Date of decision notice:** 1 May 2018

**Applicant details**

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Applicant name: Hatia Property Corporation Pty Ltd  
Applicant contact details: Hatia Property Corporation Pty Ltd  
C/- Mortons Urban Solutions  
PO BOX 2484  
SOUTHPORT QLD 4215

**Application details**

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Application number: MCU 201701129  
Approval sought: Combined Development Permit for Material change of use and Reconfiguring a Lot  
Details of proposed development: Material change of use (impact assessment) for Multiple dwellings  
Reconfiguring a lot (impact assessment) for Community Title Subdivision

**Location details**

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Street address: Gaven Arterial Road, Maudsland  
Real property description: Lot 3 on SP275769

**Decision**

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Date of decision: 1 May 2018  
Decision details: Under Delegated Authority, the Manager of the City Development Branch of Council has resolved to  
Approve the development application in full with conditions

**Referral agency(s) for the application**

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Not applicable – no part of the application required referral.

**Details of the approval**

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Development permit: Material change of use Multiple dwellings (seven (7) dwellings)  
Development permit: Reconfiguring a lot (1 into 4 lots and common property - Community Title Subdivision)

**Conditions**

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The conditions that have been imposed by Council, as Assessment manager, are enclosed.

### **Further development permits**

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The following development permits are required to be obtained before the development can be carried out:

- Building works
- Operational works – Vegetation clearing
- Operational works – vehicle access works
- Operational works – Landscaping works (public and private)
- Plumbing and drainage works

Notwithstanding the above, other approvals/development permits may be required.

### **Properly made submissions**

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There were no properly made submissions for this application.

### **Currency period for the approval (section 85 of the *Planning Act 2016*)**

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In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of six years from the date of this letter 2 May 2024.

### **Approved plans and drawings**

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Approved plans and drawings are attached and are identified in the conditions imposed by Council as the Assessment manager.

### **Appeal rights**

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Applicant	<p>You have appeal rights in relation to this decision. An appeal may be made against, as applicable:</p> <ul style="list-style-type: none"><li>• the refusal of part of the development application; or</li><li>• a provision of the development approval; or</li><li>• if a development permit was applied for, the decision to give a preliminary approval.</li></ul> <p>An appeal must be started within 20 business days after this notice is given to you.</p> <p>An appeal may be made to the Planning and Environment Court or, for certain matters which are identified in section 1(2) of Schedule 1 of the <i>Planning Act 2016</i>, to a development tribunal.</p> <p>An appeal is started by lodging a notice of appeal with the registrar of the Planning and Environment Court or a development tribunal, as applicable. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required fee. An appellant to the Planning and Environment Court must give a copy of the notice of appeal, within 10 business days after the appeal is started, to the persons identified in section 230(3) of the <i>Planning Act 2016</i>. A person who is appealing to the Planning and Environment Court must comply with the rules of the court that apply to the appeal.</p> <p>An extract of Chapter 6, Part 1 and Schedule 1 of the <i>Planning Act 2016</i> is attached to this notice, which sets out further information about the appeal rights.</p>
-----------	--

For further information please contact Thalia Allsop, Planner on p: 07 5582 8866 or via email [mail@goldcoast.qld.gov.au](mailto:mail@goldcoast.qld.gov.au) who will be pleased to assist.

**AUTHORISED BY**

Richard Webber  
**Supervising Planner**  
*For the Chief Executive Officer*  
Council of the City of Gold Coast

Enc:  
Conditions imposed by Council as Assessment manager  
Statement of reasons (given under section 63(4) of *Planning Act 2016*)

Attach:  
Stamped approved plans and drawings  
Infrastructure charges notice for the approved development  
Appeal rights extracts

**Conditions imposed by Council as Assessment manager**

<b>MATERIAL CHANGE OF USE</b>																																																																					
<b>General</b>																																																																					
<b>1.</b>	<b>Timing</b>	<p>a All conditions of this development approval must be complied with at no cost to Council at all times unless otherwise stated in another condition.</p> <p>b Where the timing in a condition is prior to commencement of the use and a Building Format Plan is lodged for approval, the timing in the condition changes from being prior to commencement of the use to being prior to the earlier of the commencement of the use and approval of the plan of subdivision. This timing requirement prevails despite any inconsistency with the timing requirement in another condition.</p>																																																																			
<b>2.</b>	<b>Approved drawings</b>	<p>Undertake and maintain the development generally in accordance with the following drawings:</p> <table border="1"> <thead> <tr> <th colspan="5"><b>Planning</b></th> </tr> <tr> <th><b>Drawing Title</b></th> <th><b>Author</b></th> <th><b>Date</b></th> <th><b>Drawing No.</b></th> <th><b>Ver</b></th> </tr> </thead> <tbody> <tr> <td>Donington Drive Site Plan</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA-1-10</td> <td>B</td> </tr> <tr> <td>Donington Drive Typology</td> <td>Dryhurst Stuart Architects</td> <td>Jul-2017</td> <td>DA-1-11</td> <td>B</td> </tr> <tr> <td>Donington Drive Site Section</td> <td>Dryhurst Stuart Architects</td> <td>Jul-2017</td> <td>DA-1-13</td> <td>C</td> </tr> <tr> <td>Donington Drive Residences: 2a,2b</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA-2-10</td> <td>C</td> </tr> <tr> <td>Donington Drive Residences: 2c, 2d &amp; 4</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA-2-11</td> <td>C</td> </tr> <tr> <td>Donington Drive Residences: 6</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA-2-12</td> <td>C</td> </tr> <tr> <td>Donington Drive Residences: 8</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA-2-13</td> <td>C</td> </tr> <tr> <td>Donington Drive Residential Townhouse Type Plan (A1)</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA2-26</td> <td>A</td> </tr> <tr> <td>Donington Drive Residential Townhouse Type Plan (A3)</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA2-27</td> <td>A</td> </tr> <tr> <td>Donington Drive Residential Townhouse Type Plan (A3a)</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA2-27</td> <td>A</td> </tr> <tr> <td>Donington Drive Residential Townhouse Type Plan (C1)</td> <td>Dryhurst Stuart Architects</td> <td>Jul- 2017</td> <td>DA2-29</td> <td>A</td> </tr> </tbody> </table> <p>The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.</p>			<b>Planning</b>					<b>Drawing Title</b>	<b>Author</b>	<b>Date</b>	<b>Drawing No.</b>	<b>Ver</b>	Donington Drive Site Plan	Dryhurst Stuart Architects	Jul- 2017	DA-1-10	B	Donington Drive Typology	Dryhurst Stuart Architects	Jul-2017	DA-1-11	B	Donington Drive Site Section	Dryhurst Stuart Architects	Jul-2017	DA-1-13	C	Donington Drive Residences: 2a,2b	Dryhurst Stuart Architects	Jul- 2017	DA-2-10	C	Donington Drive Residences: 2c, 2d & 4	Dryhurst Stuart Architects	Jul- 2017	DA-2-11	C	Donington Drive Residences: 6	Dryhurst Stuart Architects	Jul- 2017	DA-2-12	C	Donington Drive Residences: 8	Dryhurst Stuart Architects	Jul- 2017	DA-2-13	C	Donington Drive Residential Townhouse Type Plan (A1)	Dryhurst Stuart Architects	Jul- 2017	DA2-26	A	Donington Drive Residential Townhouse Type Plan (A3)	Dryhurst Stuart Architects	Jul- 2017	DA2-27	A	Donington Drive Residential Townhouse Type Plan (A3a)	Dryhurst Stuart Architects	Jul- 2017	DA2-27	A	Donington Drive Residential Townhouse Type Plan (C1)	Dryhurst Stuart Architects	Jul- 2017	DA2-29	A
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<p><b>3. Approved Plans</b></p>	<p>Undertake and maintain the development generally in accordance with the following plans:</p> <table border="1" data-bbox="256 286 1390 875"> <thead> <tr> <th colspan="5" data-bbox="256 286 1390 331"><b>Geotechnical Engineering</b></th> </tr> <tr> <th data-bbox="256 331 614 383">Plan Title</th> <th data-bbox="614 331 804 383">Author</th> <th data-bbox="804 331 991 383">Date</th> <th data-bbox="991 331 1291 383">Plan Reference No.</th> <th data-bbox="1291 331 1390 383">Ver</th> </tr> </thead> <tbody> <tr> <td data-bbox="256 383 614 555">Slope Stability Assessment for Residential Subdivision, Lot 3 on SP275769 Donington Drive, Maudsland</td> <td data-bbox="614 383 804 555">Morrison Geotechnic Pty Ltd</td> <td data-bbox="804 383 991 555">July 2017</td> <td data-bbox="991 383 1291 555">Job No. GE17/142</td> <td data-bbox="1291 383 1390 555">-</td> </tr> <tr> <th colspan="5" data-bbox="256 577 1390 622"><b>Health and Regulatory Services</b></th> </tr> <tr> <th data-bbox="256 622 614 674">Plan Title</th> <th data-bbox="614 622 804 674">Author</th> <th data-bbox="804 622 991 674">Date</th> <th data-bbox="991 622 1291 674">Plan Reference No.</th> <th data-bbox="1291 622 1390 674">Ver</th> </tr> <tr> <td data-bbox="256 674 614 875">Proposed Residential Development Lot 2 Yallaroi Road and Lot 3 Donington Drive, Maudsland Road Traffic Noise Impact Report</td> <td data-bbox="614 674 804 875">CRG Acoustics P/L</td> <td data-bbox="804 674 991 875">14/7/17</td> <td data-bbox="991 674 1291 875">17091 report rev.1</td> <td data-bbox="1291 674 1390 875">1</td> </tr> </tbody> </table>	<b>Geotechnical Engineering</b>					Plan Title	Author	Date	Plan Reference No.	Ver	Slope Stability Assessment for Residential Subdivision, Lot 3 on SP275769 Donington Drive, Maudsland	Morrison Geotechnic Pty Ltd	July 2017	Job No. GE17/142	-	<b>Health and Regulatory Services</b>					Plan Title	Author	Date	Plan Reference No.	Ver	Proposed Residential Development Lot 2 Yallaroi Road and Lot 3 Donington Drive, Maudsland Road Traffic Noise Impact Report	CRG Acoustics P/L	14/7/17	17091 report rev.1	1
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<p><b>Property</b></p>																															
<p><b>4.</b></p>	<p><b>Private infrastructure</b></p> <p>Ownership, operation and maintenance of the following private infrastructure is to vest at all times with the Body Corporate and/or legal authority:</p> <p>a Stormwater management devices and infrastructure monitored and managed in accordance with the SQID Maintenance Management Plan (MMP).</p>																														
<p><b>5.</b></p>	<p><b>Restrictions regarding Council easements and infrastructure</b></p> <p>a No building work or deep landscaping is permitted over or within any Council public utility easement.</p> <p>b Ensure all proposed buildings, structures and footings are a minimum distance of 1.5 horizontal metres from Council infrastructure.</p> <p>c Ensure a minimum 2.4 metres unobstructed vertical clearance from the finished surface level above Council infrastructure.</p>																														
<p><b>Environmental and Landscaping</b></p>																															
<p><b>6.</b></p>	<p><b>Vegetation clearing</b></p> <p>Obtain an operational works approval for vegetation clearing in accordance with the Vegetation management code of the City Plan, prior to commencement of any works at no cost to Council: and include in particular:</p> <ul style="list-style-type: none"> <li>i. The bushfire management plan.</li> <li>ii. The fauna management plan.</li> <li>iii. A vegetation management plan.</li> <li>iv. A sediment and erosion control and construction management plan.</li> <li>v. A letter from an EPA approved spotter catcher and any necessary fauna management plan or a QPWS endorsed fauna translocation management plan.</li> </ul>																														
<p><b>7.</b></p>	<p><b>Landscaping works on private land</b></p> <p>a Obtain an operational works approval to landscape the site generally in accordance with the Statement of Landscape Intent listed below, prior to commencement of use at no cost to Council:</p>																														

Drawing Title	Author	Date	Drawing No.	Ver
Landscape concept plan	Andrew Gold Landscape Architecture	15 December 2017	17.097 Sheet 1	D
Timber fence detail	Andrew Gold Landscape Architecture	15 December 2017	17.096 Sheet 2	D
Proposed planting schedule	Andrew Gold Landscape Architecture	15 December 2017	17.096 Sheet 3	D

and include in particular:

- i. Unless otherwise specified within this condition, tree species must be a minimum bag size of 45L at the time of planting.
  - ii. Tree species planted within the communal open space area must be a minimum bag size of 100L at the time of planting.
  - iii. Palm species must be a minimum 3 metres in height at the time of planting.
  - iv. Unless otherwise specified within this condition, shrub species must be a minimum 200mm pot size at the time of planting.
  - v. Feature shrub species must be a minimum 300mm pot size at the time of planting.
  - vi. A row of screening shrubs (minimum bag size of 45L at the time of planting) must be planted within the 600mm setback to the southern boundary adjacent to the dwellings.
  - vii. A continuous row of screening shrubs must be incorporated along the northern frontage boundary adjacent to the dwellings.
  - viii. A minimum of one (1) *Syzygium 'Hinterland Gold'* (minimum bag size 100L) must be planted within the northern frontage setback for each dwelling.
  - ix. Screening shrubs are to be incorporated around the perimeter of the private courtyards.
  - x. Location of existing and proposed street trees planting must be identified (to be approved as part of separate Operational works – public landscaping application).
  - xi. Tree species planted with root zones adjacent to structures must have root control barriers and/or structure strengthening systems installed. Full demonstration of these systems is required.
  - xii. Include frontage fencing as shown on the approved referenced Statement of Landscape Intent.
  - xiii. The locations and cross sections of all proposed bio-retention systems as required by the sites approved Stormwater Management Plan and identify:
    - A. Proposed filter media depths and surface treatments.
    - B. Planting densities and species are to be consistent with *City Plan Policy SC6.9 Land development guidelines*, section 6.9.3.
- b Construct and maintain the private landscaping identified above at no cost to Council at all times.

## Transport

### 8. Off street vehicle and car parking facilities

- a Design and construct off street vehicle facilities at no cost to Council prior to the commencement of the use, generally in accordance with the Transport code of the City Plan and include in particular:

	<ul style="list-style-type: none"> <li>i. A minimum of 14 car parking spaces for residents, comprising: <ul style="list-style-type: none"> <li>o 2 spaces for the dwelling on lot 1;</li> <li>o 2 spaces for the dwelling on lot 2;</li> <li>o 2 spaces for the dwelling on lot 3; and</li> <li>o 2 spaces for each of the multiple dwellings (8 spaces total) on lot 4.</li> </ul> </li> <li>ii. All spaces are drained and sealed.</li> </ul> <p>b Maintain the off street vehicle and parking facilities at no cost to Council at all times.</p>
<b>Engineering</b>	
<b>9.</b>	<p><b>Telecommunications network</b></p> <p>Design, construct and connect a telecommunications services network at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>a Provide underground telecommunications to the subject building/s within Lot 4, lead-in conduits and equipment space/s in a suitable location within the building/s, to suit the carrier of choice.</li> <li>b All new pit and pipe infrastructure required to be installed along public road(s), must be suitably sized to cater for future installation of fibre optic cables.</li> <li>c Meet the telecommunications industry standards (e.g. Telstra/NBN Co standards).</li> </ul>
<b>10.</b>	<p><b>Rectification of Council's infrastructure</b></p> <ul style="list-style-type: none"> <li>a Rectify any damage caused to Council infrastructure (including kerb, channelling, service pits, footpaths and water and sewer reticulation networks) prior to commencement of the use at no cost to Council.</li> <li>b Construct and maintain the rectified Council infrastructure at no cost to Council prior to commencement of the use.</li> </ul>
<b>11.</b>	<p><b>Detailed drawings of all vehicular crossings to be submitted</b></p> <p>Detailed design drawing of the vehicular crossings must be submitted to the Council for approval by the Council prior to the construction of all the vehicular crossings. The vehicular crossings must comply with all Council's Standards and Drawings. The approved drawings will form part of this approval and a stamped copy will be returned to the applicant. The development must be carried out in accordance with the approved drawings.</p>
<b>12.</b>	<p><b>Driveways and vehicular crossings</b></p> <p>Obtain an operational works approval for the design and construction of the driveways and all vehicular crossings prior to commencement of the use at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>i. Construct and position to enable the maintenance of a public road and road verge, and not cause any obstruction to pedestrians or vehicular traffic.</li> <li>ii. Not cause damage to vehicles or road infrastructure.</li> <li>iii. Provide effective access between the road and the property.</li> <li>iv. Provide hydraulic capacity to allow stormwater flow towards the closest stormwater infrastructure.</li> </ul>



<b>Stormwater Drainage</b>	
<b>13. Overland flow paths and hydraulic alterations</b>	<p>a The development must not obstruct any existing overland flow coming on to the site from external catchment located along the northern boundary of the site and must properly manage such flow to ensure no adverse impact externally.</p> <p>b The development must not:</p> <ul style="list-style-type: none"> <li>i. Increase peak flow rates downstream from the site;</li> <li>ii. Increase flood levels external to the site;</li> <li>iii. Increase duration of inundation external to the site that could cause loss or damage.</li> </ul>
<b>Sewer and Water Works</b>	
<b>14. Sewer reticulation</b>	<p>a Design, construction and connect a sewer connection for the proposal to Council's sewer network at the existing maintenance hole located in the eastern corner of the site and the maintenance hole located near the intersection of Monza Drive and Yallaroi Road, prior commencement of the use at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>i Be in accordance with the SEQ Water Supply &amp; Sewerage Design and Construction Code (SEQ WS&amp;S D&amp;C Code), Water and Sewerage Connections Policy.</li> <li>ii The size of the sewer property service connection must be a minimum of 150 mm in accordance with Section 4.5.4 of the SEQ Water Supply &amp; Sewerage Design &amp; Construction Code (SEQ WS&amp;S D&amp;C Code).</li> <li>iii Remove/seal/cap redundant sewer property services.</li> </ul>
<b>15. Water reticulation</b>	<p>a Design, construction and connect a water connection for the proposal to the existing 150 mm potable water main crossing Yallaroi Road in the fronting verge of the site, prior to commencement of the use at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>i Be in accordance with the SEQ Water Supply &amp; Sewerage Design and Construction Code (SEQ WS&amp;S D&amp;C Code), and Water and Sewerage Connections Policy.</li> <li>ii The property service, water meter box and water meter must be provided at the boundary of the development site.</li> <li>iii Remove redundant water meters/connections.</li> </ul>
<b>16. Sub-metering</b>	<p>Provide individual sub-metering for each lot/unit including common property generally in accordance with the Metering Technical Specifications and the Water and Sewage Connections Policy.</p>
<b>17. Fire loading</b>	<p>Fire loading must not exceed 15 L/s for 2 hours.</p>

## Construction Management

### 18. Certification of works

Provide Council with certificates prepared by qualified experts from the disciplines listed below, confirming as follows:

#### Subdivision Engineering

Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Contractual agreement (e.g. Agreement Advice or Completion Letter from Telstra. Alternatively, a copy of Master Development Agreement or Small Development Agreement from NBN Co).	Prior to commencement of the use	-	The authorised telecommunication carrier (e.g. Telstra, NBN Co)	Development Compliance

The certification is to confirm:

Underground telecommunication infrastructure has been undertaken and installed in accordance with telecommunications industry standards (e.g. Telstra / NBN Co standards).

#### Health and Regulatory Services

Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Acoustic compliance report	Prior to commencement of the use	Proposed Residential Development Lot 2 Yallaro Road and Lot 3 Donington Drive, Maudsland Road Traffic Noise Impact Report prepared by CRG Acoustics P/L dated 14/7/17 ref. 17091 report rev.1	Acoustic Engineer	Health and Regulatory Services

The certification is to confirm:

The development has been designed in accordance with the established noise criteria and recommendations outlined in an approved Acoustic Report.

<b>Water and Waste</b>				
<b>Certified document</b>	<b>Certification date</b>	<b>Plan/ Drawing</b>	<b>Expert discipline</b>	<b>Requesting Council Section</b>
An easement document and Survey Plans with the required easements dimensioned and shown centrally located over the proposed sewerage infrastructure located within the subject site	Prior to commencement of the use	Survey Plan	Registered surveyor	Compliance section
<p>The certification is to confirm:</p> <p>Easements are correctly located over the infrastructure and meet the requirements specified in the SEQ Water Supply and Sewerage Design and Construction Code for sewerage infrastructure.</p>				
<p><b>19. Construction management plan</b></p> <p>a Prepare and submit for approval a Construction management plan generally in accordance with the Guidelines for Construction Management Plans prior to any works commencing.</p> <p>b The Construction management plan must be prepared by a suitably qualified professional and include in particular.</p> <ul style="list-style-type: none"> <li>i Provide hours of construction.</li> <li>ii Provide details on vehicle access (including responsibility for maintenance of the defined cartage route) during construction hours.</li> <li>iii Provide details on traffic management (including loading, unloading and cartage routes).</li> <li>iv Parking of vehicles (including on site employees and delivery vehicles).</li> <li>v Maintenance of safe pedestrian movement across the site's frontage/s (including people with disabilities).</li> <li>vi Provide details for the collection and control of Building waste and refuse disposal.</li> <li>vii Details on the presentation of hoarding to the street.</li> <li>viii Provide details for tree management.</li> <li>ix Demonstrate how the general public will be protected from construction activities.</li> <li>x Provide details on how the building site will be kept clean and tidy to maintain public safety and amenity.</li> </ul> <p>c Implement the Construction management plan during all construction works at no cost to Council.</p>				
<b>Plumbing and Drainage Act 2002</b>				
<p><b>20. Plumbing and drainage works</b></p> <p>Obtain a compliance permit for all plumbing and drainage work prior to any compliance assessable work commencing.</p> <p><i>Note:</i></p>				

*A compliance permit for plumbing and drainage works cannot approve the discharge of trade waste to Council's sewerage system. The generator of trade waste must complete an application for approval to discharge trade waste to Council's Sewerage System (available on Council's website).*

**Advice Notes**

**A. Further development permits/compliance permits**

Further development permits and/or compliance permits from Council are required to facilitate the development of the approved works identified in this decision notice. These include:

<b>Environmental Assessment</b>
- Operational works - vegetation clearing
<b>City Assets</b>
- Operational works – vehicle access works
<b>Gold Coast Water and Waste</b>
- Application to work on the City's Infrastructure
<b>Landscape Assessment</b>
- Operational works - landscape works (private land)
- Operational works - landscape works (public open space)
<b>Plumbing and Drainage</b>
- Compliance permit for plumbing and drainage work

A copy of this decision notice and accompanying stamped drawings/plans must be submitted with any subsequent application identified above.

**B. Compliance with conditions**

Once this development approval takes effect, the conditions attach to the land and are applicable in perpetuity. It is a development offence to contravene a development approval, including any of its conditions.

**C. Indigenous cultural heritage legislation and duty of care requirement**

The *Aboriginal Cultural Heritage Act 2003* ('**ACHA**') is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:

- a Is not negated by the issuing of this development approval;
- b Applies on all land and water, including freehold land;
- c Lies with the person or entity conducting an activity; and
- d If breached, is subject to criminal offence penalties.

Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care.

Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA.

The applicant should contact DATSIMA's Cultural Heritage Coordination Unit on (07) 3405 3050 for further information on the responsibilities of developers under the ACHA.

<p><b>D.</b></p>	<p><b>Applicant responsibilities</b></p> <p>The applicant is responsible for securing all necessary approvals and tenure, providing statutory notifications and complying with all relevant laws.</p> <p>Nothing in this decision notice alleviates the need for the applicant to comply with all relevant local, State and Commonwealth laws and to ensure appropriate tenure arrangements have been made where the use of/reliance upon land other than that owned by the applicant is involved. Without limiting this obligation, the applicant is responsible for:</p> <ul style="list-style-type: none"> <li>a Obtaining all other/further necessary approvals, licences, permits, resource entitlements etc by whatever name called required by law before the development the subject of this approval can be lawfully commenced and to carry out the activity for its duration;</li> <li>b Providing any notifications required by law (by way of example only, to notify the administering authority pursuant to the <i>Environment Protection Act 1994</i> of environmental harm being caused/threatened by the activity, and upon becoming aware the premises is being used for a 'notifiable activity');</li> <li>c Securing tenure/permission from the relevant owner to use private or public land not owned by the applicant (including for access required by conditions of approval);</li> <li>d Ensuring the correct siting of structures on the land. An identification survey demonstrating correct siting and setbacks of structures may be requested of the applicant to ensure compliance with this decision notice and applicable codes;</li> <li>e Providing Council with proof of payment of the Portable Long Service Leave building construction levy (or proof of appropriate exemption) where the value of the Operational Works exceed \$150,000. Acceptable proof of payment is a Q.Leave –Notification and Payment Form approved by the Authority. Proof of payment must be provided before Council can issue a development permit for the Operational works. This is a requirement of section 77(1) of the Building and Construction Industry (Portable Long Service Leave) Act 1991; and</li> <li>f Making payment of any outstanding Council rates and charges applicable to the development site prior to the lodgement of subdivision plans.</li> <li>g Obtaining any necessary local government/state approvals where works require the installation of temporary ground anchoring into adjacent Road Reserves. Where ground anchoring is proposed into an adjacent private property, approval from the relevant property owners(s) is required</li> </ul>
<p><b>E.</b></p>	<p><b>Weeds, pest animals and ants</b></p> <p>Biosecurity Queensland of the Department of Agriculture and Fisheries leads the Government's efforts to prevent, respond to and recover from pests and diseases threatening agricultural prosperity, the environment, social amenity and human health.</p> <p>All landscape materials, including but not limited to, soils, mulch, grass, gravel, potted or ex-ground plants, pavers and timber used in landscape treatments must be free from weeds, pest animals and ants.</p>
<p><b>F.</b></p>	<p><b>Fire ant control</b></p> <p>Northern suburbs of the Gold Coast are within Fire Ant Biosecurity zone 2 and must remain vigilant for the presence of fire ants. Under the <i>Biosecurity Act 2014</i> individuals and organisations whose activities involve the movement or storage of fire ant carriers have a general biosecurity obligation to take all reasonable steps to ensure they do not spread fire ants. Movement of a fire ant carrier from within the fire ant biosecurity zone may need a biosecurity instrument permit. More information is available on the Department of Agriculture and Fisheries website <a href="http://www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants">www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants</a>.</p>

<b>G.</b>	<b>Connections and disconnections</b> Any connection/disconnection to the existing water and sewerage networks will be at the applicant's cost. Prior to the connection/disconnection taking place, the applicant must obtain written approval from Water and Waste. Refer to Water and Sewerage Connections Policy, available on Council's website <a href="http://www.cityofgoldcoast.com.au">http://www.cityofgoldcoast.com.au</a>
<b>H.</b>	<b>Connections to, alteration or realignment of Council infrastructure</b> Where development works require the connection to, alteration, removal or realignment of Council infrastructure or impact on other public utility infrastructure (e.g. telecommunications, electricity and gas), the applicant must obtain the necessary approvals from the relevant public utility authority prior to works commencing. Connection to, alteration, removal or realignment of Council infrastructure includes (but is not limited to) fire hydrants, water service meters, sewer maintenance hole covers, stormwater drainage infrastructure, reinstatement of maintenance hole covers, stormwater drainage infrastructure, crossovers, footpaths, road pavement, kerb and channel, kerb ramps, medians, traffic islands, road furniture, signage and line-marking.
<b>I.</b>	<b>Stormwater</b> A property notification will be applied to the lot stating a stormwater management plan exists for the site and must be complied with at all times.
<b>J.</b>	<b>Bushfire management</b> A property notification will be applied to the lot/subsequent lots stating a bushfire management plan exists for the site and must be complied with at all times.
<b>K.</b>	<b>Water meter sizing</b> All water meters 50 mm in diameter or larger require an operation works approval. Refer to Water and Sewerage Connections Policy, available on Council's website: <a href="http://www.cityofgoldcoast.com.au">http://www.cityofgoldcoast.com.au</a>
<b>Property Notifications</b>	
<b>A.</b>	<b>Stormwater</b> There are development approval conditions applicable in relation to stormwater management on this lot/subsequent lots. All property owner(s) must ensure compliance with these conditions. Refer to Council of the City of Gold Coast's Decision Notice (MCU 201701129). A copy of Council's Decision Notice is available for viewing on Council's website <a href="http://www.goldcoastcity.com.au/pdonline">www.goldcoastcity.com.au/pdonline</a>
<b>B.</b>	<b>Bushfire management</b> There are development approval conditions applicable in relation to bushfire management on this lot/subsequent lots. All property owner(s) must ensure compliance with these conditions. Refer to Council of the City of Gold Coast's Decision Notice <a href="#">insert application number</a> . A copy of Council's Decision Notice is available for viewing on Council's website <a href="http://www.goldcoastcity.com.au/pdonline">www.goldcoastcity.com.au/pdonline</a>

## RECONFIGURING A LOT

### General

#### 1. Timing

- a All conditions of this development approval must be complied with at no cost to Council at all times unless otherwise stated in another condition.
- b Where the timing in a condition is prior to commencement of the use and a Building Format Plan is lodged for approval, the timing in the condition changes from being prior to commencement of the use to being prior to the earlier of the commencement of the use and approval of the plan of subdivision. This timing requirement prevails despite any inconsistency with the timing requirement in another condition.

#### 2. Approved drawings

Undertake and maintain the development generally in accordance with the following drawings including as amended in red by the Council:

Planning				
Drawing Title	Author	Date	Drawing No.	Ver
Donington Drive Proposed (Community Title) Subdivision Plan	Dryhurst Stuart Architects	Jul- 2017	DA-1-14	B

The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.

#### 3. Approved Plans

Undertake and maintain the development generally in accordance with the following plans:

Hydraulics and Water Quality				
Plan Title	Author	Date	Plan Reference No.	Ver
Donington Drive, Maudsland - Stormwater Quality and Quantity Management Plan	Storm Water Consulting	4 April 2018	Job No J5458	1.2

### Property

#### 4. Private infrastructure

Ownership, operation and maintenance of the following private infrastructure is to vest at all times with the Body Corporate (CTS) and/or legal authority:

- a Stormwater management devices and infrastructure monitored and managed in accordance with the SQID Maintenance Management Plan (MMP).

#### 5. Community Management Statement (CMS)

- a Proposed lots 1 - 4 and common property marked on the drawings listed below must be defined in the CMS as the scheme land :

Drawing Title	Author	Date	Drawing No.	Ver
Proposed (Community Title) Subdivision Plan	DSA	July 2017	DA-1-14	B

- b Undertake the above prior to a request is made to Council to approve the plan of subdivision.
- c Submit, immediately after its creation, the first CMS (*signed by all relevant parties*) to Council for notation and verification of the above.

	d Should a new/amended CMS be created, a copy of the new/amended CMS must be provided to Council within 5 business days of its creation.										
<b>6.</b>	<p><b>Restrictions regarding Council easements and infrastructure</b></p> <p>a No building work or deep landscaping is permitted over or within any Council public utility easement.</p> <p>b Ensure all proposed buildings, structures and footings are a minimum distance of 1.5 horizontal metres from Council infrastructure.</p> <p>c Ensure a minimum 2.4 metres unobstructed vertical clearance from the finished surface level above Council infrastructure.</p>										
<b>Environmental and Landscaping</b>											
<b>7.</b>	<p><b>Landscaping works within public road reserve</b></p> <p>a Obtain an operational works approval to landscape all public open space generally in accordance with the Statement of Landscape Intent listed below, prior to a request is made to Council to approve the plan of subdivision at no cost to Council:</p> <table border="1" data-bbox="261 781 1390 891"> <thead> <tr> <th>Drawing Title</th> <th>Author</th> <th>Date</th> <th>Drawing No.</th> <th>Ver</th> </tr> </thead> <tbody> <tr> <td>Landscape Concept Plan</td> <td>AGLA</td> <td>15/12/2017</td> <td>-</td> <td>D</td> </tr> </tbody> </table> <p>and include in particular:</p> <ul style="list-style-type: none"> <li>i. Ensure street trees are planted within the road reserve directly fronting the subject site along Donington Drive.</li> <li>ii. All street trees planted must be a minimum 100L bag size.</li> <li>iii. Ensure trees located within the public road reserve fronting the subject site on Gaven Arterial Road are retained and not disturbed or damaged during implementation of the approved works.</li> <li>iv. Trees must be a single-trunked canopy shade species able to attain a clear trunk height of 1800mm on maturity.</li> <li>v. Ensure all other existing vegetation is retained and not disturbed or damaged during implementation of the approved works. Should damage or removal occur, compensatory planting will be required at a 1:2 ratio.</li> <li>vi. All built structures and planting associated with an entry statement must be located within private property.</li> <li>vii. Provide annual maintenance costings and for all landscape items relevant to the development for the duration of the establishment and on maintenance periods.</li> </ul> <p>b Construct and maintain the public open space identified above until the asset is accepted “off maintenance” by the City in accordance with the procedures in City Planning Policy SC6.9 – Land development guidelines, section 6.9.6.</p>	Drawing Title	Author	Date	Drawing No.	Ver	Landscape Concept Plan	AGLA	15/12/2017	-	D
Drawing Title	Author	Date	Drawing No.	Ver							
Landscape Concept Plan	AGLA	15/12/2017	-	D							
<b>8.</b>	<p><b>Retaining structures</b> (<i>specific condition</i>)</p> <p>All parts of retaining structures (including footings) must be set back a minimum 600mm from street front property boundaries.</p>										
<b>Engineering</b>											
<b>9.</b>	<p><b>Existing road</b></p> <p>a Obtain an operational works approval for the design and upgrade of the full frontage of the site to Donington Drive and Catalunya Court prior to a request is made to Council to approve the plan of subdivision at no cost to Council and include in particular:</p>										



	<ul style="list-style-type: none"> <li>i The existing edge restraints at the full frontage of the site to Donington Drive and Catalunya Court must be replaced with new barrier kerb and channels.</li> <li>ii The verge at the full frontage of the site to Donington Drive and Catalunya Court must have a 1 in 25 raising gradient.</li> </ul> <p>b Construct and maintain the roads identified above at no costs to Council until the asset is accepted “off maintenance” by the City in accordance with the procedures in City Planning Policy SC6.9 – Land development guidelines, sections 6.9.6 and 6.9.7.</p>
<b>10. Footpaths</b>	<p>a Obtain an operational works approval for the design and construction of a 1.5 metre wide footpath, prior to a request is made to Council to approve the plan of subdivision at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>i A 1.5 metre wide footpath required along the full frontage of the site to Donington Drive and Catalunya Court (subdivision side only).</li> <li>ii This new 1.5 metre wide footpath must be connected with the existing footpath adjacent to Lot 1 on SP231660.</li> </ul> <p>b Construct and maintain the footpaths identified above at no cost to Council until the asset is accepted “off maintenance” by the City in accordance with the procedures in City Planning Policy SC6.9 – Land development guidelines, sections 6.9.6 and 6.9.7.</p>
<b>11. Electrical reticulation</b>	<p>Design, construct and connect an electrical reticulation system at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>a Provide underground electricity to all proposed lots.</li> <li>b No additional poles and pole-mounted transformers are to be erected within public roads.</li> <li>c Meet the requirements of the electricity supplier (e.g. Energex).</li> </ul>
<b>12. Telecommunications network</b>	<p>Design, construct and connect a telecommunications services network at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>a Provide underground telecommunications to all proposed lots and pit and pipe infrastructure along public roads.</li> <li>b All new pit and pipe infrastructure required to be installed along public road(s), must be suitably sized to cater for future installation of fibre optic cables.</li> <li>c Meet the telecommunications industry standards (e.g. Telstra/NBN Co standards).</li> </ul>
<b>13. Connection to Permanent survey marks</b>	<p>a Connect all proposed lots to permanent survey marks (PSM's) in accordance with SC6.9 City Plan Policy – Land Development Guidelines and Guidelines for Creation and Submission of ADAC.xml Files. All proposed lots must be connected to at least 2 permanent survey marks for inclusion in the City of Gold Coast Contributed Assets register.</p> <p>b New permanent survey marks must comply with the requirements of SC6.9 City Plan Policy – Land Development Guidelines and include in particular:</p> <ul style="list-style-type: none"> <li>i Be placed in locations to provide good coverage over the extent of the survey.</li> <li>ii Be levelled on the Australian Height Datum and fixed with horizontal coordinates to the Map Grid of Australia (MGA 94) to a suitable Horizontal Positional Uncertainty (PU) &lt; 30mm or better, Conventional 4TH order for vertical accuracy in accordance with Department of Natural Resources and Mines guidelines.</li> </ul> <p>c Connect lots to permanent survey marks prior to a request is made to Council to approve the plan of subdivision.</p>

14.	<p><b>Rectification of Council’s infrastructure</b></p> <p>a Rectify any damage caused to Council infrastructure (including kerb, channelling, service pits, footpaths and water and sewer reticulation networks) prior to a request is made to Council to approve the plan of subdivision.</p> <p>b Construct and maintain the rectified Council infrastructure at no cost to Council prior to a request is made to Council to approve the plan of subdivision.</p>
<b>Stormwater Drainage</b>	
15.	<p><b>Overland flow paths and hydraulic alterations</b></p> <p>a The development must not obstruct any existing overland flow coming on to the site from external catchment located along the northern boundary of the site and must properly manage such flow to ensure no adverse impact externally.</p> <p>b The development must not:</p> <ul style="list-style-type: none"> <li>i. Increase peak flow rates downstream from the site;</li> <li>ii. Increase flood levels external to the site;</li> <li>iii. Increase duration of inundation external to the site that could cause loss or damage.</li> </ul>
16.	<p><b>Bioretention basin maintenance management plan</b> (<i>specific condition</i>)</p> <p>a Prepare and implement a bioretention basin maintenance management plan (MMP) prior to the commencement of the use. The MMP must be prepared by a Registered Professional Engineer Queensland (RPEQ) specialising in stormwater management in accordance with City Plan Policy – SC6.9 Land Development Guidelines and with reference to the Water by Design document Maintaining Vegetated Stormwater Assets, Version 1 February 2012.</p> <p>b The MMP must include, but not necessarily be limited to, the following key information:</p> <ul style="list-style-type: none"> <li>i Design intent and description of the device(s).</li> <li>ii The location and specific dimensions of the device(s).</li> <li>iii Approved / designed water quality objectives.</li> <li>iv Water quality monitoring procedures.</li> <li>v Monitoring frequency.</li> <li>vi Specifications and procedures for device(s) maintenance.</li> <li>vii Plant and equipment access details for maintenance activities.</li> <li>viii Maintenance activity schedule defining frequency, area (m2) per maintenance zone, hours, staff, plant and equipment, approximate costs per rotation, and per annum.</li> <li>ix Performance indicators / intervention levels / triggers for reactive maintenance.</li> <li>x Any necessary preventative maintenance measures.</li> <li>xi Acceptable solutions for specific items, i.e. acceptable plant species substitutions based on availability, hydraulic conductivity, water quality objectives, etc.</li> <li>xii Approximate lifecycle maintenance costs.</li> </ul>
<b>Sewer and Water Works</b>	
17.	<p><b>Sewer reticulation</b></p> <p>a Design, construction and connect a sewer connection for the proposal to Council’s sewer network at the existing maintenance hole located in the eastern corner of the site and the maintenance hole located near the intersection of Monza Drive and Yallaroi Road, prior to a request is made to Council to approve the plan of subdivision at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>i Be in accordance with the SEQ Water Supply &amp; Sewerage Design and Construction Code (SEQ WS&amp;S D&amp;C Code), Water and Sewerage Connections</li> </ul>

	<p>Policy.</p> <ul style="list-style-type: none"> <li>ii The size of the sewer property service connection must be a minimum of 150 mm in accordance with Section 4.5.4 of the SEQ Water Supply &amp; Sewerage Design &amp; Construction Code (SEQ WS&amp;S D&amp;C Code).</li> <li>iii Remove/seal/cap redundant sewer property services.</li> </ul>															
<b>18. Water reticulation</b>	<p>a Design, construction and connect a water connection for the proposal to the existing 150 mm potable water main crossing Yallaroi Road in the fronting verge of the site, prior to a request is made to Council to approve the plan of subdivision at no cost to Council and include in particular:</p> <ul style="list-style-type: none"> <li>i Be in accordance with the SEQ Water Supply &amp; Sewerage Design and Construction Code (SEQ WS&amp;S D&amp;C Code), and Water and Sewerage Connections Policy.</li> <li>ii The property service, water meter box and water meter must be provided at the boundary of the development site.</li> <li>iii Remove redundant water meters/connections.</li> </ul>															
<b>19. Sub-metering</b>	<p>Provide individual sub-metering for each lot/unit including common property generally in accordance with the Metering Technical Specifications and the Water and Sewage Connections Policy.</p>															
<b>20. Fire loading</b>	<p>Fire loading must not exceed 15 L/s for 2 hours.</p>															
<b>Construction Management</b>																
<b>21. Certification of works</b>	<p>Provide Council with certificates prepared by qualified experts from the disciplines listed below, confirming as follows:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="5" style="text-align: left;"><b>Hydraulics and Water Quality</b></th> </tr> <tr> <th style="width: 20%;">Certified document</th> <th style="width: 20%;">Certification date</th> <th style="width: 20%;">Plan/ Drawing</th> <th style="width: 20%;">Expert discipline</th> <th style="width: 20%;">Requesting Council Section</th> </tr> </thead> <tbody> <tr> <td>Bioretention basin maintenance management plan (MMP)</td> <td>Prior to the commencement of use of the premises or lodgement of plan sealing application, whichever occurs first</td> <td></td> <td>Registered Professional Engineer Queensland (RPEQ)</td> <td>Development Compliance</td> </tr> </tbody> </table> <p>The certification / evidence is to confirm:</p> <ul style="list-style-type: none"> <li>i. Bioretention basin maintenance management plan (MMP) has been prepared in accordance with City Plan Policy – <i>Land Development Guidelines</i> and with reference to the Water by Design document “<i>Maintaining Vegetated Stormwater Assets</i>” and handed over to the Body Corporate (CTS) of the development for future maintenance purpose.</li> </ul>	<b>Hydraulics and Water Quality</b>					Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section	Bioretention basin maintenance management plan (MMP)	Prior to the commencement of use of the premises or lodgement of plan sealing application, whichever occurs first		Registered Professional Engineer Queensland (RPEQ)	Development Compliance
<b>Hydraulics and Water Quality</b>																
Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section												
Bioretention basin maintenance management plan (MMP)	Prior to the commencement of use of the premises or lodgement of plan sealing application, whichever occurs first		Registered Professional Engineer Queensland (RPEQ)	Development Compliance												

### Hydraulics and Water Quality

Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Post construction certification	Prior to the commencement of use of the premises or lodgement of plan sealing application, whichever occurs first	Stormwater Management Plan (Storm Water Consulting; 4 April 2018)	Registered Professional Engineer Queensland (RPEQ)	Development Compliance

The certification is to confirm:

All stormwater devices (quantity and quality) shown in the approved stormwater management plan, document and associated design drawings have been installed on-site in accordance with Council's approved stormwater management plan and document mentioned above and are functioning as designed.

### Subdivision Engineering

Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Certificate for electricity supply	Prior to a request is made to Council to approve the plan of subdivision	-	An authorised supplier (e.g. Energex)	Contributed Assets

The certification is to confirm:

Underground electricity supply is available to all proposed lots.

### Subdivision Engineering

Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Contractual agreement (e.g. Agreement Advice or Completion Letter from Telstra. Alternatively, a copy of Master Development Agreement or Small Development Agreement from NBN Co).	Prior to a request is made to Council to approve the plan of subdivision	-	The authorised telecommunication carrier (e.g. Telstra, NBN Co)	Contributed Assets

The certification is to confirm:

Underground telecommunication infrastructure has been undertaken and installed in accordance with telecommunications industry standards (e.g. Telstra / NBN Co standards).

<b>Subdivision Engineering</b>				
<b>Certified document</b>	<b>Certification date</b>	<b>Plan/ Drawing</b>	<b>Expert discipline</b>	<b>Requesting Council Section</b>
Written confirmation for Permanent Survey Marks works	Prior to a request is made to Council to approve the plan of subdivision	-	Registered Cadastral Surveyor	Contributed Assets

The certification is to confirm:  
That all lots are connected to permanent survey marks in accordance with the requirements contained within the permanent survey marks condition.

**Water and Waste**

<b>Certified document</b>	<b>Certification date</b>	<b>Plan/ Drawing</b>	<b>Expert discipline</b>	<b>Requesting Council Section</b>
An easement document and Survey Plans with the required easements dimensioned and shown centrally located over the proposed sewerage infrastructure located within the subject site	Prior to a request is made to Council to approve the plan of subdivision	Survey Plan	Registered surveyor	Compliance section

The certification is to confirm:  
Easements are correctly located over the infrastructure and meet the requirements specified in the SEQ Water Supply and Sewerage Design and Construction Code for sewerage infrastructure.

- 22. Erosion and sediment control**
- a Undertake works generally in accordance with the Healthy waters code of the City Plan; and include in particular:
    - i. Sediment control structures e.g.: a sediment fence must be placed at the base of all materials on site to mitigate sediment run-off.
    - ii. A perimeter bund and/or diversion drain is constructed around the disturbed areas to prevent any outside clean stormwater from mixing with polluted / contaminated stormwater.
    - iii. All polluted/contaminated water from the site, including dewatering discharge, is treated to achieve the water quality objectives in Table 8.2.1 of the Queensland Water Quality Guidelines (DERM September 2009) prior to discharging from the site.
    - iv. Inspections for erosion and sediment control measures occur in accordance with the compliance procedures in City Planning Policy SC6.9 – Land development guidelines, section 6.9.3.6.1.2 – Compliance.

<b>Advice Notes</b>									
<b>A.</b>	<p><b>Development infrastructure</b></p> <p>Development infrastructure required to be provided in implementing this development approval is non-trunk development infrastructure unless otherwise stated in a condition of the approval.</p>								
<b>B.</b>	<p><b>Further development permits/compliance permits</b></p> <p>Further development permits and/or compliance permits from Council are required to facilitate the development of the approved works identified in this decision notice. These include:</p> <table border="1" style="width: 100%;"> <tr> <td colspan="2"><b>Open Space Assessment</b></td> </tr> <tr> <td style="width: 20px;">-</td> <td>Operational works - landscape works</td> </tr> </table> <table border="1" style="width: 100%;"> <tr> <td colspan="2"><b>Water and Waste</b></td> </tr> <tr> <td style="width: 20px;">-</td> <td>Operational works - infrastructure</td> </tr> </table> <p>A copy of this decision notice and accompanying stamped drawings/plans must be submitted with any subsequent application identified above.</p>	<b>Open Space Assessment</b>		-	Operational works - landscape works	<b>Water and Waste</b>		-	Operational works - infrastructure
<b>Open Space Assessment</b>									
-	Operational works - landscape works								
<b>Water and Waste</b>									
-	Operational works - infrastructure								
<b>C.</b>	<p><b>Compliance with conditions</b></p> <p>Once this development approval takes effect, the conditions attach to the land and are applicable in perpetuity. It is a development offence to contravene a development approval, including any of its conditions.</p>								
<b>D.</b>	<p><b>Connections and disconnections</b></p> <p>Any connection/disconnection to the existing water and sewerage networks will be at the applicant's cost. Prior to the connection/disconnection taking place, the applicant must obtain written approval from Water and Waste.</p> <p>Refer to Water and Sewerage Connections Policy, available on Council's website <a href="http://www.cityofgoldcoast.com.au">http://www.cityofgoldcoast.com.au</a></p>								
<b>E.</b>	<p><b>Indigenous cultural heritage legislation and duty of care requirement</b></p> <p>The <i>Aboriginal Cultural Heritage Act 2003</i> ('ACHA') is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:</p> <ol style="list-style-type: none"> <li>a Is not negated by the issuing of this development approval;</li> <li>b Applies on all land and water, including freehold land;</li> <li>c Lies with the person or entity conducting an activity; and</li> <li>d If breached, is subject to criminal offence penalties.</li> </ol> <p>Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care.</p> <p>Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA.</p> <p>The applicant should contact DATSIMA's Cultural Heritage Coordination Unit on (07) 3405 3050 for further information on the responsibilities of developers under the ACHA.</p>								
<b>F.</b>	<p><b>Applicant responsibilities</b></p> <p>The applicant is responsible for securing all necessary approvals and tenure, providing statutory notifications and complying with all relevant laws.</p> <p>Nothing in this decision notice alleviates the need for the applicant to comply with all relevant local, State and Commonwealth laws and to ensure appropriate tenure arrangements have been made where the use of/reliance upon land other than that owned by the applicant is involved. Without limiting this obligation, the applicant is responsible for:</p>								

	<ul style="list-style-type: none"> <li>a Obtaining all other/further necessary approvals, licences, permits, resource entitlements etc by whatever name called required by law before the development the subject of this approval can be lawfully commenced and to carry out the activity for its duration;</li> <li>b Providing any notifications required by law (by way of example only, to notify the administering authority pursuant to the <i>Environment Protection Act 1994</i> of environmental harm being caused/threatened by the activity, and upon becoming aware the premises is being used for a 'notifiable activity');</li> <li>c Securing tenure/permission from the relevant owner to use private or public land not owned by the applicant (including for access required by conditions of approval);</li> <li>d Ensuring the correct siting of structures on the land. An identification survey demonstrating correct siting and setbacks of structures may be requested of the applicant to ensure compliance with this decision notice and applicable codes;</li> <li>e Providing Council with proof of payment of the Portable Long Service Leave building construction levy (or proof of appropriate exemption) where the value of the Operational Works exceed \$150,000. Acceptable proof of payment is a Q.Leave –Notification and Payment Form approved by the Authority. Proof of payment must be provided before Council can issue a development permit for the Operational works. This is a requirement of section 77(1) of the Building and Construction Industry (Portable Long Service Leave) Act 1991; and</li> <li>f Making payment of any outstanding Council rates and charges applicable to the development site prior to the lodgement of subdivision plans.</li> <li>g Obtaining any necessary local government/state approvals where works require the installation of temporary ground anchoring into adjacent Road Reserves. Where ground anchoring is proposed into an adjacent private property, approval from the relevant property owners(s) is required</li> </ul>
<b>G.</b>	<p><b>Weeds, pest animals and ants</b></p> <p>Biosecurity Queensland of the Department of Agriculture and Fisheries leads the Government's efforts to prevent, respond to and recover from pests and diseases threatening agricultural prosperity, the environment, social amenity and human health.</p> <p>All landscape materials, including but not limited to, soils, mulch, grass, gravel, potted or ex-ground plants, pavers and timber used in landscape treatments must be free from weeds, pest animals and ants.</p>
<b>H.</b>	<p><b>Fire ant control</b></p> <p>Northern suburbs of the Gold Coast are within Fire Ant Biosecurity zone 2 and must remain vigilant for the presence of fire ants. Under the <i>Biosecurity Act 2014</i> individuals and organisations whose activities involve the movement or storage of fire ant carriers have a general biosecurity obligation to take all reasonable steps to ensure they do not spread fire ants. Movement of a fire ant carrier from within the fire ant biosecurity zone may need a biosecurity instrument permit. More information is available on the Department of Agriculture and Fisheries website <a href="http://www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants">www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants</a>.</p>
<b>I.</b>	<p><b>Connections to, alteration or realignment of Council infrastructure</b></p> <p>Where development works require the connection to, alteration, removal or realignment of Council infrastructure or impact on other public utility infrastructure (e.g. telecommunications, electricity and gas), the applicant must obtain the necessary approvals from the relevant public utility authority prior to works commencing.</p> <p>Connection to, alteration, removal or realignment of Council infrastructure includes (but is not limited to) fire hydrants, water service meters, sewer maintenance hole covers, stormwater drainage infrastructure, reinstatement of maintenance hole covers, stormwater drainage infrastructure, crossovers, footpaths, road pavement, kerb and channel, kerb ramps, medians, traffic islands, road furniture, signage and line-marking.</p>

<b>J.</b>	<b>Stormwater</b> A property notification will be applied to the lot stating a stormwater management plan exists for the site and must be complied with at all times.
<b>K.</b>	<b>Water meter sizing</b> All water meters 50 mm in diameter or larger require an operation works approval. Refer to Water and Sewerage Connections Policy, available on Council's website: <a href="http://www.cityofgoldcoast.com.au">http://www.cityofgoldcoast.com.au</a>
<b>L.</b>	<b>Bushfire management</b> A property notification will be applied to the lot/subsequent lots stating a bushfire management plan exists for the site and must be complied with at all times.
<b>Property Notifications</b>	
<b>A.</b>	<b>Stormwater</b> There are development approval conditions applicable in relation to stormwater management on this lot/subsequent lots. All property owner(s) must ensure compliance with these conditions. Refer to Council of the City of Gold Coast's Decision Notice (MCU 201701129). A copy of Council's Decision Notice is available for viewing on Council's website <a href="http://www.goldcoastcity.com.au/pdonline">www.goldcoastcity.com.au/pdonline</a>
<b>B.</b>	<b>Bushfire management</b> There are development approval conditions applicable in relation to bushfire management on this lot/subsequent lots. All property owner(s) must ensure compliance with these conditions. Refer to Council of the City of Gold Coast's Decision Notice <a href="#">insert application number</a> . A copy of Council's Decision Notice is available for viewing on Council's website <a href="http://www.goldcoastcity.com.au/pdonline">www.goldcoastcity.com.au/pdonline</a>



**Statement of reasons (given under section 63(4) of the *Planning Act 2016*)**

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Details of proposed development      The proposed development is for Combined Development Permit for a Material change of use for Multiple dwellings (seven (7) dwellings) and Reconfiguring a lot (1 into 4 lot and common property Community Title Subdivision).

Assessment benchmarks      The following assessment benchmarks applied to the proposed development:

- Emerging communities zone code
- Bushfire hazard overlay code
- Environmental significance overlay code
- Landslide hazard overlay code
- Driveways and vehicular crossings code
- Fire services in development accessed by common private title code
- General development provisions code
- Healthy waters code
- Landscape work code
- Solid waste management code
- Transport code
- Vegetation management code

Matters raised in submissions      No submissions received.

Reasons for decision      Following an assessment of the development application against all of the assessment benchmarks listed above, it was determined:

- A low-rise, low-intensity development is achieved;
- The development integrates into the surrounding residential development due to the combined detached and attached dwelling types, building and lot design, orientation and access to the existing low order residential streets and ample private open space provided.

Compliance with assessment benchmarks      The proposed development did not comply with some of the assessment benchmarks listed above; however, despite this it was still approved for the reasons listed below.

<i>Assessment benchmark</i>	<i>Reasons for the approval despite non-compliance with benchmark</i>
Environmental significance overlay code – Priorities Species PO14	<ul style="list-style-type: none"> <li>• Due to the site’s location, bound by roads on all sides, movement of koalas through the site is not encouraged.</li> </ul>
Multiple accommodation code – Communal open space PO10	<ul style="list-style-type: none"> <li>• The development is designed to provide three (3) detached dwelling houses located on their own lot in combination with four (4) attached dwelling</li> </ul>

	<p>units located on the forth lot.</p> <ul style="list-style-type: none"><li>• Each dwelling is provided with ample private open space, between 79m<sup>2</sup> and 229m<sup>2</sup>, (average of 146m<sup>2</sup> per dwelling),</li><li>• Private open space exceeds the required combined private and communal open space requirements per dwelling.</li><li>• The development complies with the overall outcomes of the Multiple dwelling code.</li></ul>
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Date: 1 May 2018  
Contact: Thalia Allsop  
Location: City Development  
Telephone: 07 5582 8866  
Your reference:  
Our reference: PN349822/12/DA1  
MCU201701129

Hatia Property Corporation Pty Ltd  
C/- Mortons Urban Solutions  
PO BOX 2484  
SOUTHPORT QLD 4215

Dear Sir/Madam

### **DECISION NOTICE**

**Application details:** DEVELOPMENT PERMIT FOR COMBINED APPLICATION (IMPACT ASSESSMENT) FOR MATERIAL CHANGE OF USE FOR MULTIPLE DWELLINGS AND RECONFIGURING A LOT (1 INTO 4 LOT COMMUNITY TITLE SUBDIVISION)

**Property description:** Lot 3 on SP275769

**Location details:** Gaven Arterial Road, Maudsland

Please find enclosed the decision notice for the proposed development identified above. For further information regarding the assessment of this application, access the Planning and Development page on City of Gold Coast's website [cityofgoldcoast.com.au](http://cityofgoldcoast.com.au) and reference application number MCU201701129.

If you are unable to access the website, please email your query to [mail@goldcoast.qld.gov.au](mailto:mail@goldcoast.qld.gov.au) and reference your application number.

### **Contacting us**

Should you wish to clarify any issues contained in this letter, please do not hesitate to contact Planning Assessment on 07 5582 8866.

Yours sincerely

City Development Branch  
Economy, Planning & Environment Directorate  
**City of Gold Coast**

TA:JM

5 x attachments

69461250  
Page 1 of 1

# ANNEXURE G INFRASTRUCTURE CHARGES NOTICE

SOURCE: GOLD COAST CITY COUNCIL

# Infrastructure Charge Notice

To: HATIA PROPERTY CORPORATION PTY LTD  
C/- MORTONS URBAN SOLUTIONS  
PO BOX 2484  
SOUTHPORT QLD 4215

Cc: HATIA PROPERTY CORPORATION PTY LTD  
PO BOX 2084  
RUNCORN QLD 4113

<b>Land to which charges apply</b>	The land to which the charges in this notice apply is. Property description <b>LOT3 SP275769</b> Property address <b>GAVEN ARTERIAL ROAD MAUDSLAND</b>
	<b>Total levied charge payable</b> <b>\$ 170,015.40</b> +ADJUSTMENTS
<b>Due date for payment</b>	<b>Total payable prior to the earliest of the following events: when the change happens or final plumbing inspection being undertaken or issue of a certificate of classification or final inspection certificate for building work being issued.</b>
<b>Payment details</b>	Payment of the charges must be made in accordance with the “How to pay methods” section of this notice.
<b>Adjustments to charge</b>	The levied charge will automatically increase by the lesser of the following: <ul style="list-style-type: none"> <li>(a) The difference between the levied charge and the maximum adopted charge the local government could have levied for the development when the charge is paid; and</li> <li>(b) The increase worked out using the PPI, adjusted according to the 3-yearly PPI average, for the period starting on the day the levied charge is levied and ending on the day the charge is paid.</li> </ul> <p>‘3-yearly PPI average’ and ‘PPI’ have the meanings given in the <i>Planning Act 2016</i>.</p> <p>As the charge amount stated above is current at the date the notice was generated, the total charges due at the date of payment may be greater.</p>
<b>Offsets and/or Refunds</b>	Offsets (if applicable) will be provided consistent with the provisions of the Planning Act 2016 and Council’s Charges Resolution. If applicable, details of the offset are provided on this Infrastructure Charge Notice.
<b>Failure to pay charge</b>	A levied charge is, for the purposes of recovery, taken to be rates of the local government that levied it.

<b>Authority for charge</b>	The charges in this notice are payable in accordance with the <i>Planning Act 2016</i> .
<b>GST</b>	GST does not apply to payments or contributions made by developers to Government which relate to, or relates to, an application for the provision, retention, or amendment of a permission, exemption, authority or licence (however described) under the <i>Planning Act 2016</i> .
<b>Enquiries</b>	Enquiries regarding this Infrastructure Charge Notice should be directed to the Developer Contribution Group on Ph: (07) 5582 8300, during office hours, 9.00am to 5.00pm, Monday to Friday or e-mail <a href="mailto:dcg@goldcoast.qld.gov.au">dcg@goldcoast.qld.gov.au</a> .

## Infrastructure Charge Notice

Tuesday, 01 May 2018

Application	PN349822/12/DA1
Site address	GAVEN ARTERIAL ROAD, MAUDSLAND
Application number & code	201701129 MCU
Application description	MULTIPLE DWELLINGS X 4 AND DWELLING HOUSE X 3
Officer name	Lauren Balfe

### Charge calculation

#### Charges Resolution No.1 of 2017

	Qty		Rate	Gross Charge Amount
Dwelling House 3+ Bedroom	3 Dwellings	@	\$ 28,335.90	\$ 85,007.70
Multiple Dwelling 3+ Bedroom	4 Dwellings	@	\$ 28,335.90	\$ 113,343.60
				\$ 198,351.30

#### Net Charge Summary

Gross Charge Amount	Applied Credit Amount	Net Charge Amount
\$ 198,351.30	\$ 28,335.90	\$ 170,015.40

#### Applied credit details

Credit applied for one existing lot.

Office Use Only	
\$ 94,358.58	OTHINF
\$ 57,125.16	SEWINF
\$ 18,531.66	WTRINF
<b>\$ 170,015.40</b>	

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## ***DECISION NOTICE***

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### **DECISION TO GIVE AN INFRASTRUCTURE CHARGES NOTICE**

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Pursuant to section 119 of the *Planning Act 2016*, on the 1<sup>st</sup> of May 2018, the City decided to give this infrastructure charges notice. The date the development application was approved is set out on the first page of the decision notice approving the development application.

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#### **Appeal rights**

You have appeal rights in relation to this notice. An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds:

- (a) the notice involved an error relating to:
  - (i) the application of the relevant adopted charge; or

Examples of errors in applying an adopted charge:

- the incorrect application of gross floor area for a non-residential development
- applying an incorrect 'use category', under a regulation, to the development
- (ii) the working out of extra demand, for section 120 of the *Planning Act 2016*; or
- (iii) an offset or refund; or

(b) there was no decision about an offset or refund; or

(c) if the infrastructure charges notice states a refund will be given – the timing for giving the refund; or

(d) for an appeal to the Planning and Environment Court – the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.

To remove any doubt, the *Planning Act 2016* declares that an appeal against an infrastructure charges notice must not be about:

- (a) the adopted charge itself; or
- (b) for a decision about an offset or refund:
  - (i) the establishment cost of trunk infrastructure identified in a local government infrastructure plan; or
  - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

An appeal must be started within 20 business days after the infrastructure charges notice is given to you.

An appeal may be made to the Planning and Environment Court or to a development tribunal.

An appeal is started by lodging a notice of appeal with the registrar of the Planning and Environment Court or a development tribunal, as applicable. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required



fee.

An appellant to the Planning and Environment Court must give a copy of the notice of appeal, within 10 business days after the appeal is started, to the persons identified in section 230(3) of the *Planning Act 2016*. A person who is appealing to the Planning and Environment Court must comply with the rules of the court that apply to the appeal.

Chapter 6, Part 1 and Schedule 1 of the *Planning Act 2016* sets out further information about appeal rights.

## How to pay methods



### Pay by mail

#### Ordinary mail

Simply enclose this Notice and your cheque or money order made payable to Gold Coast City Council in an envelope and post it to this address:

**Council of the City of Gold Coast  
PO Box 5042 GCMC QLD 9729**



### Customer Service Centre in person

Pay at any Customer Service Centre with cash, cheque, or debit card (no surcharge), MasterCard or Visa (maximum \$50,000 using credit card) Payment by credit card will incur a surcharge.

#### Customer Service Centres

Monday to Friday 8.15am to 4.30pm

**Broadbeach** 61 Sunshine Boulevard, Mermaid Waters

**Bundall** 8 Karp Court, Bundall

**Burleigh Heads** Park Avenue, Burleigh Heads

**Coolangatta** The Strand, Marina Parade, Coolangatta

**Helensvale** Cnr Lindfield Road and Sir John Overall Drive, Helensvale

**Nerang** 833 Southport Nerang Road, Nerang

**Palm Beach** 26 11th Avenue, Palm Beach

**Southport** 47 Nerang Street, Southport

**Upper Coomera** Cnr Abraham Road and Reserve Road, Upper Coomera

## How to contact us



07 5582 8866 or 1300 69 4222  
(7am to 6pm, Monday to Friday), or from outside of Australia call +61 7 5582 8866



Visit us at any Customer Service Centre  
Open hours; [cityofgoldcoast.com.au](http://cityofgoldcoast.com.au)



Council of the City of Gold Coast  
PO Box 5042, GOLD COAST MC QLD 9729



[goldcoast.qld.gov.au](http://goldcoast.qld.gov.au)

# ANNEXURE H

# PLANS AND DRAWINGS

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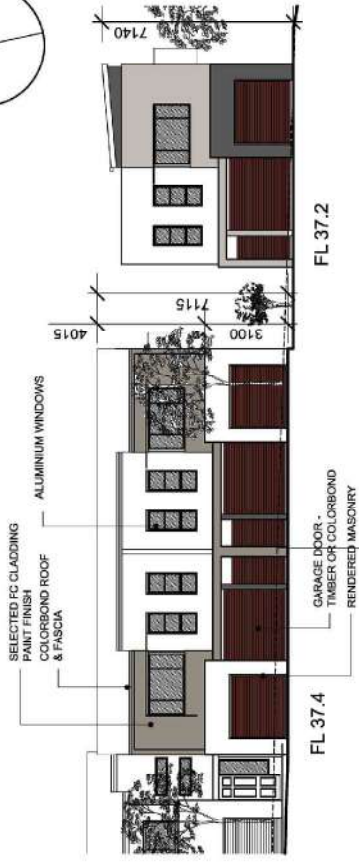
SOURCE: DRYHURST STUART ARCHITECTS

DONINGTON DRIVE



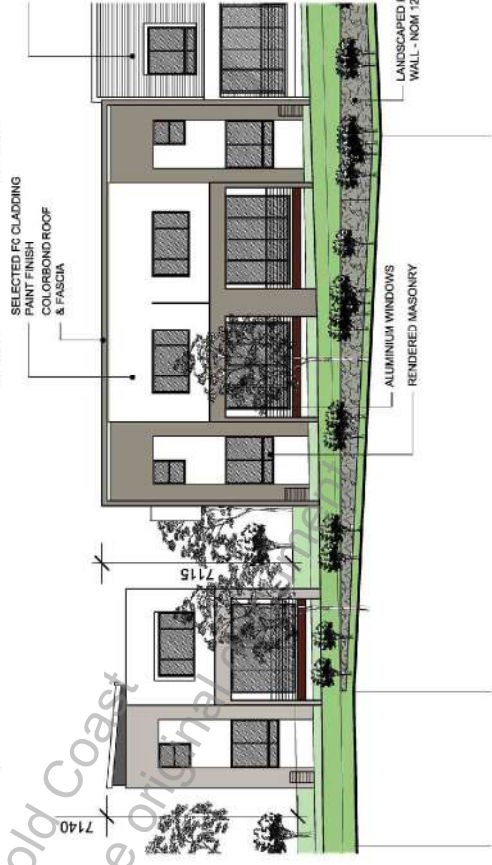
NOTE: This layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.

2c 4 2d 4



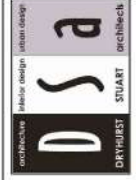
DONINGTON DRIVE ELEVATION

4 2d 2c



SOUTH ELEVATION

DONINGTON DRIVE Residences: 2c,2d & 4



The ownership of this drawing remains with D2a and may not be used, copied or amended without the written permission of D2a.

HATIA PROPERTY CORPORATION

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

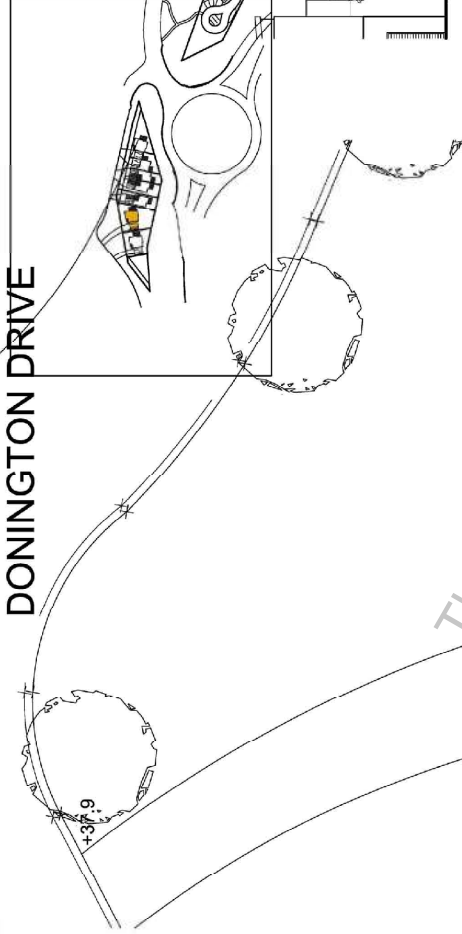
Date JUL-2017

Scale 1:200@A3

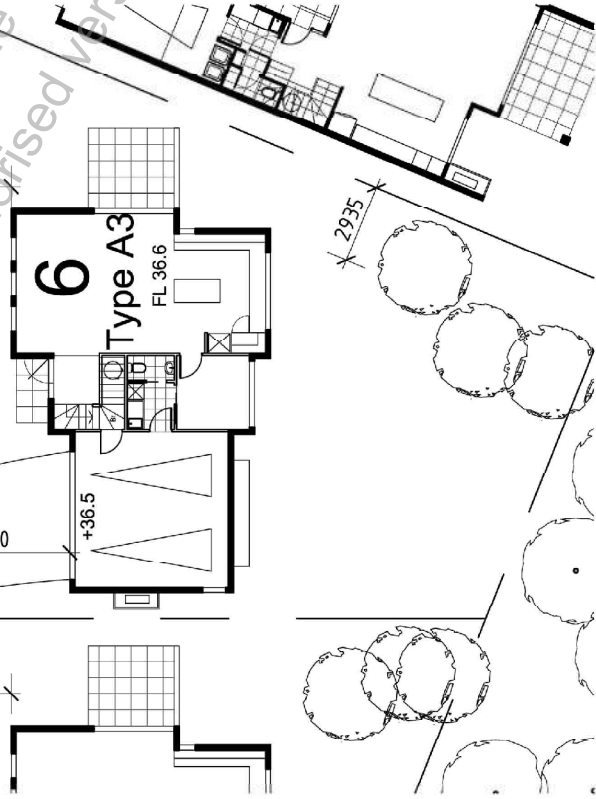
Mortons Urban Solutions

Lot No. 206.2  
 Draw No. DA-2-11  
 Issue C

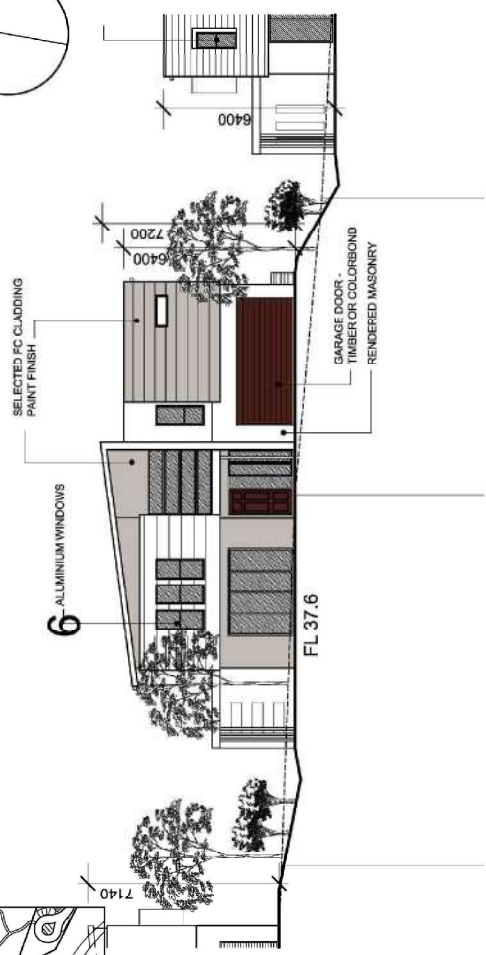
DONINGTON DRIVE



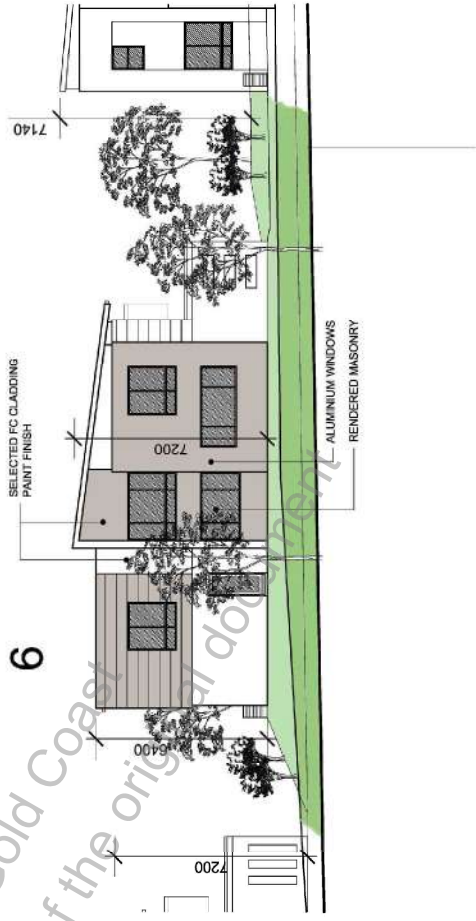
This is an authorised version of the original document.



NOTE: This layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.

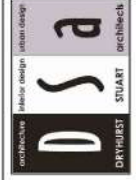


DONINGTON DRIVE ELEVATION



SOUTH ELEVATION

# DONINGTON DRIVE Residence: 6



The ownership of this drawing remains with DSA and may not be used, copied or amended without the written permission of DSA.

HATIA PROPERTY CORPORATION

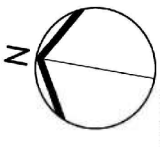
PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Date: JUL-2017  
Scale: 1:200@A3

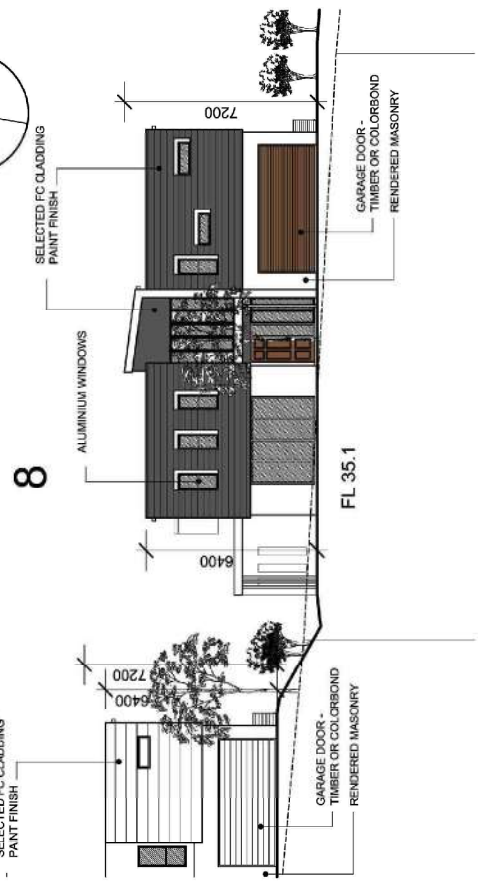
Mortons Urban Solutions

Lot No: 206.2  
Plan No: DA-2-12  
Issue: C

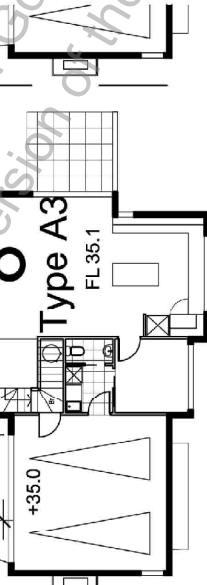
NOTE: This layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.



# DONINGTON DRIVE



# DONINGTON DRIVE ELEVATION

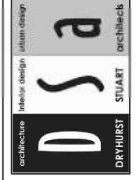


# 8



# SOUTH ELEVATION

# DONINGTON DRIVE Residence: 8



The ownership of this drawing remains with DSA and may not be used, copied or amended without the written permission of DSA.

HATIA PROPERTY CORPORATION

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Date JUL-2017

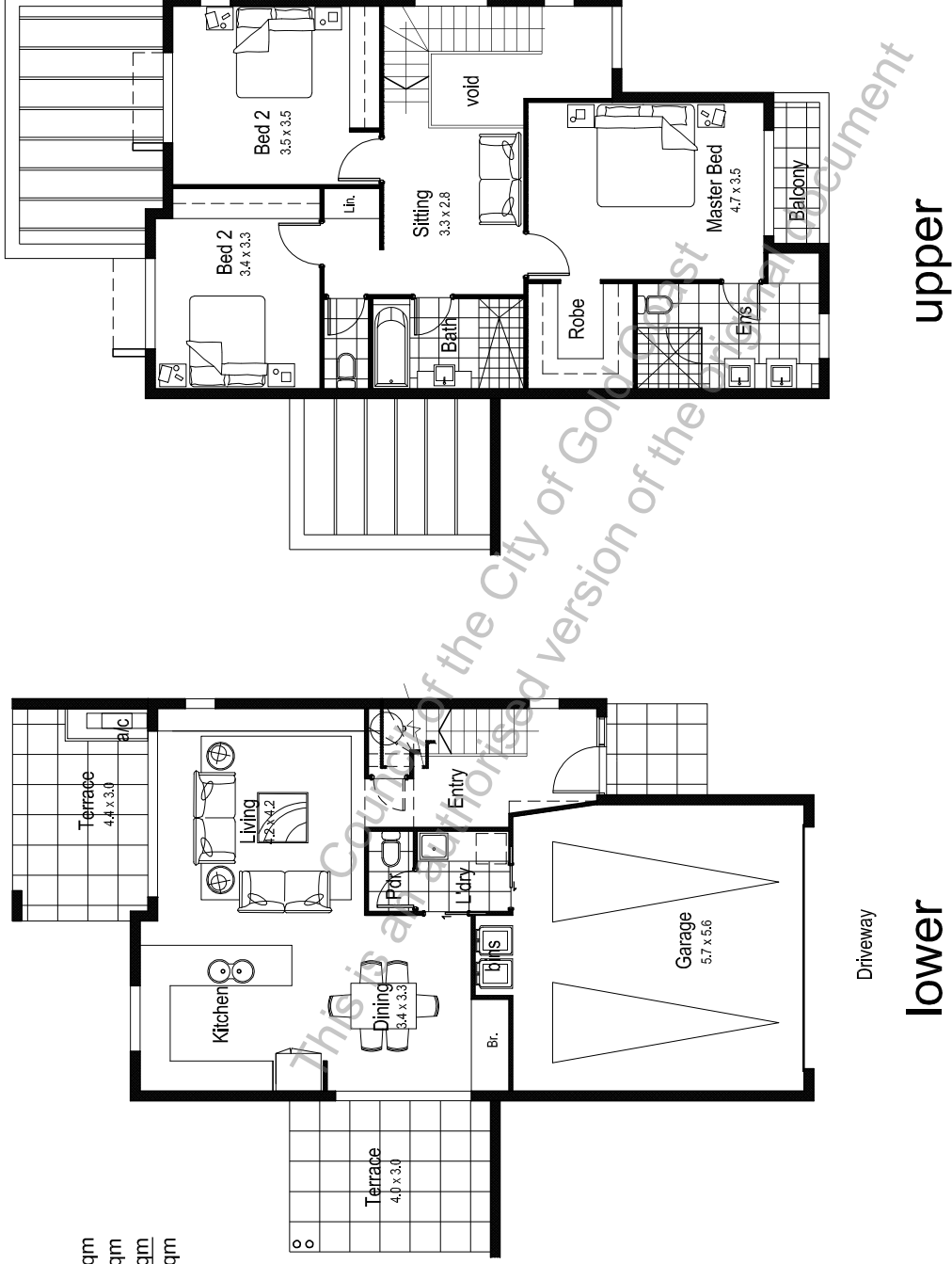
Scale 1:200@A3

Mortons Urban Solutions

Lot No. 206.2  
 Draw No. DA-2-13  
 Issue C

# A1

3 BED  
 enclosed - 157 sqm  
 garage - 37 sqm  
 total enclosed - 194 sqm  
 terrace + porch - 33 sqm



## DONINGTON DRIVE RESIDENTIAL Townhouse Type Plan

The ownership of this drawing remains with D'Sa and may not be use, copied or amended without the written permission of D'Sa.

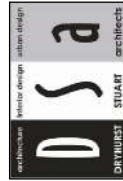
Date: JUL-2017  
 Scale: 1:100@A3

HATIA PROPERTY CORPORATION

Mortons Urban Solutions

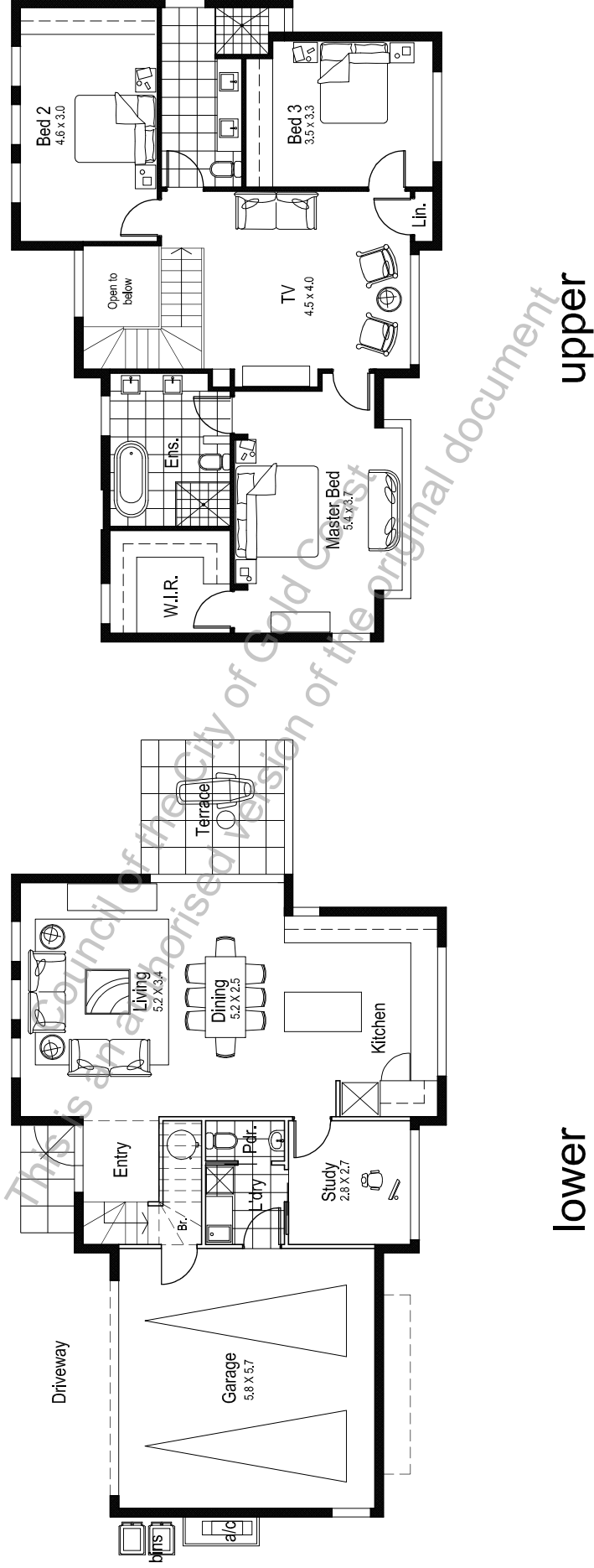
PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Job No: 206.2  
 Draw No: DA2-26  
 Issue: A



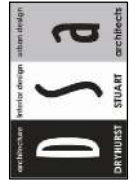
# A3

3 BED + STUDY  
 enclosed - 185 sqm  
 garage - 37 sqm  
 total enclosed - 222 sqm  
 terrace + porch - 13 sqm



## DONINGTON DRIVE RESIDENTIAL Townhouse Type Plan

The ownership of this drawing remains with D5a and may not be use, copied or amended without the written permission of D5a.



Date: JUL-2017  
 Scale: 1:100@A3

HATIA PROPERTY CORPORATION

Mortons Urban Solutions

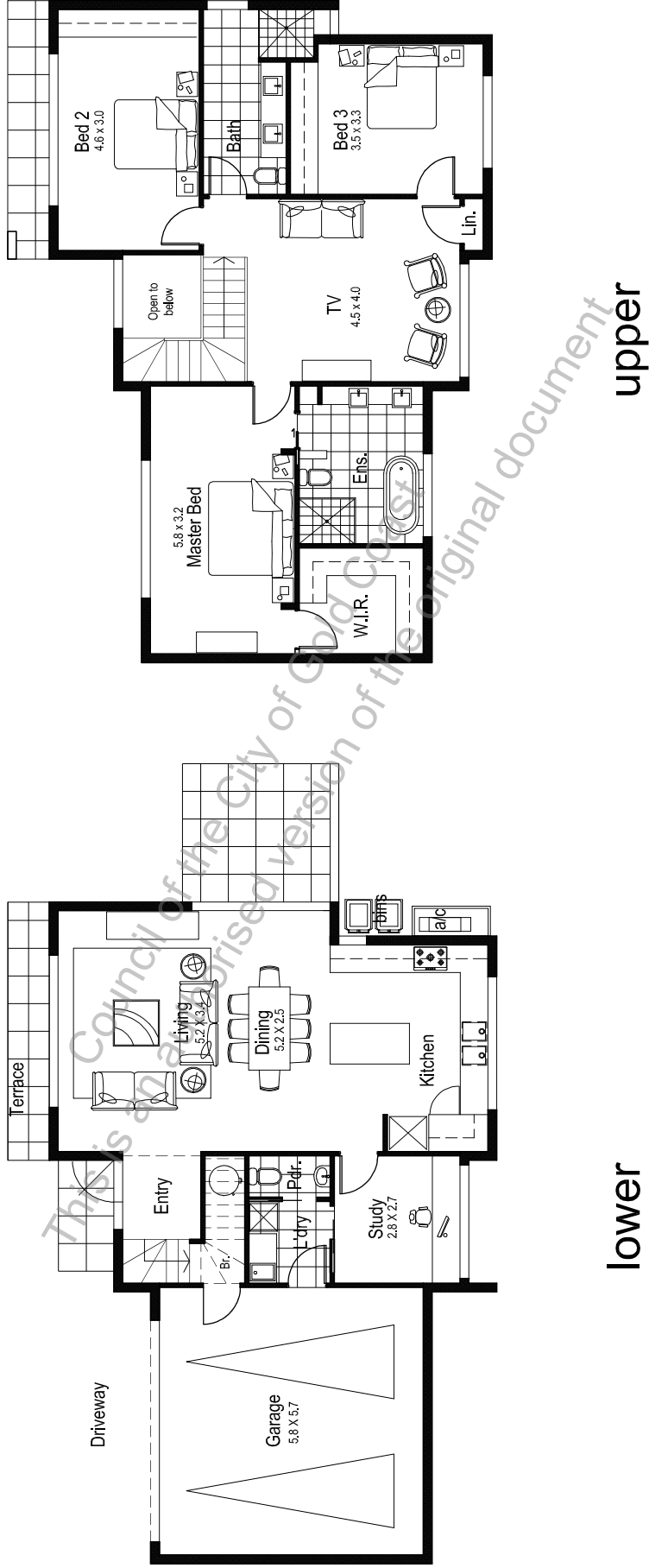
PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Job No: 206.2  
 Draw No: DA2-27  
 Issue: A



# A3a

3 BED + STUDY  
 enclosed - 185 sqm  
 garage - 37 sqm  
 total enclosed - 222 sqm  
 terrace + porch - 18 sqm



## DONINGTON DRIVE RESIDENTIAL Townhouse Type Plan

The ownership of this drawing remains with D5a and may not be used, copied or amended without the written permission of D5a.



Date: JUL-2017  
 Scale: 1:100@A3

HATIA PROPERTY CORPORATION

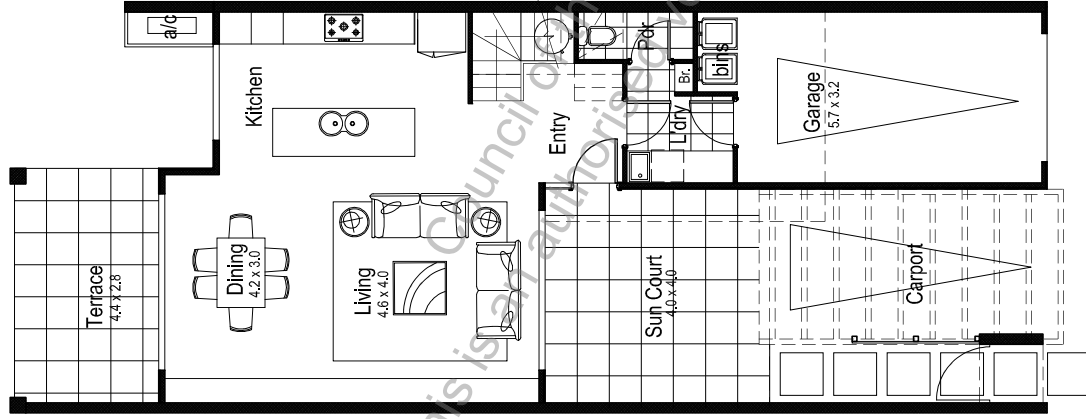
Mortons Urban Solutions

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

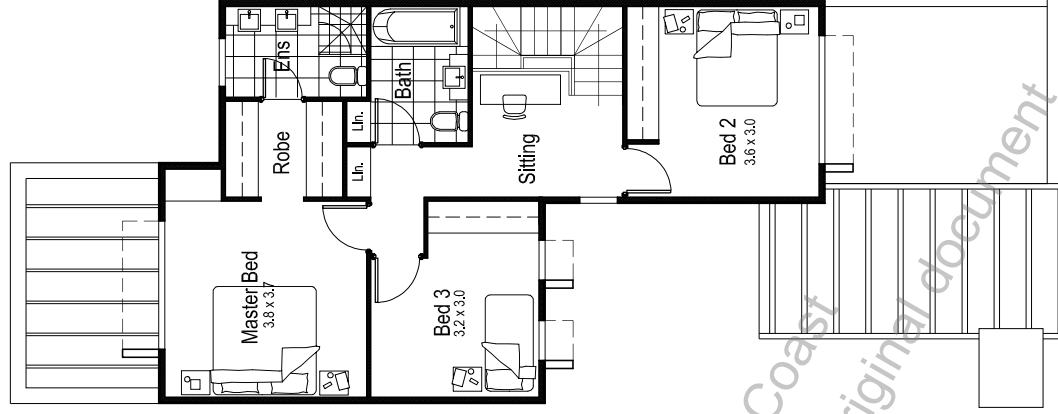
Job No: 206.2  
 Draw No: DA2-27  
 Issue: A

C1

3 BED - courtyard enclosed - 133 sqm  
 garage - 21 sqm  
 total enclosed - 156 sqm  
 carport 16sqm  
 terrace + porch 25sqm



lower



upper

# DONINGTON DRIVE RESIDENTIAL Townhouse Type Plan

The ownership of this drawing remains with D'sa and may not be use, copied or amended without the written permission of D'sa.

Date JUL-2017  
 Scale 1:100@A3



HATIA PROPERTY CORPORATION

Mortons Urban Solutions

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Job No 206.2  
 Draw No DA2-29  
 Issue A

NOTE: this layout is for illustrative purposes only and does not constitute any offer of approval. The City of Gold Coast Council is not responsible for the accuracy of the information provided in this document and does not intend that such approval would be granted.



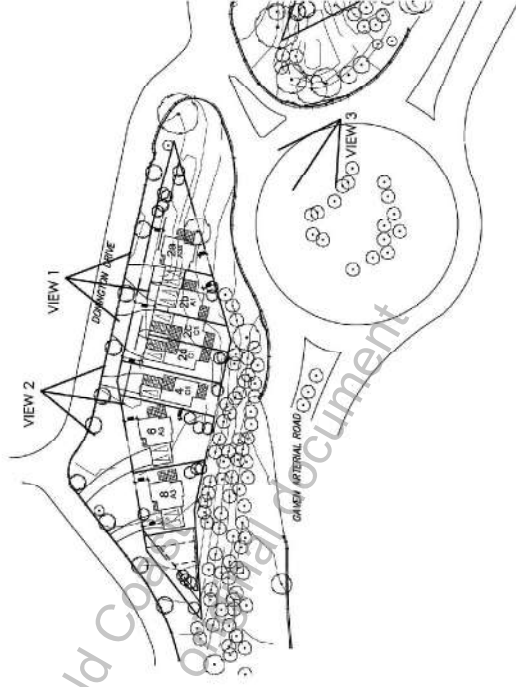
View 1 - from Donington Drive looking south



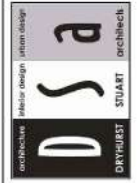
View 2 - from Donington Drive looking south



View 3 - from Gaven Arterial Island looking north-west



# DONINGTON DRIVE Perspective Views



The ownership of this drawing remains with DSA and may not be used, copied or amended without the written permission of DSA.

HATIA PROPERTY CORPORATION

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Date: NOV-2017  
Scale: NTS

Mortons Urban Solutions

Job No: 206.2  
Draw No: DA-3-05  
Issue: A



View from Gaven Arterial



View from Donington Drive

Colour scheme

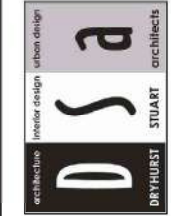
	Resene Rice Cake G94-010-092		Resene Half Baltic Sea N46-002-264
	Resene Eighth Friar Grey N80-008-082		Resene Awash B69-031-226
	Resene Half Cobblestone G64-009-099		Resene Desperado O42-074-043 or Stained Timber

# Residential Development

Donington Drive, Maudsland

## DEVELOPMENT APPLICATION

Hatia Property Corporation



550 Hopkins Creek Road  
Hopkins Creek, NSW, 2184

T: (02) 66191571  
E: dsa@actw3.net.au

The ownership of this drawing remains with D2a and may not be used, copied or amended without the written permission of D2a.

HATIA PROPERTY CORPORATION

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

Date  
JUL-2017

Scale  
NTS

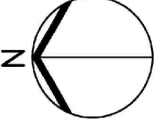
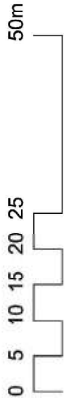
Mortons Urban Solutions

Job No  
206.2

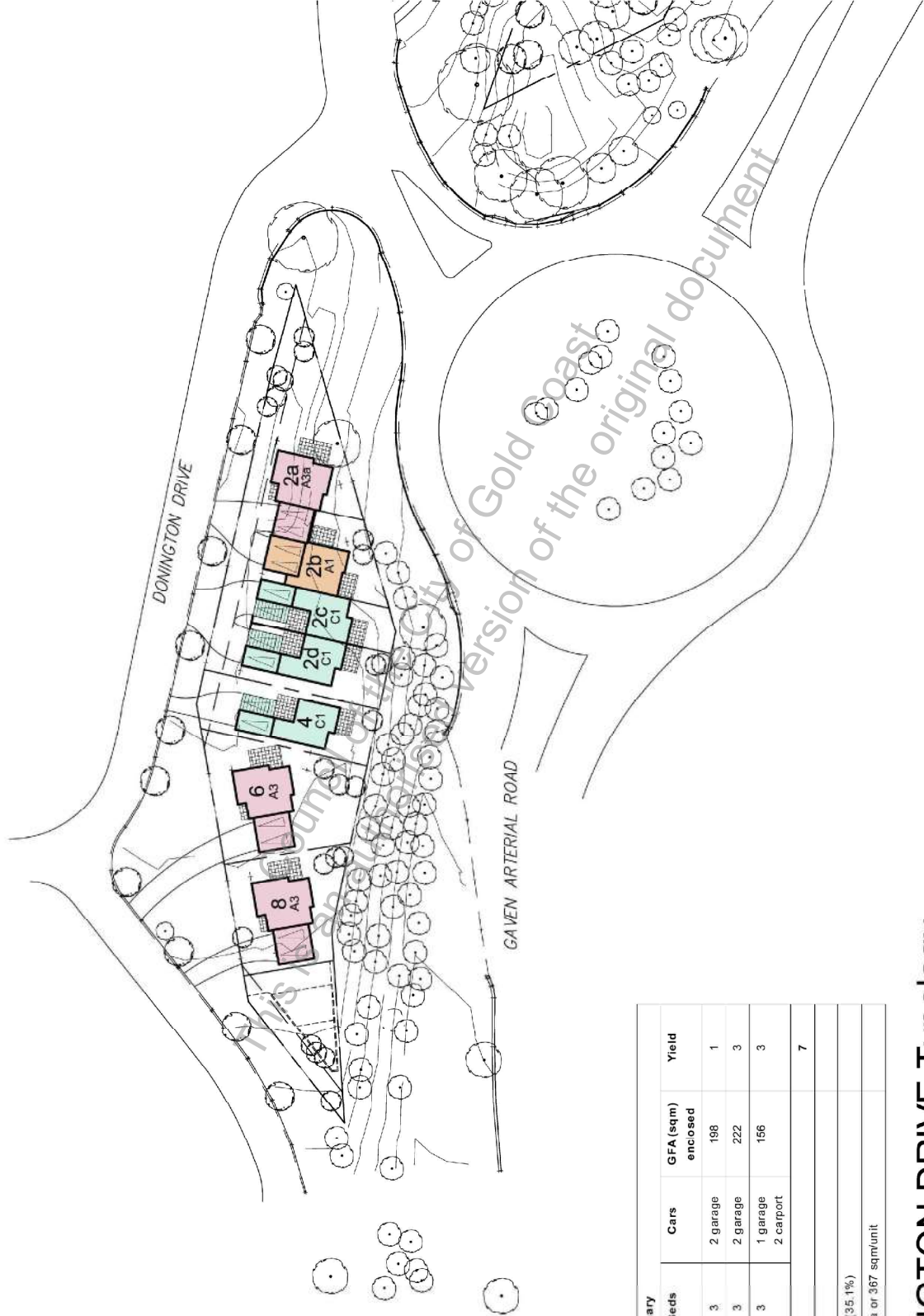
Draw No  
DA-0-02

Issue  
B





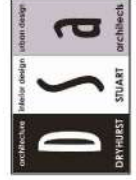
NOTE: This layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.



Development Summary				
TYPE	Beds	Cars	GFA (sqm) enclosed	Yield
A1	3	2 garage	198	1
A3/A3a	3	2 garage	222	3
C1 courtyard	3	1 garage 2 carport	156	3
<b>Total Yield</b>				<b>7</b>
Site Area: 2572 sqm				
Site Cover: 904 sqm (35.1%)				
Density: 27.2 units/Ha or 367 sqm/unit				

# DONNINGTON DRIVE Typology

The ownership of this drawing remains with D5a and may not be used, copied or amended without the written permission of D5a.



Date: JUL-2017  
Scale: 1:750@A3

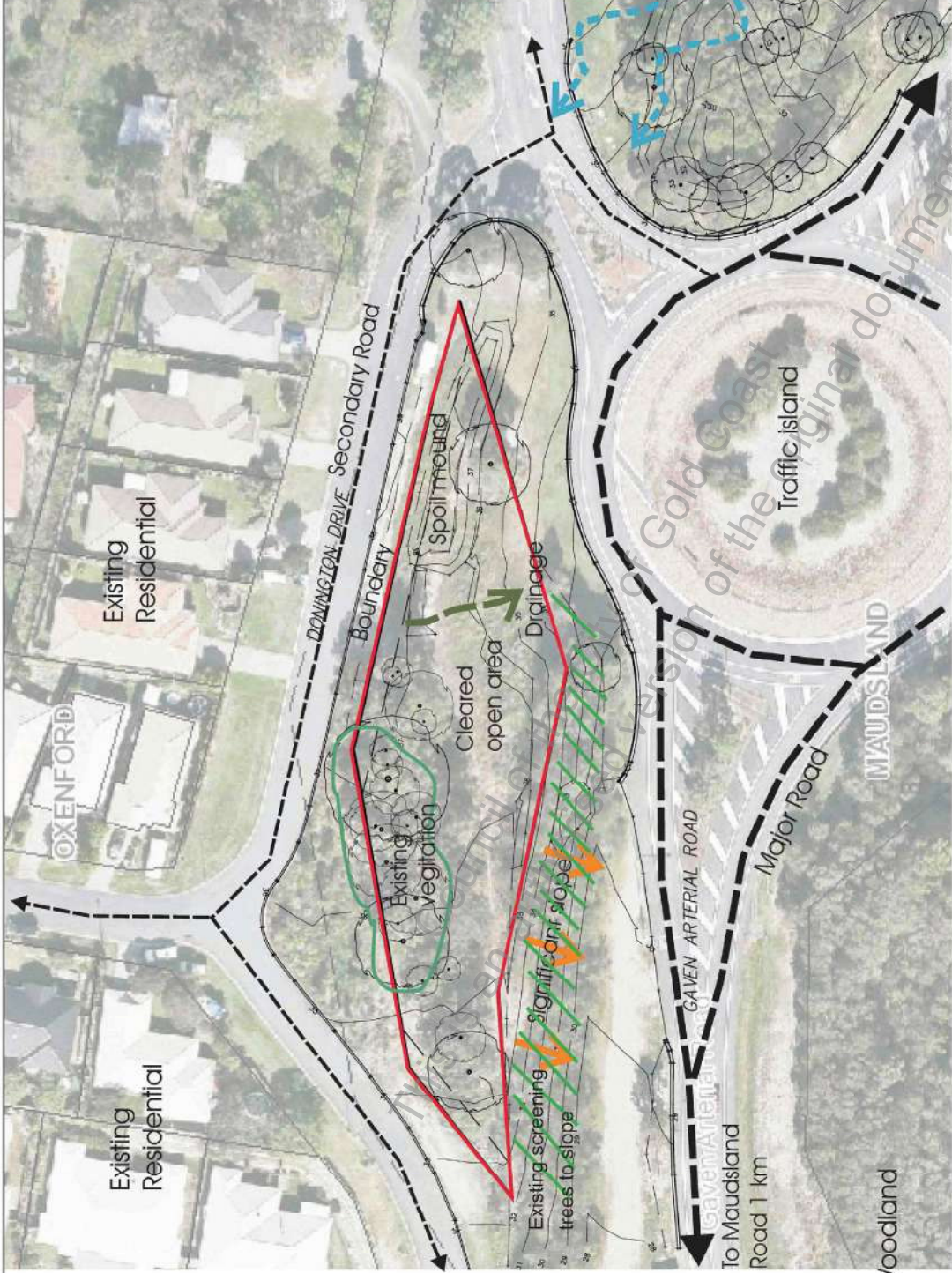
Mortons Urban Solutions

Job No: 206.2  
Draw No: DA-1-11  
Issue: B

HATIA PROPERTY CORPORATION  
PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONNINGTON DRIVE, MAUDSLAND



NOTE: this layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals process and it is not intended that such approval would be granted.



# DONNINGTON DRIVE Site Analysis

The ownership of this drawing remains with D5a and may not be used, copied or amended without the written permission of D5a.



Date  
JUL-2017

Scale  
1:750@A3

HATIA PROPERTY CORPORATION

Mortons Urban Solutions

PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONNINGTON DRIVE, MAUDSLAND

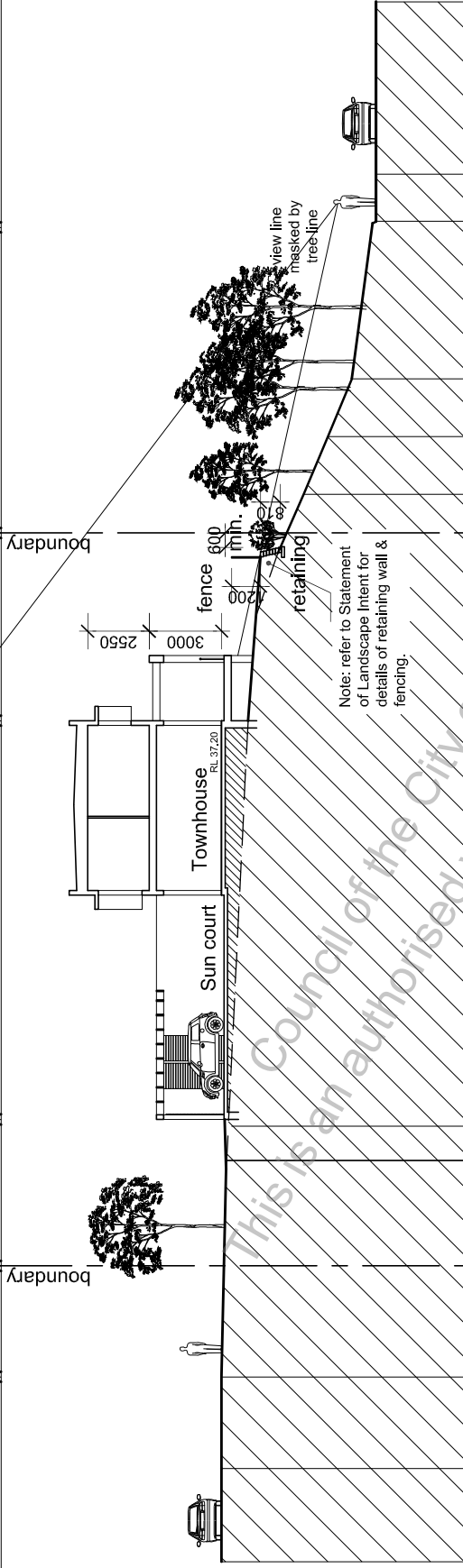
Job No  
206.2

Draw No  
DA-1-12

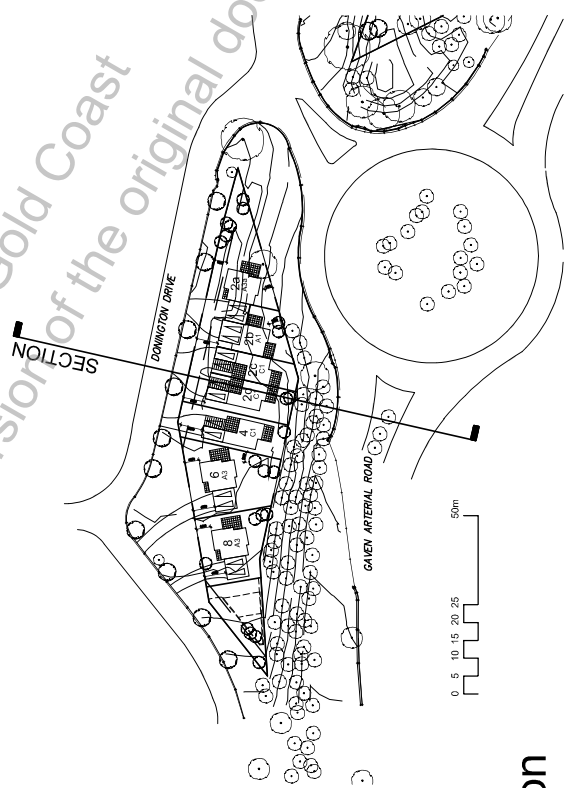
Issue  
A

NOTE: this layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.

Donington Drive Road reserve drive Townhouse P.O.S. Road Reserve Gaven Arterial

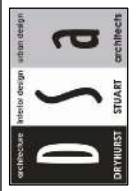


Note: refer to Statement of Landscape Intent for details of retaining wall & fencing.



# DONINGTON DRIVE Site Section

The ownership of this drawing remains with D5a and may not be used, copied or amended without the written permission of D5a.



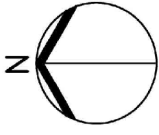
Date: JUL-2017  
Scale: 1:200@A3

Mortons Urban Solutions

Job No: 206.2  
Draw No: DA-1-13  
Issue: C

HATIA PROPERTY CORPORATION  
PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND





NOTE: This layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.

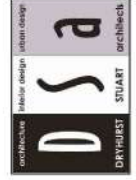


**Private Open Space**  
Individual areas as noted

**Communal Open Space**  
Requirement: 315 sqm  
45sqm per 3 bed dwelling  
Provided: 1025 sqm

# DONNINGTON DRIVE Open Space

The ownership of this drawing remains with D5a and may not be used, copied or amended without the written permission of D5a.



Date: JUL-2017  
Scale: 1:750@A3

Mortons Urban Solutions  
Job No: 206.2  
Draw No: DA-1-16  
Issue: A

HATIA PROPERTY CORPORATION  
PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONNINGTON DRIVE, MAUDSLAND

DONINGTON DRIVE

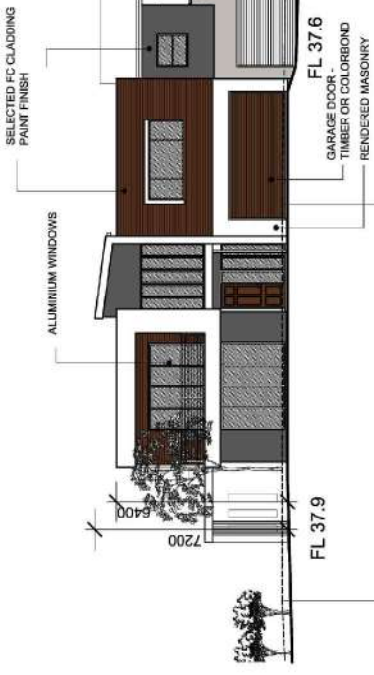


NOTE: This layout is for illustrative purposes only and is subject to detailed design, the normal planning and local authority building approvals and does not infer that such approval would be granted.



2a

2b



DONINGTON DRIVE ELEVATION

2a

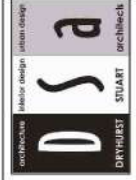
2b



SOUTH ELEVATION

**DONINGTON DRIVE Residences: 2a,2b**

The ownership of this drawing remains with 25a and may not be use, copied or amended without the written permission of 25a.



Date JUL-2017  
Scale 1:200@A3

Mortons Urban Solutions  
Lot No 206.2  
Plan No DA-2-10  
Issue C

HATIA PROPERTY CORPORATION  
PROPOSED RESIDENTIAL DEVELOPMENT - LOT 3 on SP275769 - DONINGTON DRIVE, MAUDSLAND

# ANNEXURE I OPERATIONAL WORKS APPROVALS

SOURCE: GOLD COAST CITY COUNCIL

# Form 17 – Permit for plumbing, drainage and on-site sewerage work

Please use BLOCK LETTERS and complete all details in full.

<b>GENERAL NOTES: This form is to be used for the purpose of sections 48(a) and 54(a) of the Plumbing and Drainage Regulation 2019 (PDR).</b>	
<b>1. Description of land</b> The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.	Street address <i>(include number, street, suburb/locality and postcode)</i> <input type="text" value="Lot 3 Gaven Arterial Road, Maudsland Qld 4210"/> Lot and plan: <input type="text" value="Lot 3 SP275769"/> Shop/tenancy number <input type="text"/> Storey/level <input type="text"/> Local government area <input type="text" value="City of Gold Coast"/> <i>(if applicable)</i> <i>(if applicable)</i>
<b>2. Owner details</b>	Owner's name <input type="text" value="Tellurium Gg Pty Ltd"/> Phone number: <input type="text"/> Postal address: <input type="text" value="UNIT 6 / 10 Thomas St, NOOSAVILLE QLD 4566"/> Email address <input type="text" value="christophert@urbansolutions.net.au"/>
<b>3. Applicant details</b> The applicant need not be the owner of the land.	Company name in full: <input type="text" value="Tellurium Gg Pty Ltd"/> Contact person: <input type="text"/> Phone number <input type="text"/> Mobile: <input type="text"/> Email address of applicant: <input type="text" value="christophert@urbansolutions.net.au"/> <i>Note: If lodging this application, the applicant is responsible for ensuring the information provided is correct and that they are authorised to manage the application on the owner's behalf.</i>
<b>4. Certification</b>	This form certifies that the relevant local government or public-sector entity has made the following decision in relation to the application for a permit as described above. Tick the relevant boxes: Application refused <input type="checkbox"/> Permit approved <input type="checkbox"/> Permit approved – with conditions <input checked="" type="checkbox"/> Permit approved – to amend an existing permit <input type="checkbox"/> Permit approved – to extend the term of an existing permit <input type="checkbox"/> Permit number <input type="text" value="PCS/2019/2926"/> Date of issue <input type="text" value="10 October 2019"/> Date of expiry <input type="text" value="2 years from date of issue"/> Issued by (insert local government name/public sector entity) <input type="text" value="City of Gold Coast"/>
<b>5. Attachments</b> Local government or public sector entity may attach additional documentation to this form.	Conditions of permit <input checked="" type="checkbox"/> Approved plans and specifications <input checked="" type="checkbox"/> Details of any alternative/performance solution <input type="checkbox"/> Information notice <input checked="" type="checkbox"/> <input type="text" value="Provide further comments (if applicable):"/>

Date: 10 October 2019  
Contact: Aaron Johnson  
Location: City Development  
Telephone: 07 5667 5977  
Our reference: PCS/2019/2926

Tellurium Gg Pty Ltd  
C/- Mortons - Urban Solutions  
PO BOX 2484  
SOUTHPORT QLD 4215

Dear Sir/Madam

### Information Notice – Permit on Conditions

(given under section 46(a) of the *Plumbing and Drainage Regulation 2019*)

**Description of work:** 02 building with separate dwelling units  
**Permit number:** PCS/2019/2926  
**Property description** Lot 3 SP275769  
**Property location** Lot 3 Gaven Arterial Road, Maudsland Qld 4210

Your request for the compliance assessment of a plan for permit work (that is plumbing and drainage work) under section 42 of the *Plumbing and Drainage Regulation 2019* was decided on 10 October 2019 by City of Gold Coast (City) resulting in the issue of a permit subject to the following conditions:

#### Conditions

1. The plumbing and drainage must be carried out in accordance with the stamped approved plans/drawings listed below, which have been returned to the applicant with this permit. Until Council has completed a final inspection of the plumbing and drainage work, a copy of this permit and full size colour copy of the original Council stamped approved hydraulic plumbing and drainage plans must remain on site.

Plan No.	Rev.	Title	Date	Hydraulic Consultant
36901	E	000	06/08/19	Morton urban solutions
36901	C	080	06/08/19	Morton urban solutions
36901	C	090	06/08/19	Morton urban solutions
36901	D	500	06/08/19	Morton urban solutions
36901	D	530	06/08/19	Morton urban solutions
36901	E	700	06/08/19	Morton urban solutions
36901	C	701	06/08/19	Morton urban solutions
36901	B	710	06/08/19	Morton urban solutions

#### Advice notes

All development permits and/or approvals to ensure compliance with any relevant laws must be obtained prior to the commencement of work. For example, this permit does not authorise the following work:

- Connections to sewerage and water infrastructure.
- The design, certification and performance of any fire system associated with the property.
- Permit to discharge trade waste.

This permit ends two (2) years from the date of this letter. However, an eligible person may apply to extend the term of the permit, under section 43(2)(a).

The inspection of all plumbing and drainage work is required during construction prior to certain milestones. A plumbing and drainage pre-start inspection is required prior to the commencement of work.

Under the Landslide Hazard Overlay Code of the City Plan any proposed on-site effluent disposal within any area identified on the Landslide hazard overlay map, must comply with the Self-assessable acceptable outcome SO1 of the Landslide Hazard Overlay Code.

A copy of this compliance permit has been provided to the owner of the premises to which the permit relates.

Should you wish to clarify any issues contained in the above letter, please do not hesitate to contact Aaron Johnson on 07 5667 5977.

Yours faithfully



Aaron Johnson  
**Plumbing and Drainage Inspector**  
*For the Chief Executive Officer*  
Council of the City of Gold Coast

**INFORMATION NOTICE**

(Given under section 50 (1)(a) of the *Plumbing and Drainage Regulation 2019*)

**The decision**

On 10-Oct-2019, a compliance permit was issued, subject to conditions.

**Reasons for the decision**

The reasons for issuing this compliance permit subject to conditions are:

1. In accordance with the Plumbing and Drainage Act, the Council may ask the person who made the request to assess the compliance assessable work to supply a plan of the assessed work. The council requires a copy of the permit and full size colour copy of the original stamped approved hydraulic plumbing and drainage plans on site to ensure the work on site, corresponds with the approved plans approved under the permit. The work which has been identified on the plan is then marked off at time of inspection. At time of final inspection the marked up plan is compared to the as constructed plan.

**Rights of appeal**

The person to whom the notice is given may appeal against the decision to a development tribunal under the *Planning Act 2016* (Qld) within 20 business days.

An appeal is started by lodging a notice of appeal with the registrar of a development tribunal. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required fee.

Chapter 6, Part 1 and Schedule 1 of the *Planning Act 2016* sets out further information about appeal rights.

**PLUMBERS COPY  
TO REMAIN  
ONSITE**

**PLUMBING & DRAINAGE ADVISORY NOTE**

This approval is granted only for the Plumbing and Drainage hydraulic design pursuant to the Plumbing and Drainage Act 2018. This approval is not to be taken as approval by Council or any other development and does not alleviate the need to comply with all development requirements of Council's Planning Scheme and any relevant Local Laws and Policies.

**PLUMBING & DRAINAGE ADVISORY NOTE**

The Private Certifier is to assess matters relating to Council's Planning Scheme Policies, Local Laws and Building Certification functions to ensure compliance with the above.

**Council of the City of Gold Coast  
Plumbing & Drainage Services  
NOTE**

1. Council approved hydraulic plans to be kept on site
2. As constructed plans are required prior to final inspection
3. Approval subject to Council's conditions of approval requirements.
4. The Plumbing & Drainage design is provisional only and may be amended by the site inspectors approved

Application No.: PCS/2019/2926  
Date: 9 October 2019

# DONINGTON DRIVE RESIDENTIAL PLUMBING & DRAINAGE OVERALL No. 36901-P&D

**SCHEDULE OF DRAWINGS**

NUMBER	REV. NO.	TITLE
GENERAL		
36901-P&D-000	E	COVER SHEET
EARTHWORKS: FINAL SURFACE & SEDIMENT AND EROSION CONTROL		
36901-P&D-080	C	PLAN SHEET 01
EARTHWORKS: COMBINED SERVICES		
36901-P&D-090	C	PLAN SHEET 01
SEWER: SEWER RETICULATION		
36901-P&D-500	D	PLAN SHEET 01
SEWER: PROFILES		
36901-P&D-530	D	PROFILES SHEET 01
DRAINAGE: STORMWATER		
36901-P&D-600	D	PLAN SHEET 01
DRAINAGE: PROFILES		
36901-P&D-620	D	PROFILES SHEET 01
DRAINAGE: STRUCTURE DETAILS		
36901-P&D-640	C	DETAILS SHEET 01
DRAINAGE: CATCHMENT		
36901-P&D-670	C	PLAN SHEET 01
DRAINAGE: CALCULATION TABLES		
36901-P&D-680	B	MINOR & MAJOR SHEET 01
WATER: WATER RETICULATION		
36901-P&D-700	E	PLAN SHEET 01
36901-P&D-701	C	DETAIL SHEET 01
36901-P&D-710	B	DETAIL SHEET 02



CLIENT  
**TELLURIUM GG  
Pty Ltd**



**R. P. DESCRIPTION**  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

DRAWING NUMBER  
**36901-P&D-000**

AMEND.  
**E**



**SEDIMENT AND EROSION**

- THE EROSION & SEDIMENT CONTROL DEVICES SHOWN ON THESE DRAWINGS ARE INDICATIVE & PROVIDED FOR SUBMISSION TO LOCAL AUTHORITY ONLY. NOTWITHSTANDING THE EROSION & CONTROL DEVICES SHOWN ON THESE DRAWINGS, THE CONTRACTOR MUST PREPARE & FOLLOW A SITE SPECIFIC EROSION & SEDIMENT CONTROL PLAN TO MEET ALL LOCAL & STATE GOVERNMENT LEGISLATION INCLUDING BUT NOT LIMITED TO:
  - ENVIRONMENTAL PROTECTION ACT WITH SPECIFIC REFERENCE TO PARTS S440G & S319
  - STATE PLANNING POLICY PRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE OR TO WATERS WITHIN THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE & PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE & CONCENTRATION OF CONTAMINATION. THE ESC PLAN MUST BE DESIGNED, IMPLEMENTED & MAINTAINED IN ACCORDANCE WITH "BEST PRACTICE EROSION & SEDIMENT CONTROL" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2008).
- TO COMPLY WITH THE REQUIREMENTS OF THE EP ACT & BEST PRACTICE DESIGN, THE SEDIMENT BASINS ON THE SITE MUST BE DESIGNED & IMPLEMENTED TO ACHIEVE THE FOLLOWING:
  - SEDIMENT BASINS ARE TO BE DESIGNED, IMPLEMENTED & MAINTAINED TO A STANDARD WHICH WOULD ACHIEVE AT LEAST 80% OF THE AVERAGE ANNUAL RUNOFF VOLUME OF THE CONTRIBUTING (CATCHMENT TREATED (I.E. 80% HYDROLOGIC EFFECTIVENESS)) TO 50MG/L TSS OR LESS & PH IN THE RANGE 6.5-8.5
  - THIS WILL REQUIRE THE INSTALLATION & OPERATION OF A HIGH-EFFICIENCY SEDIMENT BASIN(S) DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE "BEST PRACTICE EROSION & SEDIMENT CONTROL - APPENDIX B SEDIMENT BASIN DESIGN & OPERATION" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2016, DRAFT)
- THE EROSION & SEDIMENT CONTROL PLAN MUST BE PREPARED & CERTIFIED BY A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL & FOLLOW THE REQUIREMENTS OUTLINED IN IECA'S BEST PRACTICE EROSION & SEDIMENT CONTROL DOCUMENT & THE QUEENSLAND URBAN DRAINAGE MANUAL.
- PRIOR TO THE COMMENCEMENT OF WORKS ONSITE THE CONTRACTOR MUST MAKE THEMSELVES AWARE OF ALL PREVIOUS GEOTECHNICAL REPORTS & DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL (INCLUDING PERFORMING ANY SOIL TESTS IF REQUIRED). THE RESULTS OF THIS REVIEW & ANY TESTS MUST BE INCLUDED IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN. A COPY OF ALL TEST RESULTS MUST BE PROVIDED TO THE SUPERINTENDENT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION & DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION (INCLUDING THE MAINTENANCE PERIOD). NOTWITHSTANDING THE CONTROL MEASURES OR FINISHED EARTHWORKS DESIGN SHOWN ON THESE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL OR ALTERNATIVE EROSION & SEDIMENT CONTROL MEASURES TO MINIMISE SEDIMENT ACROSS OR LEAVING THE SITE.
- AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS (INCLUDING WEEKENDS & PUBLIC HOLIDAYS) & AT ALL TIMES REMAINS RESPONSIBLE TO:
  - CLEAN & REPAIR CONTROL DEVICES WHENEVER THE ACCUMULATED SEDIMENT REDUCES THEIR CAPACITY BY 50%.
  - MAINTAIN POSITIVE GRADES OF ALL PERIMETER BANKS & SWALES TO AN OUTLET.
  - PROTECT ANY DOWNSTREAM CONSTRUCTION.
  - CONTROLLING DUST.
  - MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH DETAILS OUTLINED IN THEIR EROSION & SEDIMENT CONTROL PLAN & AS DIRECTED BY THE SUPERINTENDENT.
- THE CONTRACTOR'S PLAN SHALL ALLOW FOR SUITABLE ACCESS TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. NO ADDITIONAL VEGETATION CLEARING IS PERMITTED FOR GAINING ACCESS UNLESS APPROVED BY THE SUPERINTENDENT.
- THE CONTRACTOR MAY REQUEST APPROVAL FROM THE SUPERINTENDENT TO REUSE THE STOCKPILED MULCH FOR STABILISING BATTERS ONLY IN LOCATIONS WHERE THE APPROVED LANDSCAPE OPW DESIGN REQUIRES MULCH ULTIMATELY.
- CONSTRUCTION STOCKPILING
  - TOPSOIL SHALL BE STRIPPED & STOCKPILED IN LOCATIONS NOMINATED ON THE CONSTRUCTION DRAWINGS OR IN LOCATIONS AGREED WITH THE SUPERINTENDENT.
  - ADDITIONAL VEGETATION CLEARING IS NOT PERMITTED TO FACILITATE THE STOCKPILING OF MATERIALS UNLESS SHOWN ON THE APPROVED VEGETATION MANAGEMENT PLAN.
  - ANY STOCKPILE SITE MUST BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
  - NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE OF VEGETATION.
  - A TEMPORARY SILT FENCE IS TO BE ERECTED APPROXIMATELY 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.
- NOTWITHSTANDING THE DETAILS SHOWN IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN, DURING CONSTRUCTION THE CONTRACTOR MUST:
  - SIZE ALL TEMPORARY SEDIMENT BASINS APPROPRIATELY TO TREAT THE UPSTREAM CATCHMENT. NOTE THAT THE PERMANENT BIO BASINS SHOWN ON THESE DRAWINGS ARE SIZED FOR THE ULTIMATE CATCHMENT NOT FOR THE CONSTRUCTION PHASE.
  - PLACE A ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
  - PROVIDE KERB INLET PROTECTION TO ALL GULLIES.
  - PLACE A MINIMUM 1.0m WIDE TURF STRIP BEHIND ALL KERBS & IN A HERRINGBONE LAYOUT WITHIN THE ROAD VERGE.
  - MAINTENANCE (INCLUDING FLOCCULATION IF REQUIRED & PUMP OUT) OF ALL CONSTRUCTION SEDIMENT BASINS (WHETHER EXISTING OR NEW).
  - CLEAN OUT OF ALL GROSS POLLUTANT TRAPS, SEDIMENT FOREBAYS & ALL OTHER PERMANENT SEDIMENT CONTROL DEVICES AT BOTH ON & OFF MAINTENANCE.
- CONTRACTOR TO CONFIRM THE EXTENTS OF REQUIRED GRASSING TREATMENTS WITH THE SUPERINTENDENT AT LEAST 7 DAYS PRIOR TO FINAL TRIMMING.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT GRASSING STRIKE RATES ARE ACHIEVED AT THE ON & OFF MAINTENANCE INSPECTIONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS. THIS INCLUDES THE SUPPLY & INSTALLATION OF ANY REQUIRED CHEMICAL/FERTILISER AMELIORATION TO ACHIEVE THE SPECIFIED GRASS STRIKE RATES.
- GEOFABRIC LINING OF CHANNELS & CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
- BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH APPROVED OPEN SPACE MANAGEMENT PLAN & LANDSCAPING OPW. CONTRACT DOCUMENTATION WILL SPECIFY WHETHER THIS IS THE CIVIL CONTRACTOR OR THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY & INSTALL. THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE ACCESS FOR THE LANDSCAPE CONTRACTOR TO PERFORM THEIR WORKS.
- MAINTENANCE PERIOD (PRE TO POST CONSTRUCTION)
  - ALL PROTECTION MEASURES ARE TO BE INSPECTED & MAINTAINED REGULARLY
  - REPAIRS ARE TO BE EFFECTED IMMEDIATELY.
  - SILT AFTER RAIN IS TO BE CLEANED FROM STREETS & ALLOTMENTS IMMEDIATELY & CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE.
  - AT OFF-MAINTENANCE & ONLY WHEN DIRECTED BY COUNCIL, REMOVE & DISPOSE OFFSITE ALL TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.

**PLUMBERS COPY TO REMAIN ONSITE**

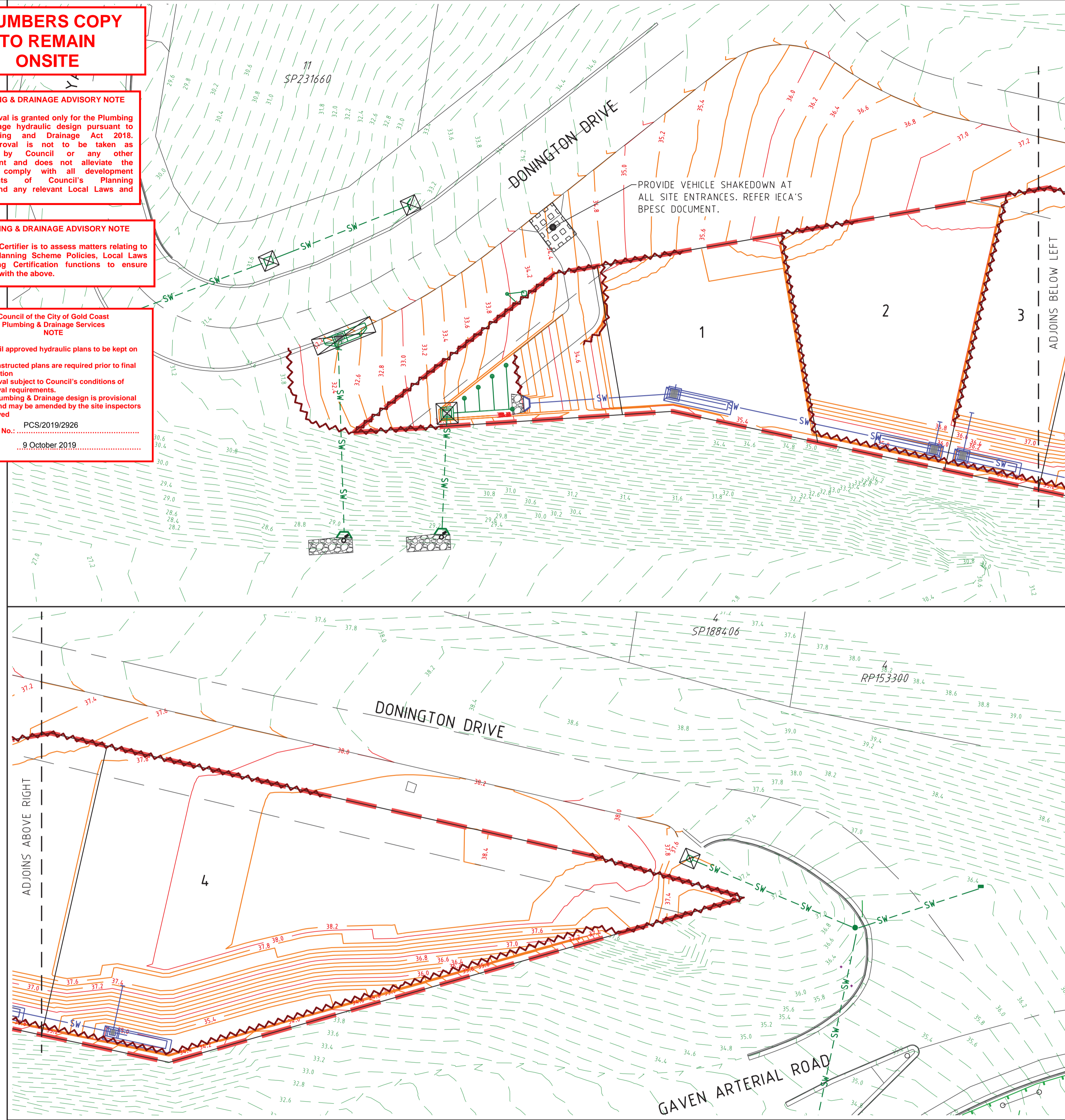
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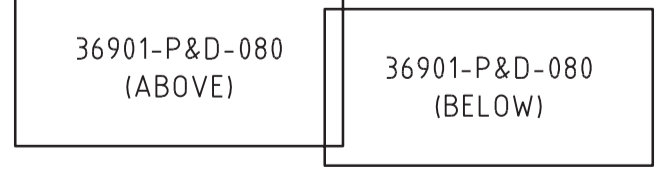
Application No.: PCS/2019/2926  
 Date: 9 October 2019



**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- SW — EXISTING STORMWATER
- 1.0 — EXISTING CONTOURS
- SITE BOUNDARY
- PROPOSED PROPERTY LINE
- SW — PROPOSED STORMWATER
- 1.0 — DESIGN CONTOURS
- MANHOLE
- KERB INLET (ON GRADE) PIT
- KERB INLET (SAG) PIT
- HEADWALL
- SEDIMENT FENCE
- SCOUR PROTECTION
- TEMPORARY SEDIMENT BASIN
- STORMWATER INLET FILTER
- VEHICLE SHAKEDOWN (AT ALL SITE ENTRANCES MIN.)

**SHEET LAYOUT**



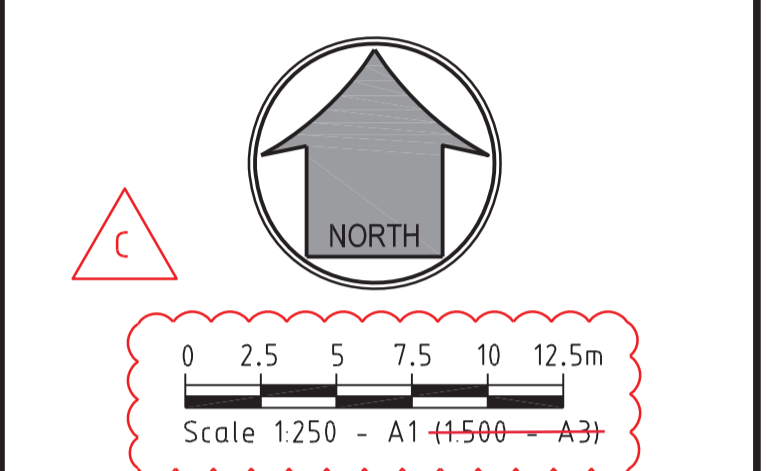
PROVIDE SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION BPESC DOCUMENT.



**NOTE:**  
 SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATE TO THE FINISHED SURFACE ONLY AND ARE CONCEPTUAL ONLY. THE CONTRACTOR IS TO PREPARE A SITE SPECIFIC CONSTRUCTION AND MAINTENANCE PHASE SEDIMENT AND EROSION CONTROL PLAN.

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 PLUMBING & DRAINAGE  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

REV	DATE	DESCRIPTION
C	08-10-19	SCALE BAR AMENDED TO SHOW ORIGINAL A1 & A3 SCALE
B	13-09-19	SCALE BAR AMENDED TO SHOW ONLY A3 SCALE
A	26-08-19	COUNCIL ISSUE

PREPARED BY: [Signature]  
 AMENDMENT: [Signature]

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ASSOCIATED CONSULTANTS

DRAWING TITLE  
**FINAL SURFACE AND SEDIMENT AND EROSION PLAN SHEET 01**

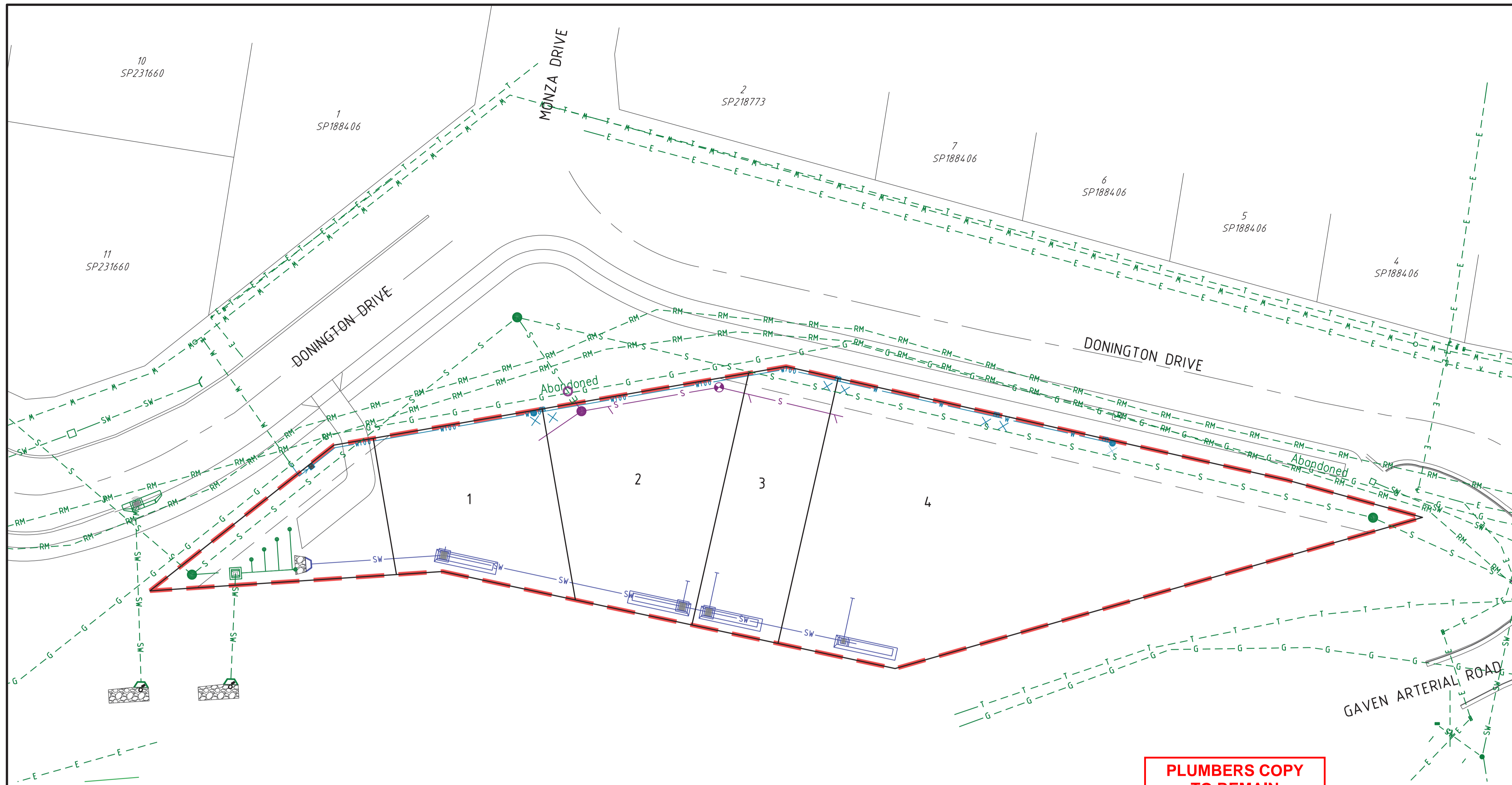
Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As:  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099

Postal Address  
 PO Box 2484  
 Southport QLD 4215

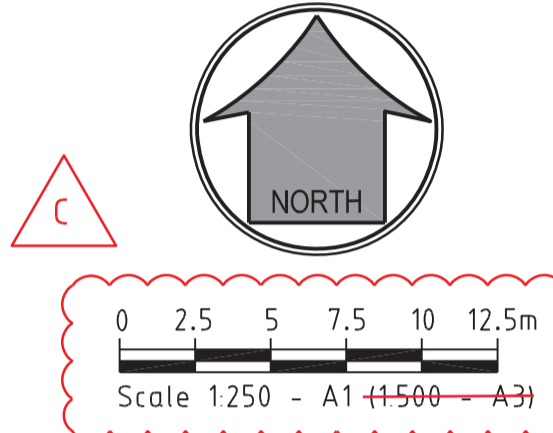
Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED	RB	DRAWN	EP
APPROVED	[Signature]	RPEQ 4706	DATE 06-08-19
DRAWING NUMBER	36901-P&D-080		AMEND. C



PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 PLUMBING & DRAINAGE  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
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DRAWING TITLE  
**COMBINED SERVICES PLAN SHEET 01**

MORTONS urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As: Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099

Postal Address: PO Box 2484 Southport QLD 4215  
 Gold Coast Office: Suite 9, 19 Short St Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED <i>[Signature]</i>	RPEQ 4706 DATE 06-08-19
DRAWING NUMBER <b>36901-P&amp;D-090</b>	AMEND. <b>C</b>

**CONSTRUCTION SERVICES**

- CONSTRUCTION OF SEWER/ROOFWATER/STORMWATER/SERVICES**  
 EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE OF TRENCH & TO PROTECT PIPE WORK & DIRECT SURFACE MATERIAL AWAY FROM EXCAVATIONS. TOPSOIL & GRASS SEED AREAS IN ALLOTMENTS IMMEDIATELY AFTER COMPLETING THE SEWER & ROOFWATER DRAINAGE CONSTRUCTION. DEPRESS GROUND AROUND TEMPORARY FIELD INLETS TO CREATE SILT POND.
- TRIP HAZARD**  
 MANHOLES OR STRUCTURES INSTALLED IN THE ROAD, FOOTPATH OR VERGE MUST MATCH NEATLY WITH NO TRIP HAZARD.
- EXISTING SERVICES - EXTERNAL WORKS**  
 THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- EXISTING FOOTPATH
- S --- S --- EXISTING SEWER
- RM --- RM --- EXISTING RISING MAIN
- SW --- SW --- EXISTING STORMWATER
- W --- W --- EXISTING WATER
- G --- G --- EXISTING GAS
- E --- E --- EXISTING UNDERGROUND ELECTRICITY
- E --- E --- EXISTING OVERHEAD ELECTRICITY
- T --- T --- EXISTING TELSTRA
- PROPOSED PROPERTY LINE
- S --- PROPOSED SEWER
- SW --- PROPOSED STORMWATER
- RW --- PROPOSED ROOFWATER
- W100 --- W100 --- PROPOSED WATER
- W150 --- PROPOSED WATER
- SITE BOUNDARY



**PLUMBERS COPY TO REMAIN ONSITE**

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Application No.: PCS/2019/2926  
 Date: 9 October 2019

**SEQ CODE SEWER NOTES**

SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-SEW-1101-3.

**VEGETATION PROTECTION**

- A. TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- B. WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8 m BATTENS CLOSELY SPACED & ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION & REMAIN UNTIL COMPLETION.
- C. TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
- D. ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

**SOIL**

- A. TOPSOIL & SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- B. CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
- C. IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA, THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL & MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.

**CREEK CROSSINGS**

- A. SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- B. APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- C. NO SOIL SHALL BE STOCKPILED WITHIN 5 m OF THE CREEK.

**REHABILITATION**

- A. PREDISTURBANCE SOIL PROFILES & COMPACTION LEVELS SHALL BE REINSTATE.
- B. PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.

**SAFETY**

- A. THE DESIGN & CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.

**GENERAL**

- 1. ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND SEWERAGE CODE SPECIFICATIONS & STANDARDS.
- 2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS & WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- 3. THE CONSTRUCTION OF THE SEWERAGE WORK SHOWN ON THIS DRAWING SHALL BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. SEWERAGE WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO THE SEQ SERVICE PROVIDER SEWERAGE SYSTEM.
- 4. ALL WORK ASSOCIATED WITH LIVE SEWERS OR MAINTENANCE HOLES SHALL BE CARRIED OUT BY DEVELOPER'S APPROVED CONTRACTOR UNDER THE SUPERVISION OF SEQ'S AGENT AT THE DEVELOPER'S COST.
- 5. ALL PIPES & MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE "ACCEPTED PRODUCTS & MATERIALS" LIST.
- 6. EACH ALLOTMENT SHALL BE SERVED BY A DN100 PVC PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A DN160 PE (OR DN150 PVC) PROPERTY CONNECTION SHALL BE PROVIDED.
- 7. PROPERTY CONNECTIONS SHALL BE LOCATED WITHIN THE PROPERTY AS SHOWN IN THE DRAWINGS.
- 8. PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 300 mm & A MAXIMUM OF 750 mm. UNITYWATER REQUIRES MINIMUM EXTENSION OF 500 mm INTO PROPERTY.
- 9. WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300 mm (LOOSE) IN DEPTH & SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH A.S. 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY THE SEQ SERVICE PROVIDER UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED.
- 10. WHERE SEWERS HAVE A GRADE OF 1 IN 20 OR STEEPER, BULKHEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEQ SEWER CODE.
- 11. THE CONTRACTOR SHALL VERIFY THE LOCATION & DEPTH OF EXISTING SERVICES WITH RELEVANT AUTHORITIES BEFORE COMMENCING WORKS.
- 12. SEWERS SHALL BE DISUSED /ABANDONED IN ACCORDANCE WITH PROCEDURES SET OUT IN THE SEQ SEWER CODE.
- 13. BENCH MARK & LEVELS TO AHD.
- 14. ~~THE EXISTING DWELLING ON LOT 3, REFER SEQ-SEW-1100, SERVED BY A SEPTIC SYSTEM, SHALL BE CONNECTED TO THE NEW SEWER BY A LICENCED PLUMBER IN ACCORDANCE WITH THE RELEVANT STATUTORY & COUNCIL REQUIREMENTS. THE SEPTIC SYSTEM INCLUDING TRENCHES SHALL BE REMOVED AT THE DEVELOPER'S COST. ALL FIXTURES SHALL BE UPGRADED IF REQUIRED BY PLUMBING CODE. STANDARD NOTE NOT APPLICABLE & THEREFORE DELETED.~~
- 15. EXISTING ALLOTMENTS REQUIRING A PROPERTY CONNECTION FROM EXISTING SEWERS SHALL BE PROVIDED BY THE SEQ SERVICE PROVIDER AT THE DEVELOPERS COST.

**PROJECT SPECIFIC SEWER NOTES**

- a. ALL SEWER MAINS TO BE AS PER SEWER PIPE SPECIFICATIONS TABLE.
- b. NOTWITHSTANDING THE STANDARD SEQ NOTES ABOVE, ALL MATERIALS & WORKS MUST BE IN ACCORDANCE WITH THE SERVICE PROVIDER'S APPROVAL CONDITIONS & THE SEQ WS&S D&C CODE.
- c. THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR SEWER RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT.
- d. THE CONTRACTOR TO PROVIDE CALCAREOUS CONCRETE WHERE SPECIFIED IN THE SEQ CODE BY THE RELEVANT AUTHORITY.
- e. WATER & ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE PRECISE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE, SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDENT'S INSTRUCTION
- f. ALL BENDS TO BE LONG RADIUS BEND TO MEET MANUFACTURER'S MINIMUM RADIUS REQUIREMENTS U.N.O.
- g. CONTRACTOR TO VERIFY DOWNSTREAM EXISTING PIPE LEVELS PRIOR TO COMMENCEMENT OF WORKS ON-SITE.
- h. PROPERTY CONNECTIONS HAVE BEEN DESIGNED TO CONTROL THE REQUIRED SERVICE AREA OF EACH LOT AT A GRADE OF 1:60 & A MAXIMUM DEPTH OF PROPERTY CONNECTION AT 1.5m, UNLESS OTHERWISE STATED.
- i. CONTRACTOR TO PAY ALL FEES & CHARGES ASSOCIATED WITH CONNECTIONS.

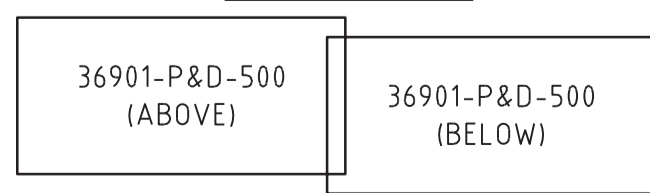
**LIVE CONNECTIONS BY CONTRACTOR**

- 1. THE CONTRACTOR MAY MAKE THE LIVE SEWER & WATER CONNECTIONS UNDER THE WATER AUTHORITY'S SUPERVISION.
- 2. IF THE CONTRACTOR WISHES TO MAKE THE CONNECTION THEY MUST INDICATE AT TIME OF TENDER & INSERT A LUMP SUM TO COMPLETE THE WORKS.
- 3. IF THE CONTRACTOR IS TO MAKE THE LIVE CONNECTIONS ALL REQUIREMENTS OF THE WATER AUTHORITY MUST BE ADHERED TO.
- 4. THESE REQUIREMENTS ARE NOT LIMITED TO BUT MAY INCLUDE:
  - a. CURRENT FEES PER CONNECTION TO BE PAID BY THE CONTRACTOR.
  - b. CARRY OUT ALL TESTING AS REQUIRED.
  - c. SUPPLY ALL DETAILS OF CONNECTION.
  - d. SUPPLY ALL HEALTH & SAFETY INFORMATION.

**LEGEND**

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- EXISTING PROPERTY LINE
- EXISTING SEWER
- RM — EXISTING RISING MAIN
- SW — EXISTING STORMWATER
- W — EXISTING WATER
- G — EXISTING GAS
- E — EXISTING UNDERGROUND ELECTRICITY
- E — EXISTING OVERHEAD ELECTRICITY
- T — EXISTING TELSTRA
- X — EXISTING RETAINING WALL
- X — EXISTING CONTOURS
- S — PROPOSED PROPERTY LINE
- S — PROPOSED SEWER
- 1.0 — SITE BOUNDARY
- 1.0 — DESIGN CONTOURS
- — SEWER MANHOLE
- — SEWER BEND
- — SEWER MAINTENANCE SHAFT
- — SEWER PIT NO./LINE

**SHEET LAYOUT**



**PLUMBERS COPY TO REMAIN ONSITE**

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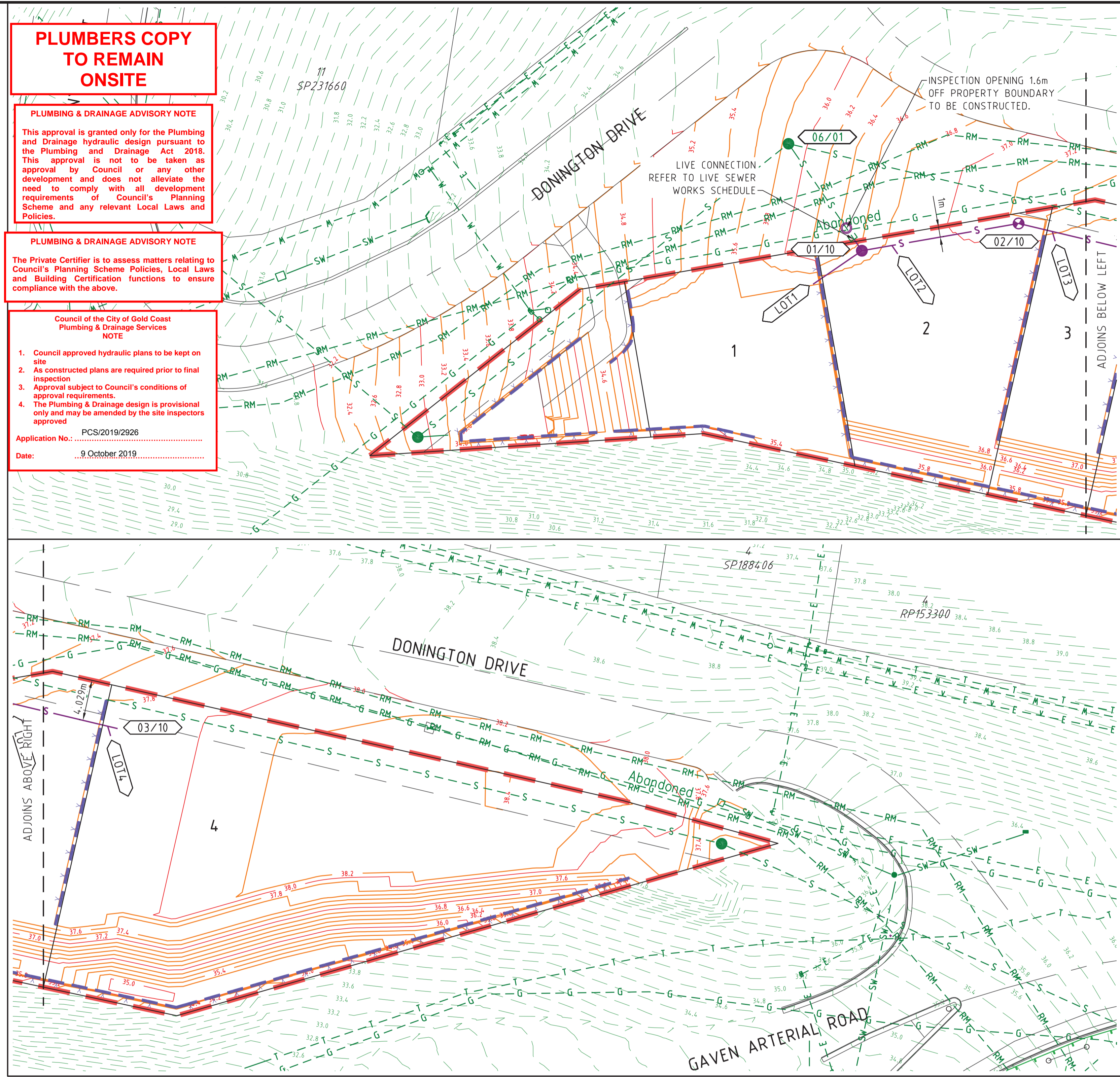
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**SEWER PIPE SPECIFICATIONS**

SEWER MAIN LOCATION	PIPE MATERIAL SPECIFICATION
GRAVITY VERGE	PVC-U SN8
GRAVITY ROAD CROSSING	PVC-U SN8
HOUSE CONNECTIONS	PVC-U SN6

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.



**SERVICE PROVIDER AND CONSTRUCTOR LIVE SEWER WORKS SCHEDULE**

No.	Description	Dia. Sewer	MH No.	MH/MS Type	Cover Type	Lot no	F.S.L	E.S.L	I.L	Depth to invert
1(A)	CIVIL CONTRACTOR TO MAKE APPLICATION TO GOLD COAST WATER FOR THE LIVE CONNECTION TO THE SEWER DOWNSTREAM SEWER MAIN	150	END CAP UPSTREAM OF MANHOLE 06/01 & DOWNSTREAM OF MH 01/10	A	D	2	36.693	36.693	34.100	2.593
1(B)	UNDER GOLD COAST WATER SUPERVISION THE CIVIL CONTRACTOR IS TO CONNECT ON TO THE LIVE SEWER MAIN & CONSTRUCT SEWER MANHOLE 01/10									
1(C)	GOLD COAST WATER TO INSTALL PLUG AT DOWNSTREAM LINE OF SEWER MAINTENANCE STRUCTURE 01/10									
1(D)	GOLD COAST WATER TO REMOVE PLUG MAKING UPSTREAM SEWER LIVE FOLLOWING A SUCCESSFUL "ON MAINTENANCE" INSPECTION									

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
PLUMBING & DRAINAGE

RP DESCRIPTION  
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LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**

North arrow and scale bar (0 to 12.5m). Scale 1:250 - A1 1:500 - A3.

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

REV	DATE	DESCRIPTION
D	08-10-19	SCALE BAR AMENDED TO SHOW ORIGINAL A1 & A3 SCALE
C	02-10-19	SEWER OPENING AND NOTE ADDED
B	13-09-19	SCALE BAR AMENDED TO SHOW ONLY A3 SCALE
A	26-08-19	COUNCIL ISSUE

PREPARED BY: [Name] AMENDMENT

ASSOCIATED CONSULTANTS

**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE  
**SEWER RETICULATION PLAN SHEET 01**

**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

MUS Pty Ltd T/As:  
Mortons-Urban Solutions  
ABN 39 116 375 065  
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Tel 07 5571 1099

Postal Address  
PO Box 2484  
Southport QLD 4215

Gold Coast Office  
Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED RB DRAWN EP  
APPROVED [Signature] RPEQ 4706 DATE 06-08-19  
DRAWING NUMBER **36901-P&D-500** AMEND. **D**

SEWER STRUCTURE LIDS	
D	TRAFFICABLE LID
B	NON-TRAFFICABLE LID
M	'M' PREFIX DESIGNATES BOLT DOWN LID

RIGS STRUCTURE TYPES	
P(x)	PRECAST CONCRETE SEWER MAINTENANCE STRUCTURE REFER TO SEQ STD DWG SEQ-SEW-1300-1
A	TYPE 'A' 1050mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
B	TYPE 'B' 1200mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
C	TYPE 'C' 1500mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
J1	TYPE 'J1' MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1314-2
BND	BEND REFER TO SEQ STD DWGS SEQ-SEW-1314-3
RE	RODDING END MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1314-1
END	PROPRIETARY END CAP
PS	SEWER PUMP STATION REFER TO RELEVANT SEQ STD DWGS
RCM	RECEIVING MAINTENANCE STRUCTURE REFER TO RELEVANT SEQ STD SEWER PUMP STATION DWGS
G6	TYPE 'G6' TERMINAL MAINTENANCE SHAFT REFER TO SEQ STD DWGS SEQ-SEW-1314-1

RIGS STRUCTURE DROPS	
V	STRAIGHT THROUGH SEWER REFER TO SEQ STD DWG SEQ-SEW-1303-1
W	OBLIQUE BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1
X	INTERNAL BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1
Y	EXTERNAL BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1

RIGS STRUCTURE DROPS	
A	SEWER PROPERTY CONNECTION (STANDARD & EXTENDED) REFER TO SEQ STD DWGS SEQ-SEW-1104-1
B	SEWER PROPERTY CONNECTION (SLOPED CONNECTION) REFER TO SEQ STD DWGS SEQ-SEW-1104-1
D	SEWER PROPERTY CONNECTION (VERTICAL RISER) REFER TO SEQ STD DWG SEQ-SEW-1105-1
V	SEWER PROPERTY CONNECTION (STRAIGHT THROUGH SEWER) REFER TO SEQ STD DWG SEQ-SEW-1303-1
X	SEWER PROPERTY CONNECTION (INTERNAL BACKDROP) REFER TO SEQ STD DWG SEQ-SEW-1303-1
Z	RISER CONNECTION TO PORTION OF MAINTENANCE SHAFT



### STRUCTURE TYPE LID CLASS DROP TYPE

\* CONSTRUCT BRIDGING STRUCTURE SPANNING THE SEWER TRENCH REFER TYPICAL SECTIONS & DETAILS FOR BRIDGING STRUCTURE DETAILS

TRENCHSTOPS, BULKHEADS & CONCRETE ENCASUREMENTS TO BE INSTALLED IN ACCORDANCE WITH SEQ SEWER CODE

#### NOTES

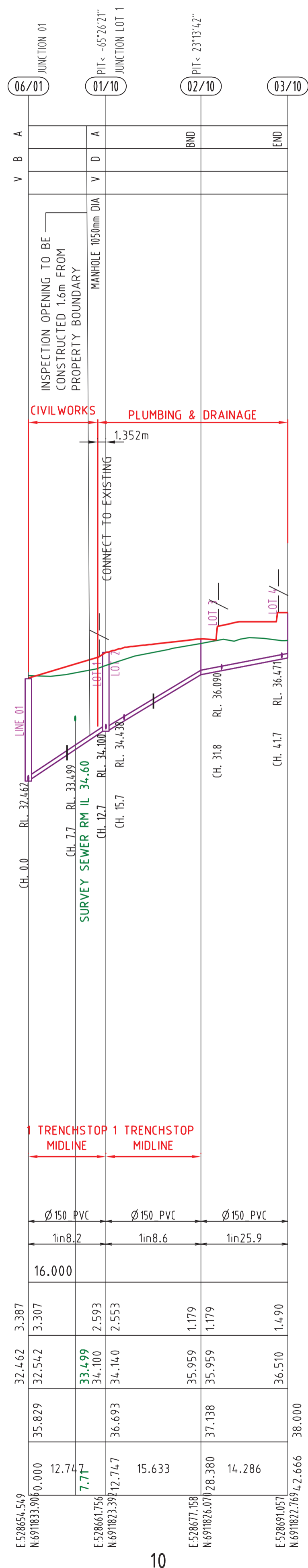
- IF SHOWN, WATER AND ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE. SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDENTS INSTRUCTION
- ALL GRAVITY uPVC SEWER PIPE TO BE CLASS SN8 U.N.O.
- ALL PRESSURE MAIN uPVC SEWER PIPE TO BE CLASS SN16 U.N.O.
- ALL EMBEDMENT TYPE IS TO BE TYPE 3 U.N.O.
- ALL BENDS TO BE LONG RADIUS BEND, 3m RADIUS
- CONTRACTOR TO VERIFY DOWNSTREAM EXISTING PIPE LEVELS PRIOR TO COMMENCEMENT OF PIPEWORK
- PROTECTIVE COATING IS TO BE INSTALLED TO MAINTENANCE STRUCTURES (WHERE REQUIRED) IN ACCORDANCE WITH CLAUSE 4.7.2 OF SEQ SEWERAGE CODE.
- WHERE MANHOLE STRUCTURE DEPTHS ARE DEEPER THAN 6m OR ARE NOT COVERED BY THE SEQ WATER SUPPLY AND SEWERAGE DESIGN AND CONSTRUCTION CODE, THE CONTRACTOR IS TO PROVIDE STRUCTURAL DESIGN AND CERTIFICATION OF THESE STRUCTURES. THIS IS DEEMED TO BE INCLUDED WITHIN THE CONTRACTOR'S RATE FOR THESE STRUCTURES.
- LID LEVEL TO BE UNDEVELOPED AREA = +300mm LOTS, GRASS VERGE = +50mm ALL HARD SURFACES = FLUSH

PIPE DIAMETER (mm)  
PIPE GRADE

DATUM R.L.

DEPTH TO INVERT
PIPE INVERT LEVELS
DESIGN SURFACE LEVELS
CHAINAGE

LINE NO.



**PLUMBERS COPY TO REMAIN ONSITE**

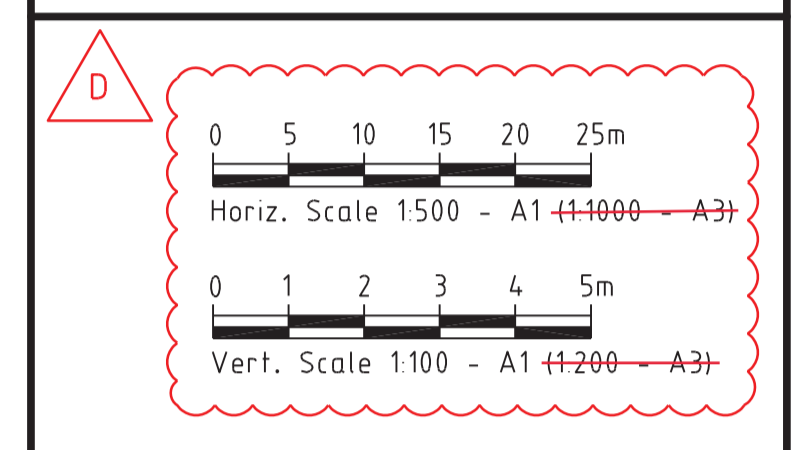
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Application No.: PCS/2019/2926  
Date: 9 October 2019

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
PLUMBING & DRAINAGE  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	..

PRE DATE	AMENDMENT
D 08-10-19	SCALE BAR AMENDED TO SHOW ORIGINAL A1 & A3 SCALE
C 02-10-19	INSPECTION OPENING AND TEXT ADDED
B 13-09-19	SCALE BAR AMENDED TO SHOW ONLY A3 SCALE
A 26-08-19	COUNCIL ISSUE

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ASSOCIATED CONSULTANTS  
**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE  
**SEWER RETICULATION PROFILES SHEET 01**

**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination  
MUS Pty Ltd T/As: Postal Address  
Mortons-Urban Solutions PO Box 2484  
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Southport QLD 4215

DESIGNED	RB	DRAWN	EP
APPROVED	RPEQ 4706	DATE	06-08-19
DRAWING NUMBER		AMEND.	
36901-P&D-530		D	

**SEQ CODE WATER NOTES**

SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-WAT-1101-3.

**VEGETATION PROTECTION**

- A. TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- B. WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8m BATTENS CLOSELY SPACED & ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION & REMAIN UNTIL COMPLETION.
- C. TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
- D. ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

**SOIL**

- A. TOPSOIL & SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- B. CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
- C. IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA, THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL & MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.

**CREEK CROSSINGS**

- A. SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- B. APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- C. NO SOIL SHALL BE STOCKPILED WITHIN 5m OF THE CREEK.

**REHABILITATION**

- A. PREDISTURBANCE SOIL PROFILES & COMPACTION LEVELS SHALL BE REINSTATED.
- B. PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.

**GENERAL NOTES**

- 1. ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND WATER SUPPLY CODE SPECIFICATIONS & STANDARDS.
- 2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS & WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- 3. ADOPT LIP OF KERB OR SHOULDER OF ROAD AS PERMANENT LEVEL.
- 4. COVER ON MAINS FROM PERMANENT LEVEL TO BE AS SHOWN IN SEQ-WAT-1200-2.
- 5. CONDUITS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD DRAWINGS.
- 6. A WATER METER SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH THE STANDARD DRAWING FOR THE SEQ-SP.
- 7. ALL MATERIALS USED IN THE WORKS SHALL COMPLY WITH THE SEQ-SP'S ACCEPTED PRODUCTS & MATERIALS LIST OR BE APPROPRIATELY SHOWN, LISTED & DEFINED IN THE ENGINEERING SUBMISSION SO THAT THE ALTERNATIVE PRODUCT OR MATERIAL CAN BE ASSESSED & IF APPROPRIATE, APPROVED BY THE SEQ-SP.
- 8. ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAINS.
- 9. TEST/CHLORINATION POINTS TO BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWING NO. SEQ-WAT-1410-1.
- 10. THE CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN ON THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT TO THE RETICULATION SYSTEM.

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.

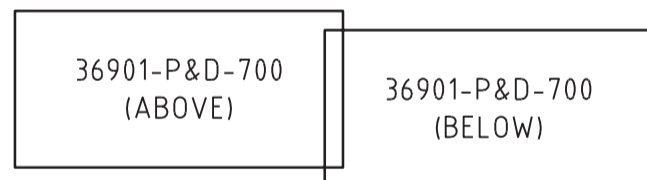
**PROJECT SPECIFIC WATER NOTES**

- a. ALL PROPERTY CONNECTION ROAD CROSSINGS TO BE SLEEVED WITH DN100 uPVC CONDUIT.
- b. ALL MATERIALS ARE TO BE SUPPLIED & CONSTRUCTED IN ACCORDANCE WITH SEQ CODE.
- c. WATER METERS ARE TO BE SUPPLIED & INSTALLED AT ALL WATER SERVICE / CONNECTION POINTS IN ACCORDANCE WITH COGC STD DWG 11-152 & 11-134.
- d. THRUST BLOCKS TO BE LOCATED & INSTALLED BY CONTRACTOR IN ACCORDANCE WITH SEQ CODE.
- e. TRENCH STOPS & BULKHEADS TO BE IN ACCORDANCE WITH WATER AUTHORITY REQUIREMENTS.
- f. THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR WATER RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT.
- g. FOOTPATHS SHOWN FOR INFORMATION PURPOSES ONLY.
- h. ALL WATER CONSTRUCTION WORK UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WORKPLACE HEALTH & SAFETY LEGISLATION.
- i. MINIMUM WATERMAIN COVER TO BE IN ACCORDANCE WITH SECTION 7.4.2 TABLE 7.2 OF THE SEQ AMENDMENT TO WATER SUPPLY CODE OF AUSTRALIA.
- j. CONTRACTOR TO PAY ALL FEES & CHARGES ASSOCIATED WITH CONNECTIONS.
- k. END OF LINE ARRANGEMENTS (EG. CUL-DE-SAC HEADS) TO BE CONSTRUCTED IN ACCORDANCE WITH SEQ-WAT-1104-1.
- l. TEMPORARY CONSTRUCTION HYDRANTS TO BE PROVIDED IN ACCORDANCE WITH SEQ-WAT-1303-1 AT ALL CONNECTIONS.
- m. ALL LIVE CONNECTIONS ARE TO BE ORGANISED BY THE CIVIL CONTRACTOR & UNDERTAKEN BY COUNCIL AT THE DEVELOPERS EXPENSE.

**LEGEND**

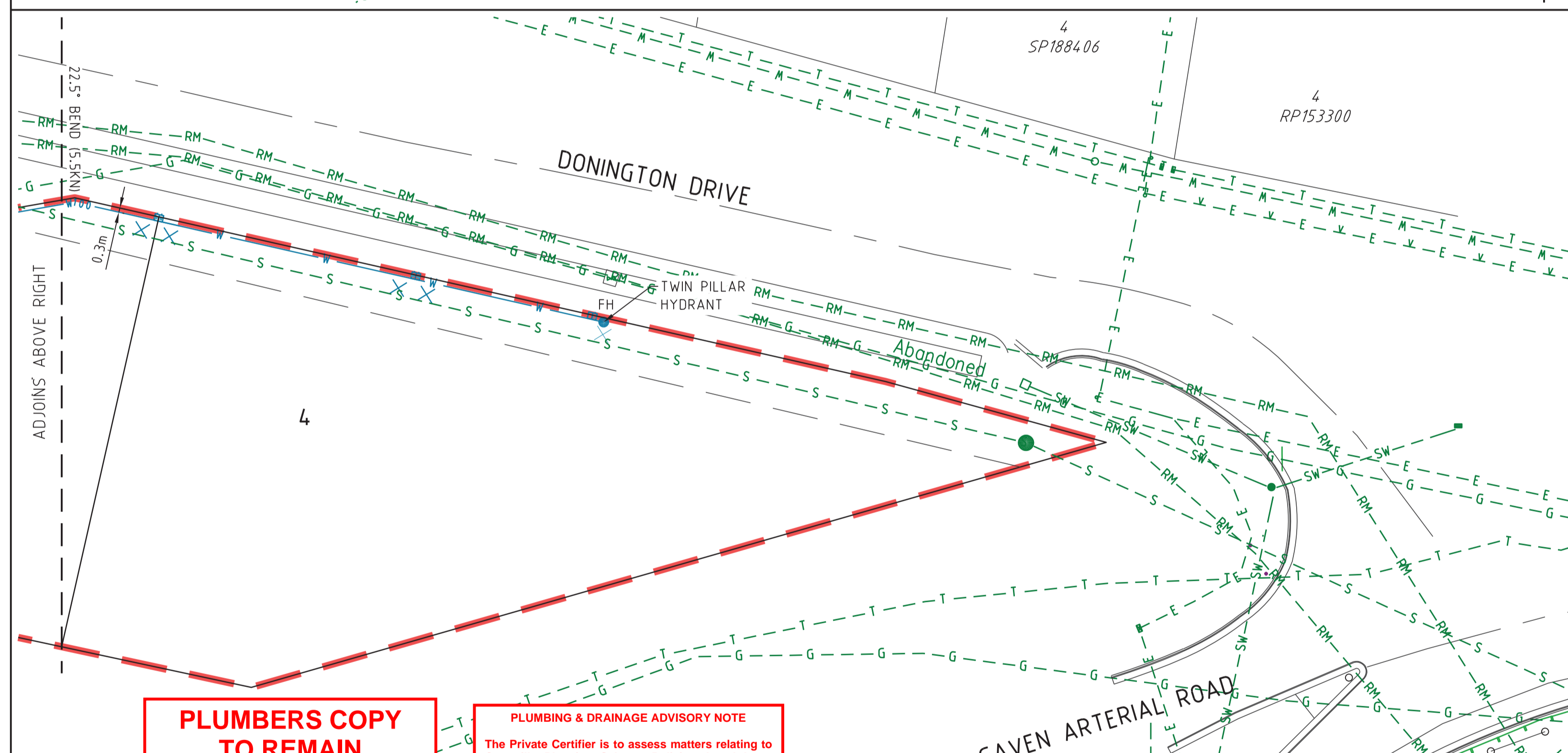
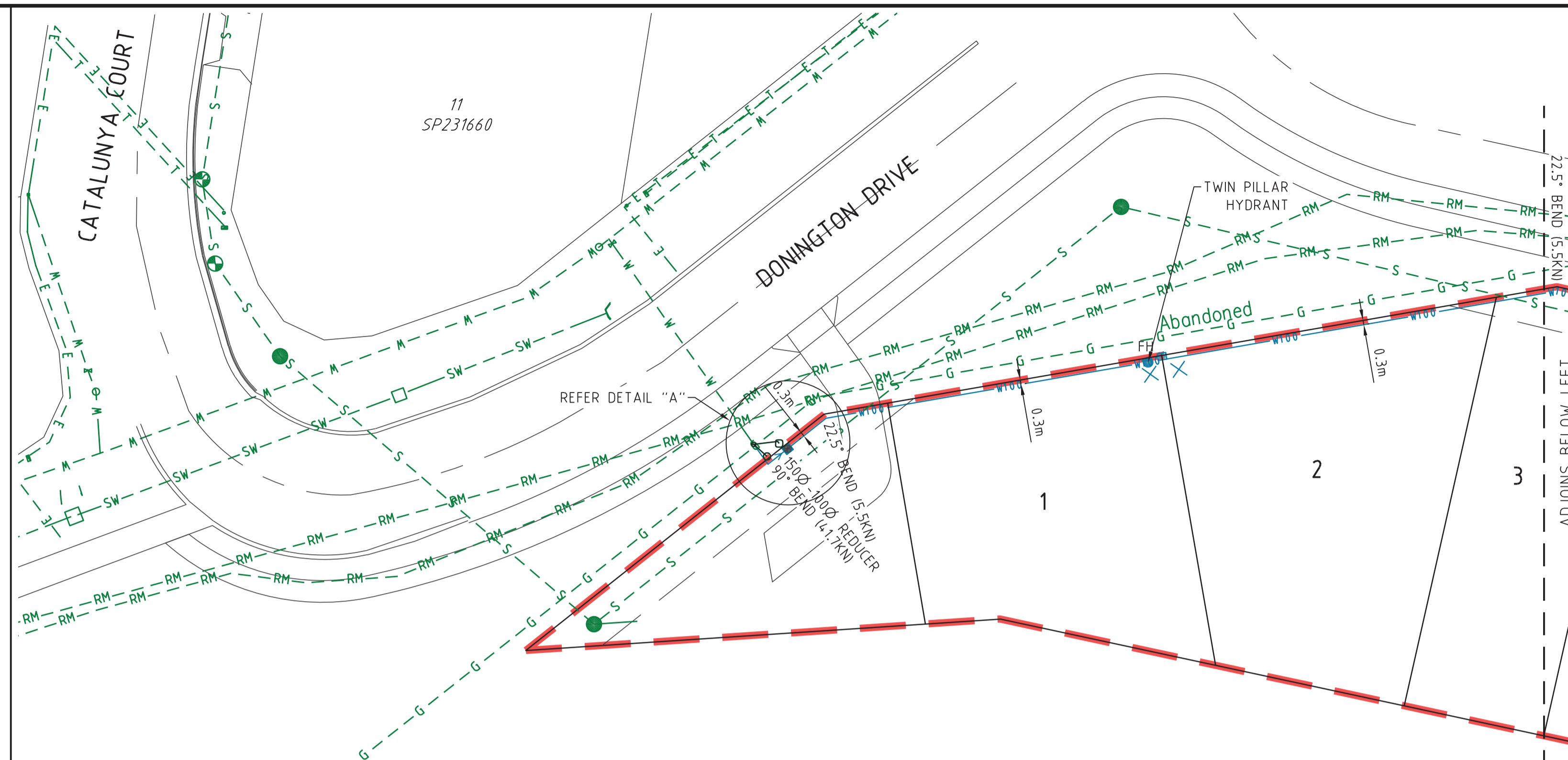
- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- EXISTING FOOTPATH
- W - - - - EXISTING WATER MAIN
- S - - - - EXISTING SEWER
- RM - - - - EXISTING RISING MAIN
- SW - - - - EXISTING STORMWATER
- G - - - - EXISTING GAS
- E - - - - EXISTING UNDERGROUND ELECTRICITY
- E - - - - EXISTING OVERHEAD ELECTRICITY
- T - - - - EXISTING TELSTRA
- PROPOSED PROPERTY LINE
- W100 PROPOSED 100Ø WATER MAIN
- W150 PROPOSED 150Ø WATER MAIN
- SITE BOUNDARY
- HYDRANT
- + TEE
- > REDUCER
- ✂ SLUICE VALVE
- ENDCAP
- ✕ METER LOCATION
- TRENCH STOP
- - - - SERVICE CONDUIT
- DICL ROAD CROSSING

**SHEET LAYOUT**



**WATER PIPE SPECIFICATIONS**

WATER MAIN LOCATION	PIPE MATERIAL SPECIFICATION
FOOTPATH VERGE	PVC-M SERIES 2 PN16
ROAD CROSSING	DICL PN35



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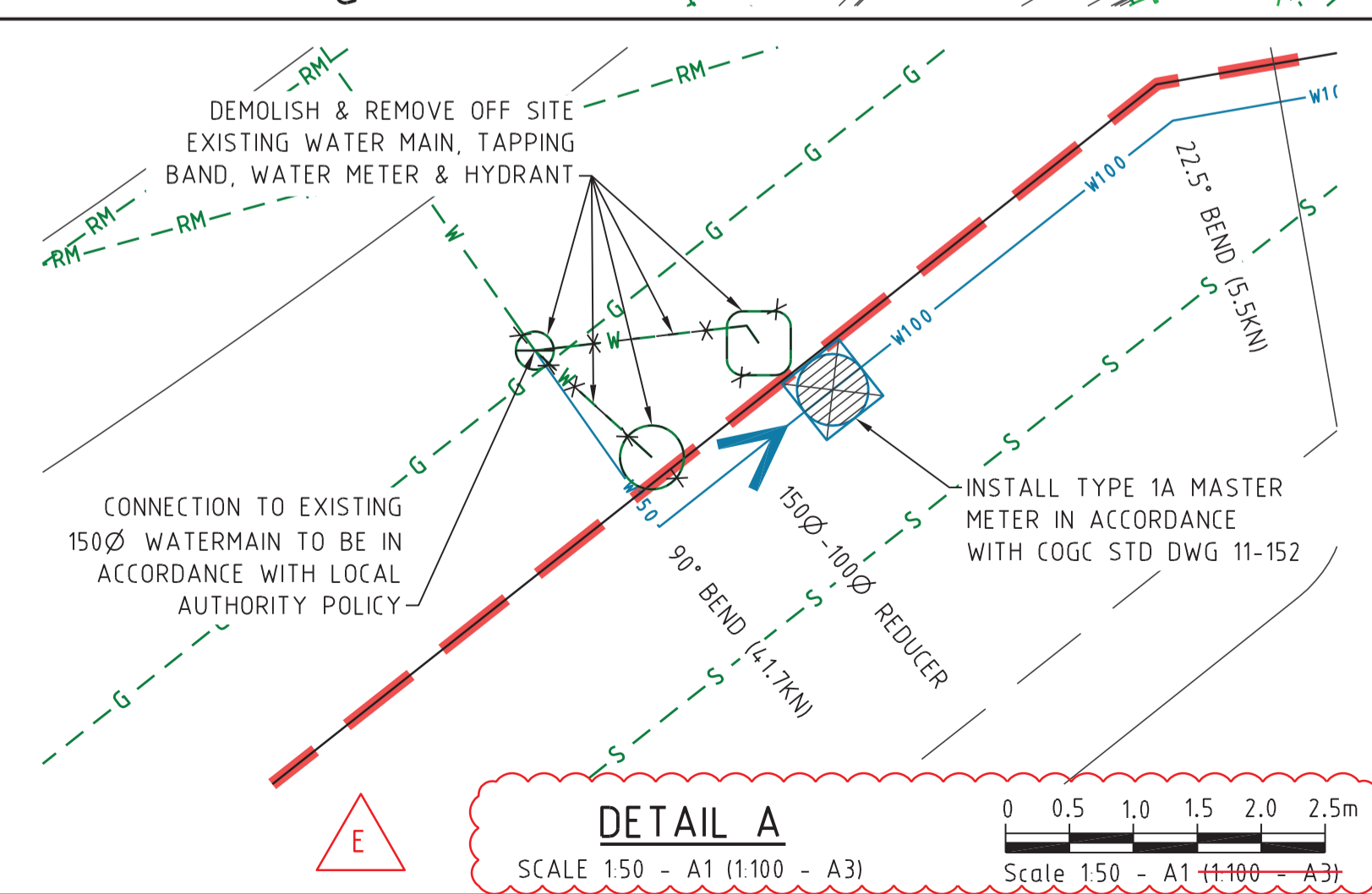
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Application No: PCS/2019/2926  
Date: 9 October 2019



**DETAIL A**  
SCALE 150 - A1 (1:100 - A3)  
Scale 150 - A1 (1:100 - A3)

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
PLUMBING & DRAINAGE

RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**

North arrow and scale bar (0 to 12.5m). Scale 1:250 - A1 (1:500 - A3)

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

REV	DATE	DESCRIPTION
E	08-10-19	SCALE BAR AMENDED TO SHOW ORIGINAL A1 & A3 SCALE
D	08-10-19	NOTE AMENDED
C	02-10-19	WATER METER AND NOTES AMENDED
B	13-09-19	SCALE BAR AMENDED
A	26-08-19	COUNCIL ISSUE

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DRAWING TITLE  
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**MORTONS urbansolutions**  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

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Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED	RB	DRAWN	EP
APPROVED	R. [Signature]	RPEQ 4706	DATE 06-08-19
DRAWING NUMBER	36901-P&D-700		AMEND. E

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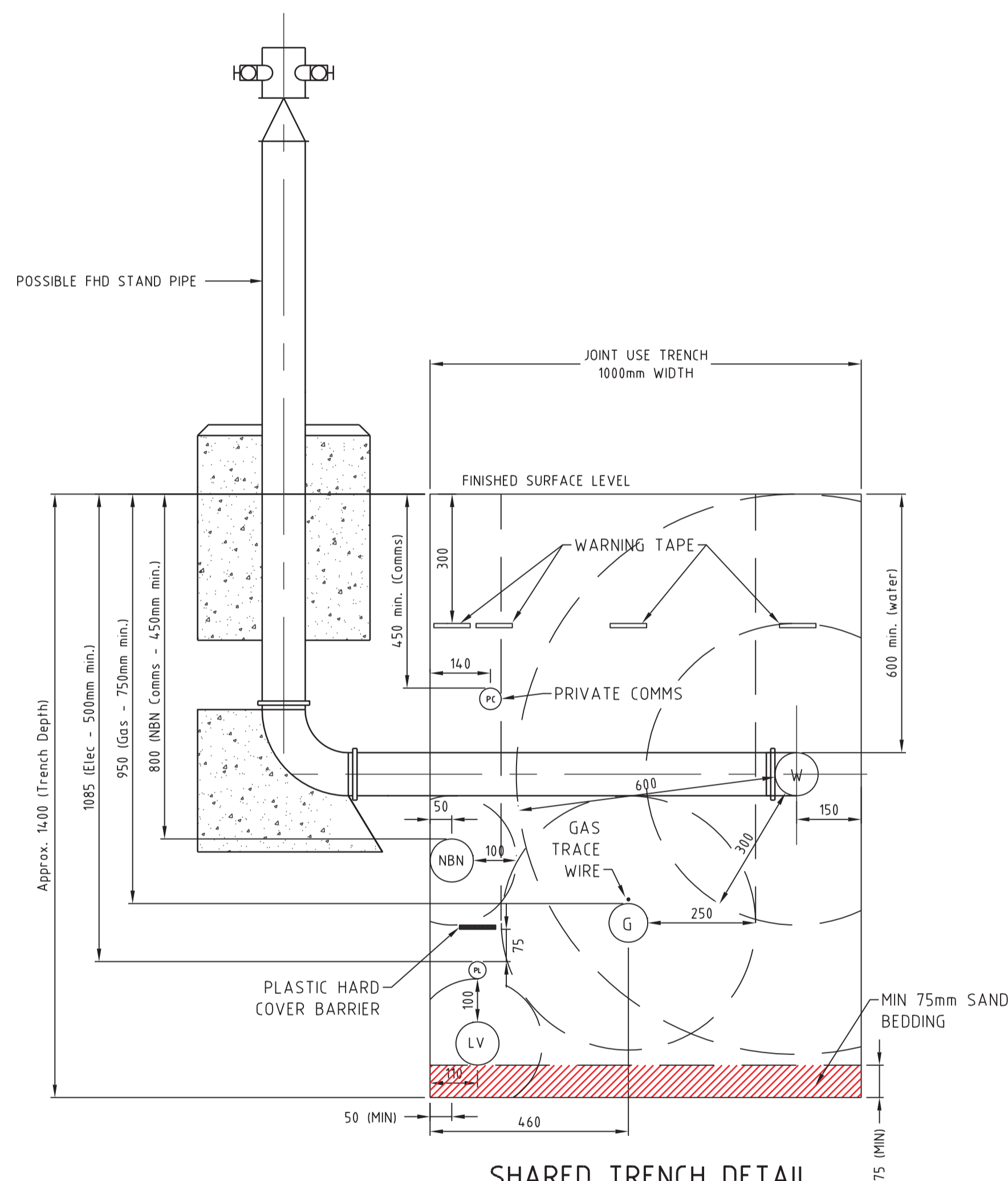
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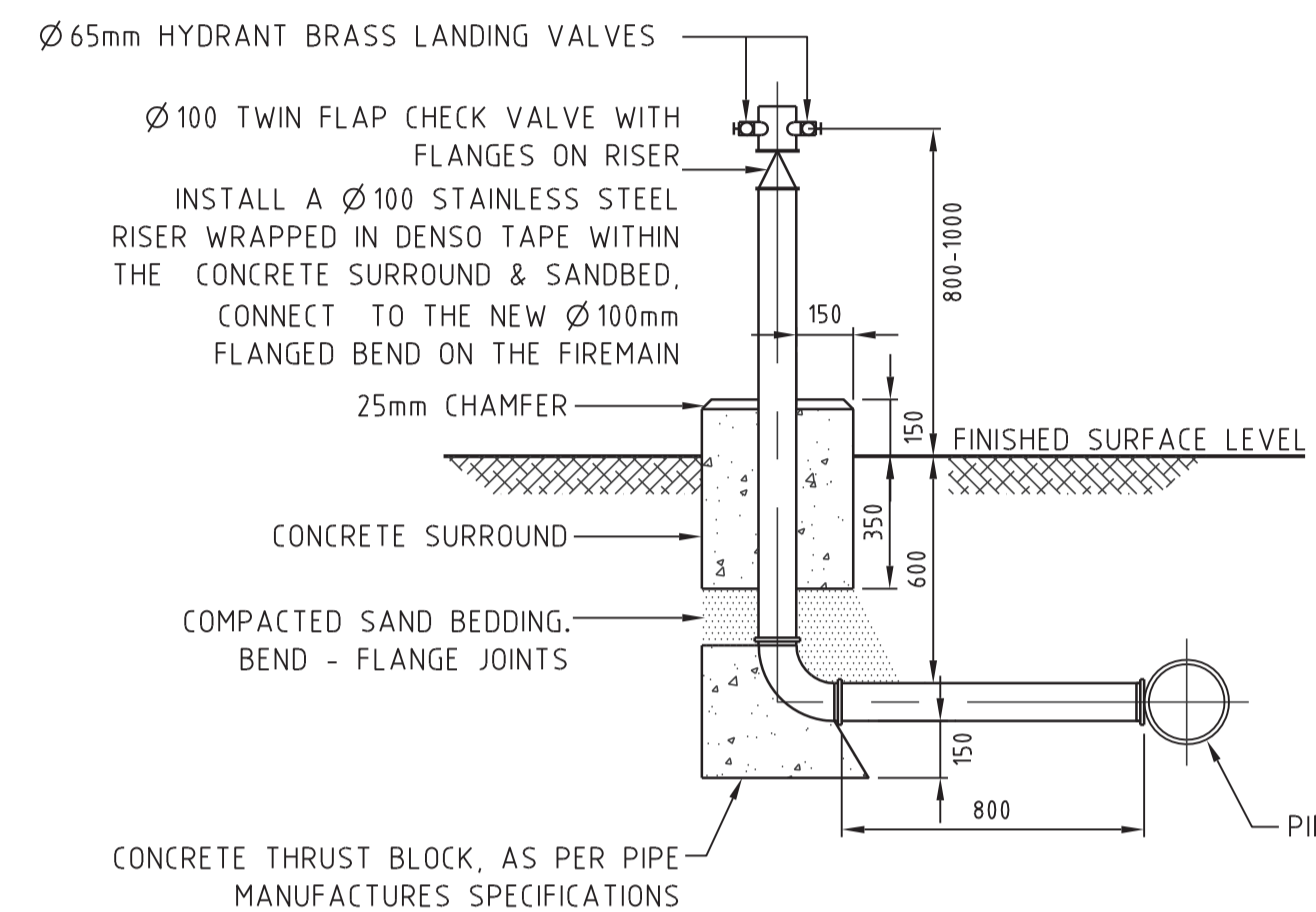
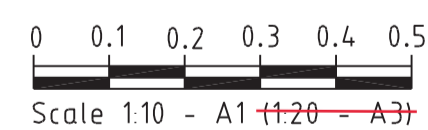
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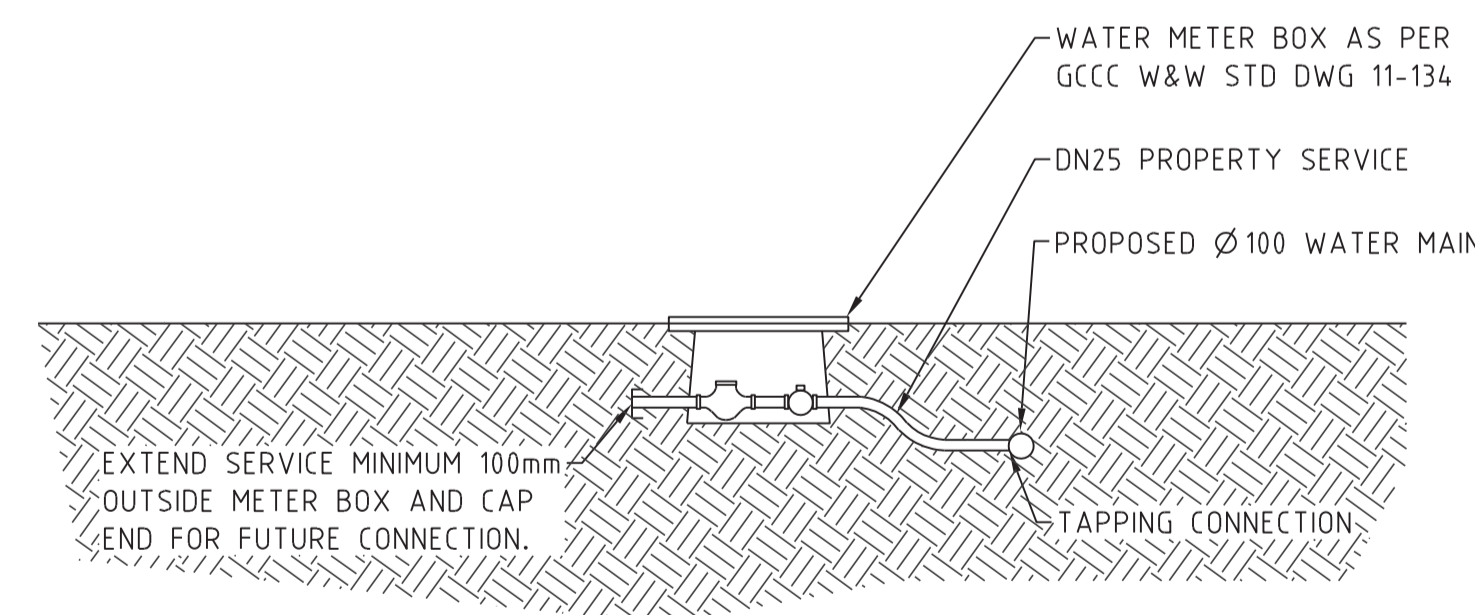
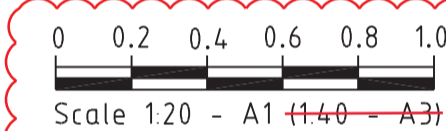
**SHARED TRENCH DETAIL  
(HYDRANT LOCATION)**

SCALE 1:10 - A1 (1:20 - A3)



**FIRE HYDRANT STANDPIPE DETAIL - WITH OFFSET FROM MAIN**

SCALE 1:20 - A1 (1:40 - A3)



**TYPICAL WATER HOUSE CONNECTION**

SCALE N.T.S

PROJECT NAME  
**DONINGTON DRIVE  
RESIDENTIAL**  
PLUMBING & DRAINAGE  
RP DESCRIPTION  
Lot 3 on SP275769  
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LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

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Pty Ltd**

ISSUES	DATE
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COUNCIL	26-08-19
CONSTRUCTION	..

PRE DATE	AMENDMENT
C	08-10-19 SCALE BARS ADDED
B	08-10-19 DETAIL AMENDED
A	03-10-19 COUNCIL ISSUE

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DRAWING TITLE  
**WATER  
RETICULATION  
DETAIL  
SHEET 01**

**MORTONS**  
urbansolutions  
Urban & Regional Planning  
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Project Coordination  
MUS Pty Ltd T/As: Postal Address  
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DESIGNED RB	DRAWN EP
APPROVED <i>[Signature]</i>	RPEQ 4706 DATE 06-08-19

DRAWING NUMBER  
**36901-P&D-701**  
AMEND.  
**C**

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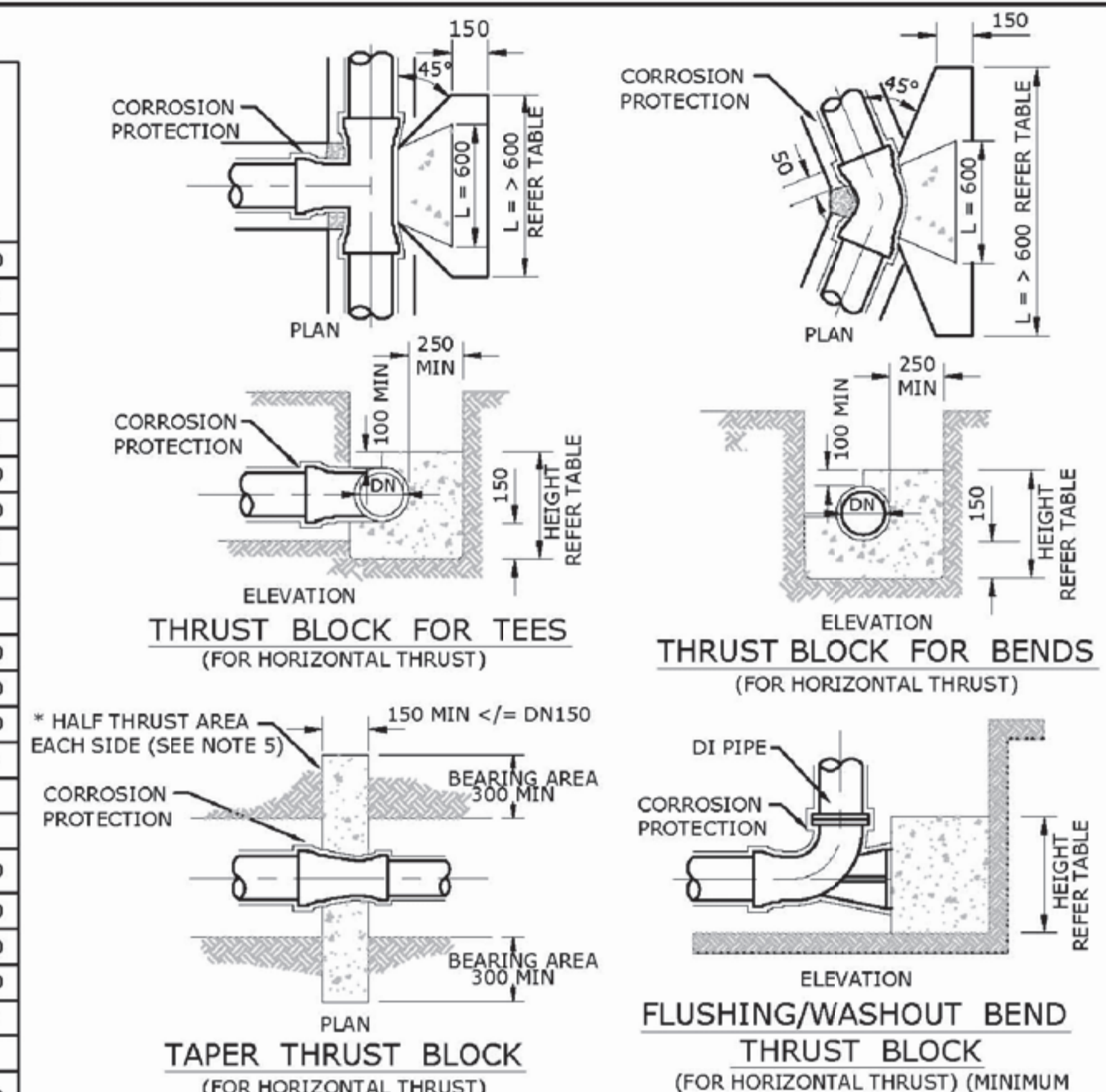
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THRUST BLOCK LENGTH							THRUST BLOCK LENGTH											
PIPE DN.	FITTING	MAX. THRUST IN KN	THRUST BLOCK HEIGHT	STIFF CLAY 50 kPa.	VERY STIFF CLAY SANDY LOAM 100kPa.	SAND & GRAVEL HARDCLAY 150kPa.	SAND & GRAVEL CEMENTED WITH CLAY 200kPa.	ROCK 240kPa	PIPE DN.	FITTING	MAX. THRUST IN KN	THRUST BLOCK HEIGHT	STIFF CLAY 50 kPa.	VERY STIFF CLAY SANDY LOAM 100kPa.	SAND & GRAVEL HARDCLAY 150kPa.	SAND & GRAVEL CEMENTED WITH CLAY 200kPa.	ROCK 240kPa	
100	90° BEND	19.8	400	1000	•	•	•	•	375	90° BEND	241.9	800	*	*	2220	1510	1260	
	60° BEND	14.0		700	•	•	•	•		60° BEND	171.0		*	2140	1430	1070	890	
	45° BEND	10.7		•	•	•	•	•		45° BEND	130.9		*	1640	1090	820	680	
	22.5° BEND	5.5		•	•	•	•	•		22.5° BEND	66.7		*	1670	840	•	•	
	11.25° BEND	2.7		•	•	•	•	•		11.25° BEND	33.5		*	840	•	•	•	
	TEE OR CLOSED END	14.0		700	•	•	•	•		TEE OR CLOSED END	171.0		*	2140	1430	1070	890	
150	90° BEND	41.7	450	1860	930	•	•	•	450	90° BEND	342.6	900	*	*	2540	1900	1590	
	60° BEND	29.5		1320	660	•	•	•		60° BEND	242.3		*	2690	1800	1350	1120	
	45° BEND	22.6		1000	•	•	•	•		45° BEND	185.4		*	2060	1375	1030	860	
	22.5° BEND	11.5		•	•	•	•	•		22.5° BEND	94.5		*	2100	1050	700	•	
	11.25° BEND	5.8		•	•	•	•	•		11.25° BEND	47.5		*	1060	•	•	•	
	TEE OR CLOSED END	29.5		1300	660	•	•	•		TEE OR CLOSED END	242.3		*	2690	1800	1350	1120	
200	90° BEND	71.7	550	*	1300	870	650	•	500	90° BEND	418	1000	*	*	2790	2090	1740	
	60° BEND	50.7		1850	920	•	•	•		60° BEND	295.6		*	•	1970	1480	1230	
	45° BEND	38.8		1410	700	•	•	•		45° BEND	226.2		*	2260	1510	1130	940	
	22.5° BEND	19.8		720	•	•	•	•		22.5° BEND	115.3		*	2310	1150	770	•	
	11.25° BEND	9.9		•	•	•	•	•		11.25° BEND	58.0		*	1160	•	•	•	
	TEE OR CLOSED END	50.7		1850	920	•	•	•		TEE OR CLOSED END	295.5		*	•	1970	1480	1230	
225	90° BEND	89.4	600	*	1500	1000	750	•	600	90° BEND	593	1100	*	*	•	2700	2250	
	60° BEND	63.2		2110	1060	700	•	•		60° BEND	419		*	•	2540	1910	1590	
	45° BEND	48.4		1620	810	•	•	•		45° BEND	320		*	2920	1950	1460	1220	
	22.5° BEND	24.6		830	•	•	•	•		22.5° BEND	164		*	2980	1490	990	750	620
	11.25° BEND	12.4		•	•	•	•	•		11.25° BEND	82.2		*	1500	750	•	•	
	TEE OR CLOSED END	63.2		210	1060	700	•	•		TEE OR CLOSED END	419		*	•	2540	1910	1590	
250	90° BEND	109.0	650	*	1700	1120	840	700	750	90° BEND	909	1300	*	*	•	•	2920	
	60° BEND	77.1		2400	1200	800	•	•		60° BEND	643		*	•	•	2480	2060	
	45° BEND	59.0		1820	910	•	•	•		45° BEND	492		*	•	•	2530	1890	1580
	22.5° BEND	30.1		930	•	•	•	•		22.5° BEND	251		*	1930	1290	970	810	
	11.25° BEND	15.1		•	•	•	•	•		11.25° BEND	126.1		*	1940	970	650	•	
	TEE OR CLOSED END	77.1		2400	1200	800	•	•		TEE OR CLOSED END	643		*	•	•	2480	2060	
300	90° BEND	158.6	700	*	2270	1510	1140	950	900 (0960 MSCL)	90° BEND	1,228	1500	*	*	•	•	3420	
	60° BEND	112.2		•	1600	1070	800	670		60° BEND	868		*	•	•	2900	2420	
	45° BEND	85.9		2453	1230	820	•	•		45° BEND	664		*	•	•	2960	2220	1850
	22.5° BEND	43.8		1250	630	•	•	•		22.5° BEND	339		*	2260	1510	1130	940	
	11.25° BEND	22.0		630	•	•	•	•		11.25° BEND	170		*	2270	1140	760	•	
	TEE OR CLOSED END	112.2		•	1600	1070	800	750		TEE OR CLOSED END	868		*	•	•	3300	2650	

**THRUST BLOCK DIMENSIONS - 1200kPa**  
• INDICATES BLOCK LENGTH OF 600  
\* = SPECIAL DESIGN



- NOTES**
- ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
  - CAST THE THRUST AREA OF ALL THRUST BLOCKS AGAINST A CLEAN FACE OF UNDISTURBED NATURAL SOIL. SOIL CLASSIFICATIONS USED ON THIS DRAWING ARE EXPLAINED IN SEQ-WAT-1200-1. DO NOT USE STANDARD THRUST BLOCKS AS SPECIFIED IN THIS DRAWING IN SOILS WITH < 50kPa BEARING CAPACITY EG;
    - VERY SOFT, SOFT OR FIRM CLAY.
    - LOOSE CLEAN SAND.
    - UNCOMPACTED FILL OR REFUSE.
  - A GEOTECHNICAL ASSESSMENT AND INDIVIDUAL DESIGN IS REQUIRED FOR THESE SOILS. THRUST BLOCKS NOT TO INTERFERE WITH OTHER SERVICES OR BE LOCATED OUTSIDE THE WATER MAIN ALLOCATION WITHOUT WATER AGENCY APPROVAL.
  - ALL CONCRETE GRADE N20. TABLE OF DIMENSIONS BASED ON REQUIRED TEST PRESSURE OF 1200kPa AND ACTUAL DI CL PIPE DIAMETERS.
  - THE MINIMUM THRUST AREA FOR TAPER THRUST BLOCKS TO BE EQUAL TO THE DIFFERENCE BETWEEN THE THRUST AREAS FOR TEES OR CLOSED ENDS OF EQUIVALENT DIAMETER TO THOSE EACH SIDE OF TAPER. THE DETAIL SHOWN IS FOR < OR = DN150 MAINS. FOR LARGER MAINS, THE TAPER THRUST BLOCK SHALL BE REINFORCED AND OF A SIZE AS SHOWN IN SEQ-WAT-1206-1.
  - FOR DOWNWARD VERTICAL THRUST, THE ALLOWABLE BEARING PRESSURES FOR VARIOUS SOILS MAY BE TAKEN AS TWICE THAT FOR HORIZONTAL THRUST SHOWN.
  - WHEN POURING CONCRETE AGAINST FITTINGS PLACE A MEMBRANE OF POLYETHYLENE, PVC OR FELT BETWEEN THE FITTING AND CONCRETE TO PREVENT DAMAGE TO THE FITTING. PIPE JOINTS TO BE CLEAR OF CONCRETE.
  - CONCRETE THRUST BLOCK ANCHORS FOR VALVES TO BE AS DETAILED ON SEQ-WAT-1206-1.

REV. No.	DATE	DESCRIPTION	AUTH.

**SEQ WATER SERVICE PROVIDERS**  
WORK PRACTICES MUST COMPLY WITH ALL APPLICABLE OCCUPATIONAL HEALTH & SAFETY LEGISLATION

WATER SUPPLY STANDARD DRAWING		GCCC	LCC	RCC	QUU	UW
TYPICAL THRUST BLOCK DETAILS		DRAWING No.				VERSION
MASS CONCRETE		SEQ-WAT-1205-1				A
NOT TO SCALE		ORG DATE:				1/1/2013

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
PLUMBING & DRAINAGE  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

B	DATE	TITLE AMENDED
A	26-08-19	COUNCIL ISSUE

PRE DATE      AMENDMENT

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ASSOCIATED CONSULTANTS  
**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE  
**WATER RETICULATION DETAIL SHEET 02**

**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination  
MUS Pty Ltd T/As:      Postal Address  
Mortons-Urban Solutions      PO Box 2484  
ABN 39 116 375 065      Southport QLD 4215  
mortons@urbansolutions.net.au  
www.urbansolutions.net.au      Gold Coast Office  
Tel 07 5571 1099      Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED RB	RPEQ 4706 DATE 06-08-19
DRAWING NUMBER	AMEND.
36901-P&D-710	B

Our reference: OPW/2019/1241

Your reference:

**Decision notice—approval (with conditions)**

(Given under section 63(2) of the *Planning Act 2016*)

**Date of decision notice:** 29 October 2019

**Applicant details**

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Applicant name: Tellurium Gg Pty Ltd  
Applicant contact details: C/- Mortons Urban Solutions  
PO BOX 2484  
SOUTHPORT QLD 4215

**Application details**

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Application number: OPW/2019/1241  
Approval sought: Operational Works  
Details of proposed development: Development Permit for Operational Works for Change to Ground Level (Earthworks and Retaining Walls), Tree works (vegetation clearing) and Works for Infrastructure (Roadworks, Stormwater Drainage and Sewerage Reticulation).

**Location details**

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Street address: Lot 3 Gaven Arterial Road, Maudsland Qld 4210  
Real property description: Lot 3 SP275769

**Decision**

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Date of decision: 29 October 2019  
Decision details: Under Delegated Authority, the Executive Coordinator for Engineering and Environmental Assessment has resolved to approve the development application in full with conditions.

**Referral agency(s) for the application**

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Not applicable – no part of the application required referral.

**Details of the approval**

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Development permit: Operational Works for Change to Ground Level (Earthworks and Retaining Walls), Tree works (vegetation clearing) and Works for Infrastructure (Roadworks, Stormwater Drainage and Sewerage Reticulation).

**Conditions**

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The conditions that have been imposed by Council, as Assessment manager, are enclosed.

**Properly made submissions**

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Not applicable—No part of the application required public notification.

### **Currency period for the approval (section 85 of the *Planning Act 2016*)**

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of two years.

### **Approved plans and drawings**

Approved plans and drawings are attached and are identified in the conditions imposed by Council as the Assessment manager.

### **Appeal rights**

Applicant	<p>You have appeal rights in relation to this decision. An appeal may be made against, as applicable:</p> <ul style="list-style-type: none"><li>• the refusal of part of the development application; or</li><li>• a provision of the development approval; or</li><li>• if a development permit was applied for, the decision to give a preliminary approval.</li></ul> <p>An appeal must be started within 20 business days after this notice is given to you.</p> <p>An appeal may be made to the Planning and Environment Court or, for certain matters which are identified in section 1(2) of Schedule 1 of the <i>Planning Act 2016</i>, to a development tribunal.</p> <p>An appeal is started by lodging a notice of appeal with the registrar of the Planning and Environment Court or a development tribunal, as applicable. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required fee.</p> <p>An appellant to the Planning and Environment Court must give a copy of the notice of appeal, within 10 business days after the appeal is started, to the persons identified in section 230(3) of the <i>Planning Act 2016</i>. A person who is appealing to the Planning and Environment Court must comply with the rules of the court that apply to the appeal.</p> <p>An extract of Chapter 6, Part 1 and Schedule 1 of the <i>Planning Act 2016</i> is attached to this notice, which sets out further information about the appeal rights.</p>
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For further information please contact Nathan Seiler, Civil Engineer on p: 07 5582 8866 or via email [mail@goldcoast.qld.gov.au](mailto:mail@goldcoast.qld.gov.au) who will be pleased to assist.

### **AUTHORISED BY**



Sam Hartley  
**Executive Coordinator Engineering & Environmental Assessment**  
For the Chief Executive Officer  
Council of the City of Gold Coast

enc:

Conditions imposed by Council as Assessment manager

Attach:

Stamped approved plans and drawings

Appeal rights extracts

**Conditions imposed by Council as Assessment manager**

<b>General</b>					
<b>1</b>	<b>Timing</b>	a All conditions of this development approval must be complied with at no cost to Council at all times unless otherwise stated in another condition.			
<b>2</b>	<b>Approved drawings</b>	Undertake and maintain the development generally in accordance with the following drawings including as amended in red by the Council:			
<b>Operational Works</b>					
<b>Drawing Title</b>		<b>Author</b>	<b>Date</b>	<b>Drawing No.</b>	<b>Ver</b>
Title Page		Mortons Urban Solutions	-	36901-ALL-000	B
Existing Features and Demolition Plan Sheet 01		Mortons Urban Solutions	26-08-19	36901-ALL-020	A
Tree Clearing and Preservation Plan Sheet 01		Mortons Urban Solutions	26-08-19	36901-ALL-030	A
Earthworks Cut to Fill Plan Sheet 01		Mortons Urban Solutions	03-10-19	36901-ALL-040	B
Bulk Earthworks Section Key Plan		Mortons Urban Solutions	02-10-19	36901-ALL-050	B
Bulk Earthworks Sections Sheet 01		Mortons Urban Solutions	26-08-19	36901-ALL-051	A
Bulk Earthworks Sections Sheet 02		Mortons Urban Solutions	03-10-19	36901-ALL-052	B
Retaining Wall and Detail Grading Plan Sheet 01		Mortons Urban Solutions	02-10-19	36901-ALL-060	B
Retaining Wall Details Sheet 01		Mortons Urban Solutions	02-10-19	36901-ALL-070	B
Final Trim Details Sheet 01		Mortons Urban Solutions	26-08-19	36901-ALL-071	A
Final Surface and Sediment and Erosion Plan Sheet 01		Mortons Urban Solutions	02-10-19	36901-ALL-080	B
Combined Services Plan Sheet 01		Mortons Urban Solutions	02-10-19	36901-ALL-090	B
Roadworks Plan Sheet 01		Mortons Urban Solutions	02-10-19	36901-ALL-100	B
Roadworks Details Sheet 01		Mortons Urban Solutions	26-08-19	36901-ALL-120	A
Longitudinal Sections Donongton Drive		Mortons Urban Solutions	26-08-19	36901-ALL-200	A
Cross Sections Donington Drive		Mortons Urban Solutions	26-08-19	36901-ALL-300	A
Concrete Jointing Plan and Details Sheet 01		Mortons Urban Solutions	02-10-19	36901-ALL-410	B
Sewer Reticulation Plan Sheet		Mortons Urban	02-10-19	36901-ALL-	B

01	Solutions		500	
Sewer Reticulation Profiles Sheet 01	Mortons Urban Solutions	02-10-19	36901-ALL-530	B
Stormwater Drainage Plan Sheet 01	Mortons Urban Solutions	02-10-19	36901-ALL-600	B
Stormwater Profiles Sheet 01	Mortons Urban Solutions	02-10-19	36901-ALL-620	B
Stormwater Details Sheet 01	Mortons Urban Solutions	26-08-19	36901-ALL-640	A
Stormwater Catchment Plan Sheet 01	Mortons Urban Solutions	02-10-19	36901-ALL-670	B
Stormwater Calculation Tables Minor and Major Storm Event Sheet 01	Mortons Urban Solutions	03-10-19	36901-ALL-680	B
Tree Location Plan	Biome	15 August 2019	BC-19093	A
Critical Tree Zone Plan	Biome	15 August 2019	BC-19093	A
Development Impact Plan	Biome	15 August 2019	BC-19093	A
Vegetation Clearing Plan	Biome	15 August 2019	BC-19093	A
Tree Information Table- 1	Biome	15 August 2019	BC-19093	A
Tree Information Table- 2	Biome	15 August 2019	BC-19093	A

The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.

**3 Approved Plans**

Undertake and maintain the development generally in accordance with the following plans:

<b>Operational Works</b>				
<b>Plan Title</b>	<b>Author</b>	<b>Date</b>	<b>Plan Reference No.</b>	<b>Ver</b>
Fauna Management Plan	Biome	October 2019	BC-19093	1
Vegetation Management and Tree Clearing Plan	Biome	August 2019	BC-19093	1

**Environmental and Landscaping**

**4 Vegetation management**

a) Implement the vegetation management measures identified in the plan listed below at no cost to Council:

<b>Plan Title</b>	<b>Author</b>	<b>Date</b>	<b>Plan Reference No.</b>	<b>Ver</b>
Vegetation	Biome	August 2019	BC-19093	1

	Management and Tree Clearing Plan														
	Undertake works generally in accordance with an operational works approval and City Plan Policy SC6.8 – Environmental management plans and the Vegetation management code.														
<b>5</b>	<b>Vegetation management</b>	Undertake works generally in accordance with an operational works approval and the Environmental significance overlay code, the Vegetation management code and City Plan Policy SC6. 8 – Environmental management plans at no cost to Council.													
<b>6</b>	<b>Tree pruning and work</b>	<ul style="list-style-type: none"> <li>a Topping, lopping, spur or spike climbing of any tree must not occur.</li> <li>b Pruning may only occur in a manner consistent with the <i>Australian Standard AS4373 -2007 – Pruning of Amenity Trees</i>.</li> <li>c Undertake all other work on the trunk, foliage or root systems of the trees marked on the drawings listed below in a manner consistent with <i>Australian Standard AS4373 - 2007 - Pruning of Amenity Trees</i>.</li> </ul>													
<b>7</b>	<b>Root pruning and barriers</b>	<ul style="list-style-type: none"> <li>a Ensure root pruning utilises a high pressure, needle point water jet prior to insertion of proprietary root barriers.</li> <li>b Ensure root barriers are installed to a minimum depth of 900mm along the side closest to the structure specified in the approved scope of works condition to prohibit or deter growth of roots towards the structure.</li> </ul>													
<b>8</b>	<b>No damage to retained vegetation</b>	Ensure all other existing vegetation is retained and not disturbed or damaged during implementation of the approved works.													
<b>9</b>	<b>Fauna management</b>	<ul style="list-style-type: none"> <li>a Implement the fauna management measures identified in the plan listed below at no cost to Council:</li> </ul> <table border="1" data-bbox="300 1227 1433 1323"> <thead> <tr> <th>Plan Title</th> <th>Author</th> <th>Date</th> <th>Plan Reference No.</th> <th>Ver</th> </tr> </thead> <tbody> <tr> <td>Fauna Management Plan</td> <td>Biome</td> <td>October 2019</td> <td>BC-19093</td> <td>1</td> </tr> </tbody> </table> <ul style="list-style-type: none"> <li>b Undertake the fauna management works generally in accordance with an operational works approval and S.C6.8 Environmental Management Plans policy of the City Plan.</li> </ul>				Plan Title	Author	Date	Plan Reference No.	Ver	Fauna Management Plan	Biome	October 2019	BC-19093	1
Plan Title	Author	Date	Plan Reference No.	Ver											
Fauna Management Plan	Biome	October 2019	BC-19093	1											
<b>10</b>	<b>Supervision of works</b>	<p>During construction of any works the following professionals must be appointed to supervise the below described actions:</p> <table border="1" data-bbox="300 1541 1433 1780"> <thead> <tr> <th colspan="2">Environmental Assessment</th> </tr> <tr> <th>Expertise required of the suitably qualified professional</th> <th>Actions to be overseen by the professional</th> </tr> </thead> <tbody> <tr> <td>DES approved spotter catcher</td> <td>Ensure wildlife is suitably cared for during clearing work and at any time where damage to the vegetation is possible.</td> </tr> </tbody> </table>				Environmental Assessment		Expertise required of the suitably qualified professional	Actions to be overseen by the professional	DES approved spotter catcher	Ensure wildlife is suitably cared for during clearing work and at any time where damage to the vegetation is possible.				
Environmental Assessment															
Expertise required of the suitably qualified professional	Actions to be overseen by the professional														
DES approved spotter catcher	Ensure wildlife is suitably cared for during clearing work and at any time where damage to the vegetation is possible.														
<b>11</b>	<b>Pre-start inspection</b>	Arrange a pre-start inspection prior to the commencement of works to complete the													

requirements identified in City Plan Policy SC6. 11 – Land development guidelines for the following:

Purpose	Council contact
Undertake a pre-clearing fauna assessment including confirmation of wildlife spotter qualifications	Environmental planning 0755828866

Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.

**12 Hold point inspection**

Arrange a hold point inspection to complete the requirements identified in City Plan Policy SC6. 11 – Land development guidelines / Landscape work code of the City Plan for the following:

Purpose	Hold Point	Council contact
Confirm the post clearing fauna summary	Within 5 business days of tree works being finalised	Environmental planning 0755828866

Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.

**Engineering**

**13 Rectification of Council's infrastructure**

- a Rectify any damage caused to Council infrastructure (including roads, kerb & channelling, service pits, footpaths and water and sewer reticulation networks) prior to an 'on maintenance' inspection, at no cost to Council.
- b Maintain the rectified Council infrastructure at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Planning Policy SC6.11 – Land development guidelines, sections 7 Procedures, 8.5 As-constructed requirements, 9 Specifications and 10 Standard drawings.

**14 Footpaths**

Construct and maintain the footpath identified in the approved drawings condition at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Planning Policy SC6.11 – Land development guidelines, sections 2 Transport network standards, 7 Procedures, 8.5 As-constructed requirements, 9 Specifications and 10 Standard drawings.

**15 Roadworks**

Construct and maintain the roadworks identified in the approved drawings condition at no cost to Council until the asset is accepted "off maintenance" by the City in accordance with the procedures in City Planning Policy SC6.11 – Land development guidelines, sections 2 Transport network standards, 7 Procedures, 8.5 As-constructed requirements, 9 Specifications & 10 Standard drawings.

**16 Earthworks and private retaining walls**

- a Construct the earthworks and private retaining walls identified in the approved drawings condition at no cost to Council in accordance with the standards and procedures in City Planning Policy SC6.11 – Land development guidelines, sections 3 Change to Ground level standards, 7 Procedures, 8.5 As-constructed requirements and 9 Specifications and 10 Standard drawings.
- b Maintain the earthworks and private retaining walls (inclusive of any associated drainage) identified above at no cost to Council at all times.

**Stormwater Drainage**

- 17 Overland flow paths and hydraulic alterations**
- a Leave unaltered the overland flow paths on the site, such that the characteristics of existing overland flows on other properties remain uninhibited and unchanged.
  - b The development must not:
    - i Increase peak flow rates downstream from the site
    - ii Increase flood levels external to the site
    - iii Increase duration of inundation external to the site that could cause loss or damage

**18 Stormwater drainage / Legal point of discharge**  
 Construct and maintain the stormwater drainage system identified in the approved drawings condition at no cost to Council until the asset is accepted “off maintenance” by the City in accordance with the procedures in City Planning Policy SC6.11 – Land development guidelines, sections 4 Stormwater drainage and water sensitive urban design standards, 7 Procedures, 8.5 As-constructed requirements, 9 Specifications and 10 Standard drawings.

**Sewer and Water Works**

- 19 Sewer reticulation**  
 Construct and maintain the sewer reticulation system /connection identified in the approved drawings condition at no cost to Council until the asset is accepted “off maintenance” by the City in accordance with the procedures in City Plan Policy SC6.11 – Land development guidelines, Section 6 – Water supply and sewerage reticulation standards, Section 7 – Procedures, Section 8.5 – As-constructed requirements, Section 9 - Specifications and Section 10 – Standard drawings and include in particular:
- i The size of the sewer property service connection must be in accordance with Section 4.5.4 of the SEQ Water Supply & Sewerage Design & Construction Code (SEQ WS&S D&C Code).
  - ii Remove / seal / cap redundant sewer property services.

**Construction Management**

**20 Certification of works**  
 Provide Council with certificates prepared by qualified experts from the disciplines listed below, confirming as follows:

<b>Operational Works</b>				
Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Appendix A Certification from the Land Development Guidelines	Upon practical completion of works.	N/A	Registered Professional Engineer Queensland (RPEQ)	Contributed Assets
The certification is to confirm: <ul style="list-style-type: none"> <li>• All works have been undertaken generally in accordance with the approval.</li> </ul>				

<b>Operational Works</b>				
Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Design and inspection intent certificate for retaining walls	Upon practical completion of works.	N/A	Registered Professional Engineer Queensland (RPEQ)	Contributed Assets
<p>The certification is to confirm:</p> <ul style="list-style-type: none"> <li>• The retaining walls have been designed in accordance with relevant standards (i.e AS4678).</li> <li>• Retaining walls have been adequately completed with inspections completed at the following stages: <ul style="list-style-type: none"> <li>○ Footing (including excavation and reinforcement);</li> <li>○ Drainage behind the wall (including geo-fabric, backfill and perforated pipe) and completion (including point of stormwater discharge)</li> </ul> </li> </ul>				

<b>Geotechnical Engineering</b>				
Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Retaining structures design	Prior to commencement of any works	-	Registered Professional Engineer of Queensland (RPEQ) specialising in geotechnical engineering	Geotechnical Engineering
<p>The certification is to confirm:</p> <ul style="list-style-type: none"> <li>i All retaining structures on site/ within the stage are designed based on existing geotechnical conditions of the site taking into account all predicted surcharge loading.</li> <li>ii All designed retaining structures on site/ within the stage achieve adequate stability with a long term factor of safety greater than or equal to 1.5 against geotechnical failure.</li> </ul>				

<b>Geotechnical Engineering</b>				
Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Retaining structures construction	Immediately following completion of all earthworks on site		Registered Professional Engineer of Queensland (RPEQ) specialising in geotechnical engineering	Development compliance
<p>The certification is to confirm: All constructed retaining structures on site/ within the stage achieved adequate stability</p>				

with a long term factor of safety greater than or equal to 1.5 against geotechnical failure.

**Water and Waste**

Certified document	Certification date	Plan/ Drawing	Expert discipline	Requesting Council Section
Requirements of Council Water and Sewerage acceptance testing guideline	Prior to connect to existing mains and the use of the connection		Registered Professional Engineer of Queensland (RPEQ)	Water and Waste

The certification is to confirm:  
 Infrastructure meets the requirements specified in the SEQ Water Supply and Sewerage Design and Construction Code for sewerage infrastructure.

**21 Supervision of works**

During construction of any works the following professionals must be appointed to supervise the below described actions:

All works approved by this permit	
Expertise required of the suitably qualified professional	Actions to be overseen by the professional
Registered Professional Engineer of Queensland (RPEQ)	All supply, installation, construction, testing and commissioning of works
Operational works	
Expertise required of the suitably qualified professional	Actions to be overseen by the professional
Registered Professional Engineer of Queensland (RPEQ)	Bulk earthworks inspected to level 1 in accordance with AS3798-2007

**22 Availability of approved plans, drawings and reports**

Retain a copy of this decision notice and stamped approved plans, drawings and reports on site at all times during construction. Any contractors undertaking approved work (including tree removal or relocations) must be directly provided with a copy of these conditions and instructed as to the need to comply with them.

**23 Transport of soil/fill/excavated material**

During the transportation of soil and other fill/excavated material:

- a All trucks hauling soil, or fill/excavated material must have their loads secure and covered.
- b Any spillage that falls from the trucks or their wheels must be collected and removed from the site and streets along which the trucks travel on a daily basis.
- c Prior to vehicles exiting the site, measures must be taken to remove the soil from the wheels of the vehicles to prevent soil and mud being deposited on public roads.

**24 Erosion and sediment control**

- a. Implement the erosion, sediment and dust control measures identified in the approved



	<p>drawings at no cost to Council.</p> <p>b. Undertake works generally in accordance with the operational works approval and include in particular:</p> <ul style="list-style-type: none"> <li>i. Sediment controls must be maintained and amended as necessary to ensure that the measures implemented conform to the Construction Phase stormwater management design objectives of the State Planning Policy 2017 (Appendix 2 Table A).</li> <li>ii. Erosion, sediment and dust control measures must be implemented in accordance with the approved plan / drawings and the Best Practice Erosion &amp; Sediment Control (IECA Australasia, November 2008).</li> <li>iii. Sediment control structures (e.g. sediment fence) must be placed at the base of all materials imported on-site to mitigate any sediment runoff.</li> <li>iv. A perimeter bund and/or diversion drain must be constructed around the disturbed area to prevent any outside clean stormwater from mixing with polluted / contaminated stormwater.</li> <li>v. All polluted / contaminated water from the site, including dewatering discharge, must be treated to achieve the water quality objectives in Table 8.2.1 of the Queensland Water Quality Guidelines (DERM, September 2009) prior to discharging from the site.</li> </ul> <p>c. Inspections for erosion and sediment control measures are to occur in accordance with the compliance procedures in City Planning Policy SC6.11 – Land development guidelines, Section 4.5.17.1.2 – Compliance.</p>						
<p><b>25</b></p>	<p><b>Pre-start inspection</b></p> <p>Arrange a pre-start inspection prior to the commencement of works to complete the requirements identified in SC.6.11 City Plan Policy – Land development guidelines for the following:</p> <table border="1" data-bbox="300 1021 1426 1211"> <thead> <tr> <th data-bbox="300 1021 1038 1070">Purpose</th> <th data-bbox="1038 1021 1426 1070">Council contact</th> </tr> </thead> <tbody> <tr> <td data-bbox="300 1070 1038 1211">Review and discuss this Operational works – infrastructure approval, and discuss Water and Waste and Council approval requirements and expectations through the construction phase</td> <td data-bbox="1038 1070 1426 1211">Contributed Assets (07) 5582 9034</td> </tr> </tbody> </table> <p>Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.</p>	Purpose	Council contact	Review and discuss this Operational works – infrastructure approval, and discuss Water and Waste and Council approval requirements and expectations through the construction phase	Contributed Assets (07) 5582 9034		
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<p><b>26</b></p>	<p><b>Hold point inspection</b></p> <p>Arrange a hold point inspection to complete the requirements identified in SC.6.11 City Plan Policy – Land development guidelines/Landscape work code of the City Plan for the following:</p> <table border="1" data-bbox="300 1435 1426 1682"> <thead> <tr> <th data-bbox="300 1435 810 1485">Purpose</th> <th data-bbox="810 1435 1058 1485">Hold Point</th> <th data-bbox="1058 1435 1426 1485">Council contact</th> </tr> </thead> <tbody> <tr> <td data-bbox="300 1485 810 1682">Confirm works have been undertaken in accordance with the operational works approval and associated hold point requirements identified in SC6.11 City Plan Policy – Land development guidelines</td> <td data-bbox="810 1485 1058 1682">As indicated in SC6.11 City Plan Policy – Land development guidelines</td> <td data-bbox="1058 1485 1426 1682">Contributed Assets (07) 5582 9034</td> </tr> </tbody> </table> <p>Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.</p>	Purpose	Hold Point	Council contact	Confirm works have been undertaken in accordance with the operational works approval and associated hold point requirements identified in SC6.11 City Plan Policy – Land development guidelines	As indicated in SC6.11 City Plan Policy – Land development guidelines	Contributed Assets (07) 5582 9034
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<p><b>27</b></p>	<p><b>On maintenance</b></p> <p>Arrange an on maintenance meeting to complete the requirements identified in SC.6.11 City Plan Policy – Land development guidelines for the following:</p> <table border="1" data-bbox="300 1910 1426 1953"> <thead> <tr> <th data-bbox="300 1910 810 1953">Purpose</th> <th data-bbox="810 1910 1058 1953">Hold Point</th> <th data-bbox="1058 1910 1426 1953">Council contact</th> </tr> </thead> <tbody> </tbody> </table>	Purpose	Hold Point	Council contact			
Purpose	Hold Point	Council contact					

	Confirm completion of works have been undertaken in accordance with this approval	Prior to commencement of the on maintenance period	Contributed Assets 07 5582 9034						
Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.									
<b>28</b>	<b>Off maintenance</b> Arrange an off maintenance meeting to complete the requirements identified in SC.6.11 City Plan Policy – Land development guidelines for the following:								
<table border="1"> <thead> <tr> <th data-bbox="288 510 810 555"><b>Purpose</b></th> <th data-bbox="810 510 1058 555"><b>Hold Point</b></th> <th data-bbox="1058 510 1436 555"><b>Council contact</b></th> </tr> </thead> <tbody> <tr> <td data-bbox="288 555 810 734">Confirmation works have been undertaken in accordance with the Operational works, Works for infrastructure approval</td> <td data-bbox="810 555 1058 734">Prior to Asset handover / conclusion of on maintenance period</td> <td data-bbox="1058 555 1436 734">Contributed Assets (07) 5582 9034</td> </tr> </tbody> </table>				<b>Purpose</b>	<b>Hold Point</b>	<b>Council contact</b>	Confirmation works have been undertaken in accordance with the Operational works, Works for infrastructure approval	Prior to Asset handover / conclusion of on maintenance period	Contributed Assets (07) 5582 9034
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Copies of applicable material including this decision notice and stamped approved plans, drawings and reports are to be available for the meeting and kept on site during construction.									
<b>Advice Notes</b>									
<b>A</b>	<b>Listing of Koala under EPBC Act</b> Koala populations in South East Queensland are listed under the Environment Protection and Biodiversity Conservation Act 1999 ( <i>EPBC Act</i> ) as a matter of national significance. All necessary approvals must be obtained prior to any works commencing on the site.								
<b>B</b>	<b>Development infrastructure</b> Development infrastructure required to be provided in implementing this development approval is non-trunk development infrastructure unless otherwise stated in a condition of the approval.								
<b>C</b>	<b>Connections and disconnections</b> Any connection / disconnection to the existing water and sewerage networks will be at the applicant's cost. Prior to the connection / disconnection taking place, the applicant must obtain written approval from Water and Waste.  Refer to Water and Sewerage Connections Policy, available on Council's website <a href="http://www.cityofgoldcoast.com.au">http://www.cityofgoldcoast.com.au</a>								
<b>D</b>	<b>Further development permits / compliance permits</b> Further development permits and/or compliance permits from Council are required to facilitate the development of the approved works identified in this decision notice. These include:								
<table border="1"> <thead> <tr> <th data-bbox="288 1541 1436 1585"><b>Water and Waste</b></th> </tr> </thead> <tbody> <tr> <td data-bbox="288 1585 1436 1635">- Application to work on the City's Infrastructure</td> </tr> </tbody> </table>				<b>Water and Waste</b>	- Application to work on the City's Infrastructure				
<b>Water and Waste</b>									
- Application to work on the City's Infrastructure									
A copy of this decision notice and accompanying stamped drawings / plans must be submitted with any subsequent application identified above.									
<b>E</b>	<b>Separate service connection points</b> Should a volumetric subdivision be pursued, separate water supply services will need to be designed and constructed to each of the different uses (e.g. commercial / residential), or to each of the volumetric lots created, so as to ensure that all lots within the site have separate service connection points. Internal services will need to be managed through the Building Management Statement.								

<b>F</b>	<p><b>Connections to, alteration or realignment of Council infrastructure</b></p> <p>Where development works require the connection to, alteration, removal or realignment of Council infrastructure or impact on other public utility infrastructure (e.g. telecommunications, electricity and gas), the applicant must obtain the necessary approvals from the relevant public utility authority prior to works commencing.</p> <p>Connection to, alteration, removal or realignment of Council infrastructure includes (but is not limited to) fire hydrants, water service meters, sewer maintenance hole covers, stormwater drainage infrastructure, reinstatement of maintenance hole covers, stormwater drainage infrastructure, crossovers, footpaths, road pavement, kerb and channel, kerb ramps, medians, traffic islands, road furniture, signage and line-marking.</p>
<b>G</b>	<p><b>Design, Constructability and Minor change applications</b></p> <p>The application has been approved based on the information provided by the consultant. Water and Waste are not liable for any design or constructability issues experienced on-site. All necessary steps must be taken prior to construction to validate the information in the designs, including locating services. Should any changes be required to the design to ensure it can be constructed in compliance with relevant engineering standards; a Minor Change application (Section 78 of the <i>Planning Act 2016</i>) must be submitted and approved by Council prior to lodging a request for a Pre-Start meeting.</p>
<b>H</b>	<p><b>Stormwater Management Devices</b></p> <p>Stormwater management devices including the bio basin is considered internal and private infrastructure and is to be owned and maintained privately.</p>
<b>I</b>	<p><b>Consistency with other related approvals</b></p> <p>The assessment and approval of the operational work the subject of this permit, has been attended to having regard to the conditions of MCU201701129 dated 01 May 2018. Should any change to any of these approvals be sought and achieved, consideration by the applicant should also be had to the consequences on the related approvals (and the potential need to make subsequent changes to these related approvals).</p>
<b>J</b>	<p><b>Compliance with conditions</b></p> <p>Once this development approval takes effect, the conditions attach to the land and are applicable in perpetuity. It is a development offence to contravene a development approval, including any of its conditions.</p>
<b>K</b>	<p><b>Indigenous cultural heritage legislation and duty of care requirement</b></p> <p>The <i>Aboriginal Cultural Heritage Act 2003</i> ('ACHA') is administered by the Department of Aboriginal and Torres Strait Islander and Multicultural Affairs (DATSIMA). The ACHA establishes a duty of care to take all reasonable and practicable measures to ensure any activity does not harm Aboriginal cultural heritage. This duty of care:</p> <ul style="list-style-type: none"> <li>a Is not negated by the issuing of this development approval;</li> <li>b Applies on all land and water, including freehold land;</li> <li>c Lies with the person or entity conducting an activity; and</li> <li>d If breached, is subject to criminal offence penalties.</li> </ul> <p>Those proposing an activity involving surface disturbance beyond that which has already occurred at the proposed site must observe this duty of care.</p> <p>Details of how to fulfil this duty of care are outlined in the duty of care guidelines gazetted with the ACHA.</p> <p>The applicant should contact DATSIMA's Cultural Heritage Coordination Unit on 07 3405 3050 for further information on the responsibilities of developers under the ACHA.</p>
<b>L</b>	<p><b>Encroachment of works</b></p> <p>If any operational works, the subject of this approval encroaches on adjoining land, a letter from the adjoining owner must be submitted to Council consenting to the carrying out of these</p>

	works.
<b>M</b>	<p><b>Applicant responsibilities</b></p> <p>The applicant is responsible for securing all necessary approvals and tenure, providing statutory notifications and complying with all relevant laws.</p> <p>Nothing in this decision notice alleviates the need for the applicant to comply with all relevant local, State and Commonwealth laws and to ensure appropriate tenure arrangements have been made where the use of/reliance upon land other than that owned by the applicant is involved. Without limiting this obligation, the applicant is responsible for:</p> <ul style="list-style-type: none"> <li>a Obtaining all other/further necessary approvals, licences, permits, resource entitlements etc. by whatever name called required by law before the development the subject of this approval can be lawfully commenced and to carry out the activity for its duration;</li> <li>b Providing any notifications required by law (by way of example only, to notify the administering authority pursuant to the <i>Environment Protection Act 1994</i> of environmental harm being caused/threatened by the activity, and upon becoming aware the premises is being used for a 'notifiable activity');</li> <li>c Securing tenure/permission from the relevant owner to use private or public land not owned by the applicant (including for access required by conditions of approval);</li> <li>d Ensuring the correct siting of structures on the land. An identification survey demonstrating correct siting and setbacks of structures may be requested of the applicant to ensure compliance with this decision notice and applicable codes;</li> <li>e Providing Council with proof of payment of the Portable Long Service Leave building construction levy (or proof of appropriate exemption) where the value of the Operational Works exceed \$150,000. Acceptable proof of payment is a Q.Leave –Notification and Payment Form approved by the Authority. Proof of payment must be provided before Council can issue a development permit for the Operational works. This is a requirement of section 77(1) of the Building and Construction Industry (Portable Long Service Leave) Act 1991; and</li> <li>f Making payment of any outstanding Council rates and charges applicable to the development site prior to the lodgement of subdivision plans.</li> <li>g Obtaining any necessary local government/state approvals where works require the installation of temporary ground anchoring into adjacent Road Reserves. Where ground anchoring is proposed into an adjacent private property, approval from the relevant property owners(s) is required</li> </ul>
<b>N</b>	<p><b>Water usage</b></p> <p>The use of potable water is not permitted in activities associated with road and pavement construction, the compaction of fill material or dust suppression. The use of recycled water is encouraged, especially where other alternative sources do not exist. Where recycled water is proposed to be used, contact the Water &amp; Waste Recycled Water Management Team. More information is available for viewing on Council's website  <a href="http://www.goldcoast.qld.gov.au/environment/recycled-water-for-industry-7900.html">http://www.goldcoast.qld.gov.au/environment/recycled-water-for-industry-7900.html</a></p>
<b>O</b>	<p><b>Fire ant control</b></p> <p>Northern suburbs of the Gold Coast are within Fire Ant Biosecurity zone 2 and must remain vigilant for the presence of fire ants. Under the Biosecurity Act 2014 individuals and organisations whose activities involve the movement or storage of fire ant carriers have a general biosecurity obligation to take all reasonable steps to ensure they do not spread fire ants. Movement of a fire ant carrier from within the fire ant biosecurity zone may need a biosecurity instrument permit. More information is available on the Department of Agriculture and Fisheries website <a href="http://www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants">www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants</a>.</p>

# DONINGTON DRIVE RESIDENTIAL

## OPERATIONAL WORKS OVERALL No. 36901-ALL

PLANS AND DOCUMENTS referred to in the  
DEVELOPMENT APPROVAL

Application No: OPW/2019/1241

Dated: 28 October 2019

Development shall comply with the  
conditions of approval as detailed in the  
Decision Notice and Council's Planning  
Scheme, Local Laws and Planning Policies

### SCHEDULE OF DRAWINGS

NUMBER	REV. NO.	TITLE
GENERAL		
36901-ALL-000	B	COVER SHEET
EARTHWORKS: EXISTING FEATURES & DEMOLITION		
36901-ALL-020	A	PLAN SHEET 01
EARTHWORKS: TREE PRESERVATION & CLEARING		
36901-ALL-030	A	PLAN SHEET 01
EARTHWORKS: BULK EARTHWORKS CUT FILL		
36901-ALL-040	B	PLAN SHEET 01
EARTHWORKS: BULK EARTHWORKS		
36901-ALL-050	B	SECTION KEY PLAN
36901-ALL-051	A	SECTIONS-SHEET 01
36901-ALL-052	B	SECTIONS-SHEET 02
EARTHWORKS: RETAINING WALL & DETAIL GRADING		
36901-ALL-060	B	PLAN SHEET 01
36901-ALL-070	B	DETAILS SHEET 01
36901-ALL-071	A	DETAILS SHEET 01
EARTHWORKS: FINAL SURFACE & SEDIMENT AND EROSION CONTROL		
36901-ALL-080	B	PLAN SHEET 01
EARTHWORKS: COMBINED SERVICES		
36901-ALL-090	B	PLAN SHEET 01
ROADS: ROADWORKS		
36901-ALL-100	B	PLAN SHEET 01
36901-ALL-120	A	DETAILS SHEET 01
ROADS: LONGITUDINAL SECTIONS		
36901-ALL-200	A	DONINGTON DRIVE
ROADS: CROSS SECTIONS		
36901-ALL-300	A	DONINGTON DRIVE
ROADS: JOINTING DETAILS		
36901-ALL-410	B	DETAILS SHEET 01
SEWER: SEWER RETICULATION		
36901-ALL-500	B	PLAN SHEET 01
SEWER: PROFILES		
36901-ALL-530	B	PROFILES SHEET 01
DRAINAGE: STORMWATER		
36901-ALL-600	B	PLAN SHEET 01
DRAINAGE: PROFILES		
36901-ALL-620	B	PROFILES SHEET 01
DRAINAGE: BASIN & STRUCTURE DETAILS		
36901-ALL-640	A	DETAILS SHEET 01
DRAINAGE: CATCHMENT		
36901-ALL-670	B	PLAN SHEET 01
DRAINAGE: CALCULATION TABLES		
36901-ALL-680	B	MINOR & MAJOR SHEET 01

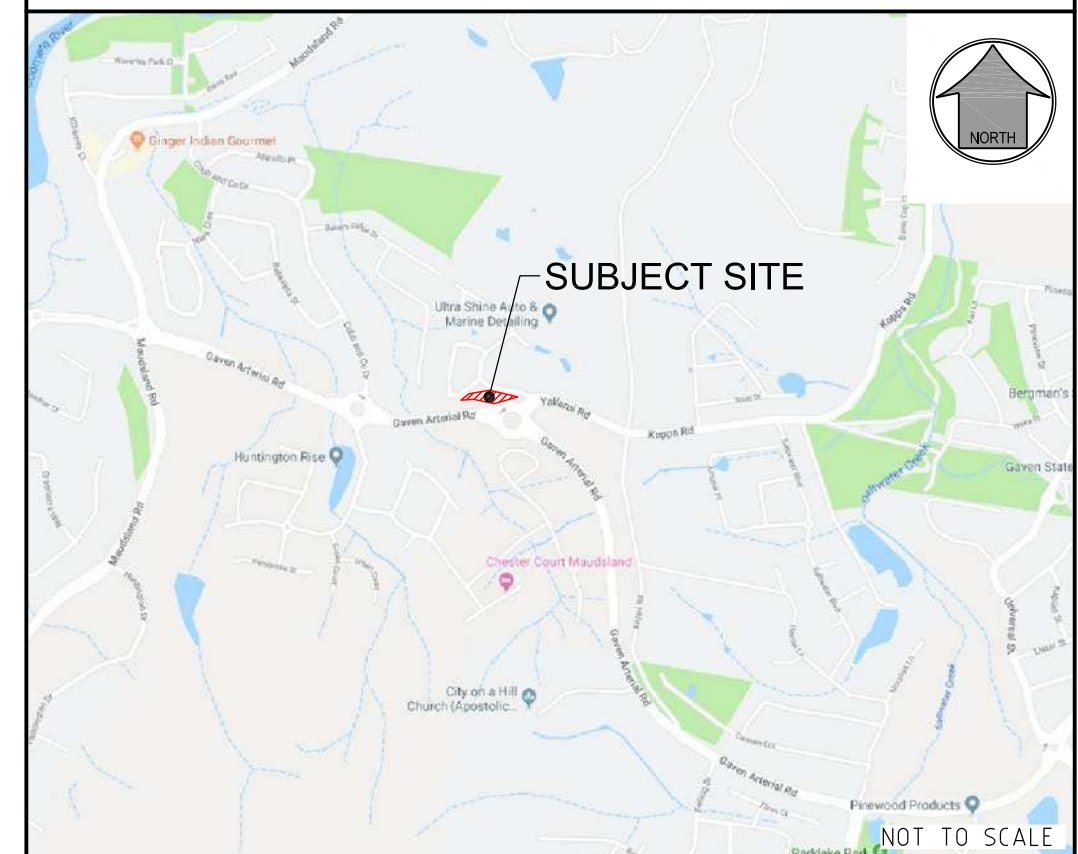
**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination



CLIENT  
**TELLURIUM GG**  
Pty Ltd

SUB-CONSULTANTS  
**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

### LOCALITY PLAN



R. P. DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

NOT TO SCALE

DRAWING NUMBER  
**36901-ALL-000**

AMEND.  
**B**

**GENERAL**

1. EXISTING SERVICES - EXTERNAL WORKS  
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
2. EXISTING STRUCTURES  
ALL EXISTING STRUCTURES & ASSOCIATED INFRASTRUCTURE TO BE REMOVED & DISPOSED OF OFF SITE.
3. EXISTING DAMS  
EXISTING DAMS TO BE DEWATERED. ALL SILT & DEBRIS ARE TO BE REMOVED & LAWFULLY DISPOSED OF TO A TIP OFF SITE, OR INCORPORATED INTO THE SITE EARTHWORKS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. REPLACEMENT FILL IS TO BE LOCATED & COMPACTED IN ACCORDANCE WITH LOCAL COUNCIL'S SPECIFICATIONS.

**NOTE:**

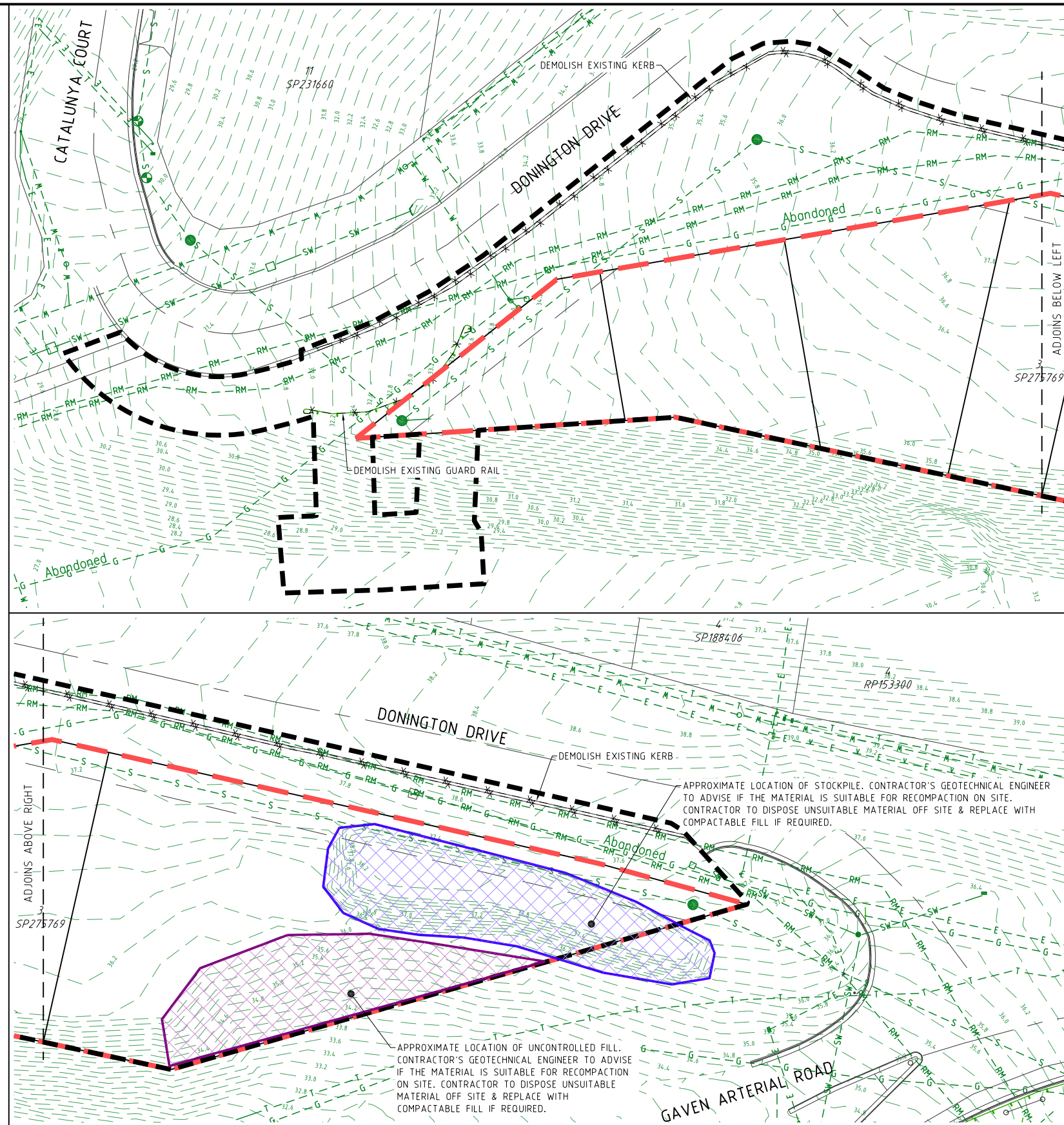
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR LOCATION AND PROTECTION OF EXISTING SERVICES DURING WORKS.

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING KERB
- CONTROL LINE / CENTER OF ROAD
- EXISTING FOOTPATH
- EXISTING GUARD RAIL
- S — S EXISTING SEWER
- RM — RM EXISTING RISING MAIN
- SW — SW EXISTING STORMWATER
- W — W EXISTING WATER
- G — G EXISTING GAS
- E — E EXISTING UNDERGROUND ELECTRICITY
- E — E EXISTING OVERHEAD ELECTRICITY
- T — T EXISTING TELSTRA
- 1.0 — EXISTING CONTOURS
- \* — \* DEMOLISH
- PROPOSED PROPERTY LINE
- SITE BOUNDARY
- LIMIT OF WORKS BOUNDARY

**SHEET LAYOUT**

36901-ALL-020 (ABOVE)  
36901-ALL-020 (BELOW)



PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



0 2.5 5 7.5 10 12.5m  
Scale 1:250 - A1 (1:500 - A3)

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
A	26-08-19 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS  
**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE  
**EXISTING FEATURES AND DEMOLITION PLAN SHEET 01**

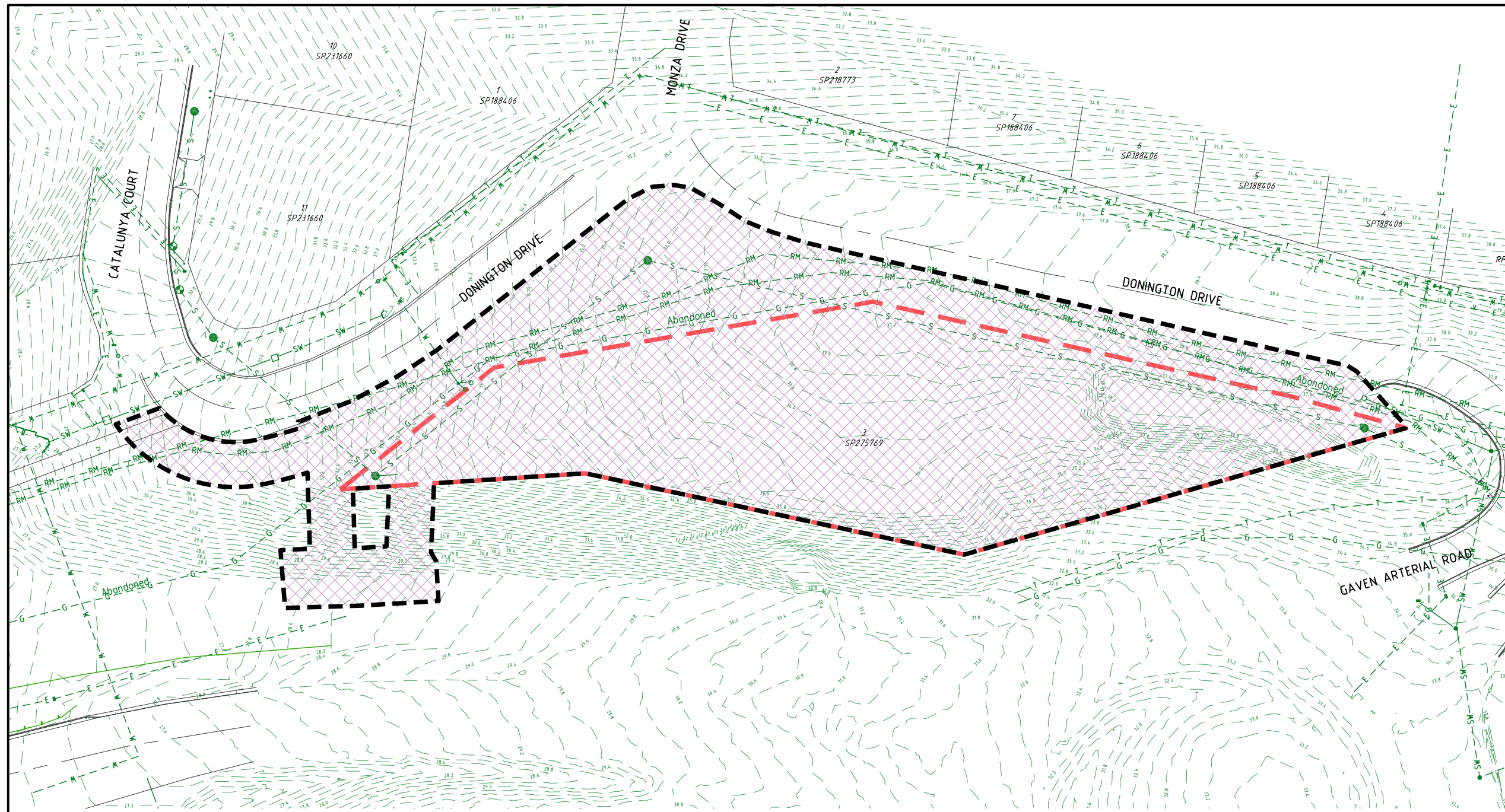
**MORTONS** urban solutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination  
MUS Pty Ltd T/As: Postal Address  
Mortons-Urban Solutions PO Box 2484  
ABN 39 116 375 065 Southport QLD 4215  
mortons@urbansolutions.net.au  
www.urbansolutions.net.au Gold Coast Office  
Tel 07 5571 1099 Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED RB	DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-020</b>	<b>A</b>

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**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**  
Application No: OPW/2019/1241  
Dated: 28 October 2019  
**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**



ALL VEGETATION CLEARING AND PROTECTION TO BE PERFORMED IN ACCORDANCE WITH THE APPROVED VEGETATION MANAGEMENT PLAN AND COUNCIL'S APPROVAL CONDITIONS.

**VEGETATION CLEARING & PRESERVATION**

1. PRECAUTIONS SHOULD BE TAKEN TO ENSURE PROPOSED ACTIVITIES ARE OUTSIDE THE PROTECTED ZONE.
2. DO NOT PLACE SOIL OR FILL FROM EXCAVATIONS AGAINST TREE TRUNKS OR ON ROOTS ATTACHED TO THE PARENT PLANT, EVEN FOR SHORT PERIODS.
3. DO NOT DE-BARK OR IMPACT ANY TREE TRUNK, ATTACH ANY STAYS, GUYS, WIRES ETC TO TREES WITHIN THE PROTECTED ZONE.
4. ENSURE THAT THERE IS NO REMOVAL OF TOPSOIL FROM WITHIN THE "TREE PROTECTION ZONE" (TPZ) UNLESS OTHERWISE APPROVED BY A SUITABLY QUALIFIED VEGETATION ARBORIST.
5. ENSURE THAT THERE IS NO PARKING OF VEHICLES OR HEAVY MACHINERY WITHIN THE TPZ OR BUFFER AREA (IF DIRECTED BY PROJECT ARBORIST) TO THE TPZ.
6. THE CONSTRUCTION CONTRACTOR IS NOT TO UNDERTAKE ANY PRUNING OF TREES. TREE MANAGEMENT IS TO BE UNDERTAKEN BY A SUITABLY QUALIFIED ARBORIST.
7. NO CLEARING OF PROTECTED SIZE VEGETATION IS TO OCCUR WITHOUT APPROVAL FROM THE RELEVANT AUTHORITY.

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING FENCE
- EXISTING KERB
- EXISTING FOOTPATH
- S — S — EXISTING SEWER
- RM — RM — EXISTING RISING MAIN
- SW — SW — EXISTING STORMWATER
- W — W — EXISTING WATER
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- T — T — EXISTING TELSTRA
- 1.0 — EXISTING CONTOURS
- SITE BOUNDARY
- LIMIT OF WORKS BOUNDARY
- CLEARING EXTENTS



**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

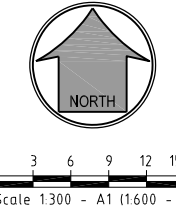
Application No: OPW/2019/1241

Dated: 28 October 2019

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PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

A	PRE DATE	COUNCIL ISSUE
	26-08-19	COUNCIL ISSUE

AMENDMENT  
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DRAWING TITLE  
**TREE CLEARING AND PRESERVATION PLAN SHEET 01**

Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As: Postal Address  
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 ABN 39 116 375 065 Southport QLD 4215  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au Gold Coast Office  
 Tel 07 5571 1099 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED <i>[Signature]</i>	PREP 4706 DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-030</b>	<b>A</b>

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**EARTHWORKS**

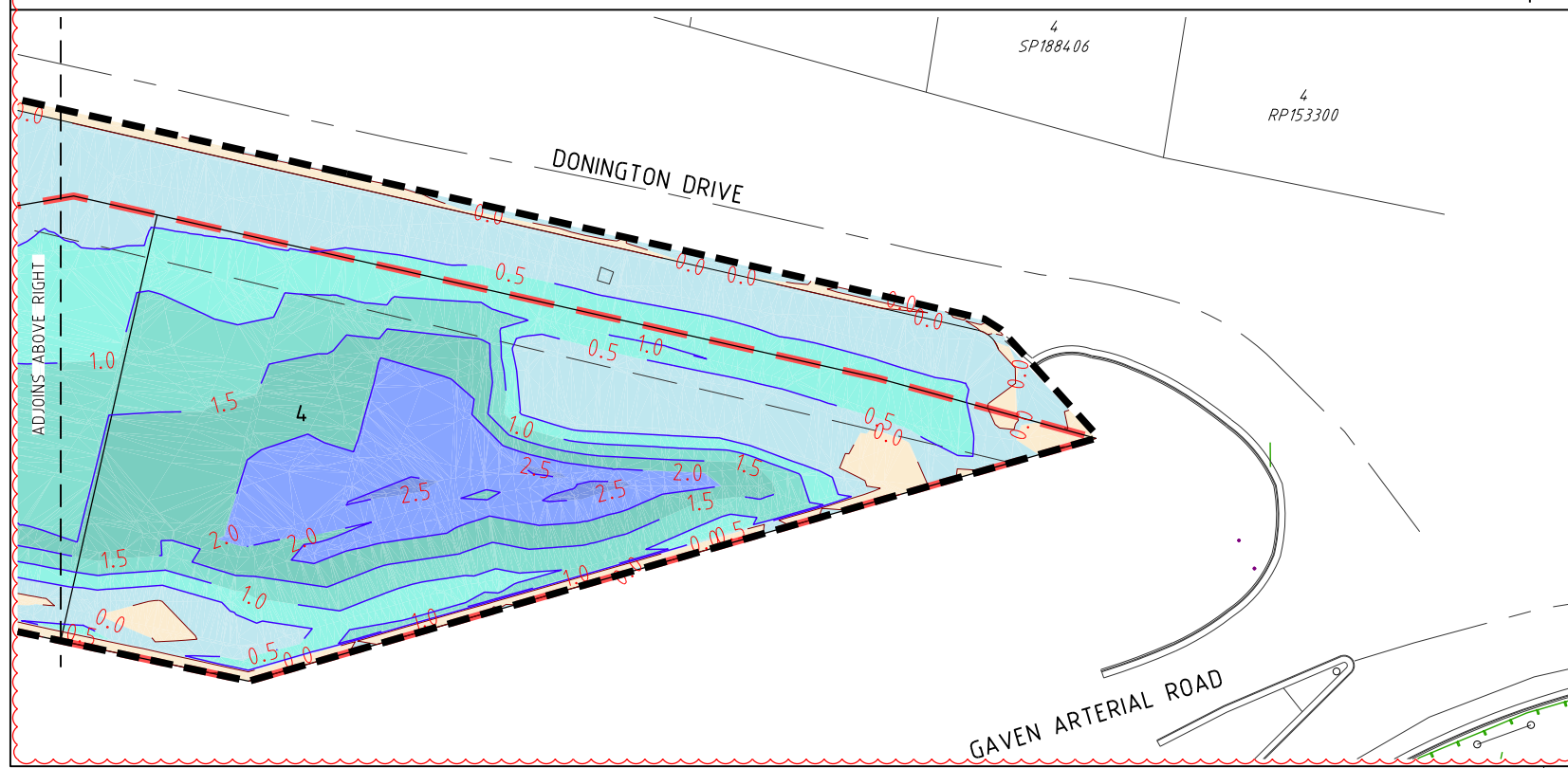
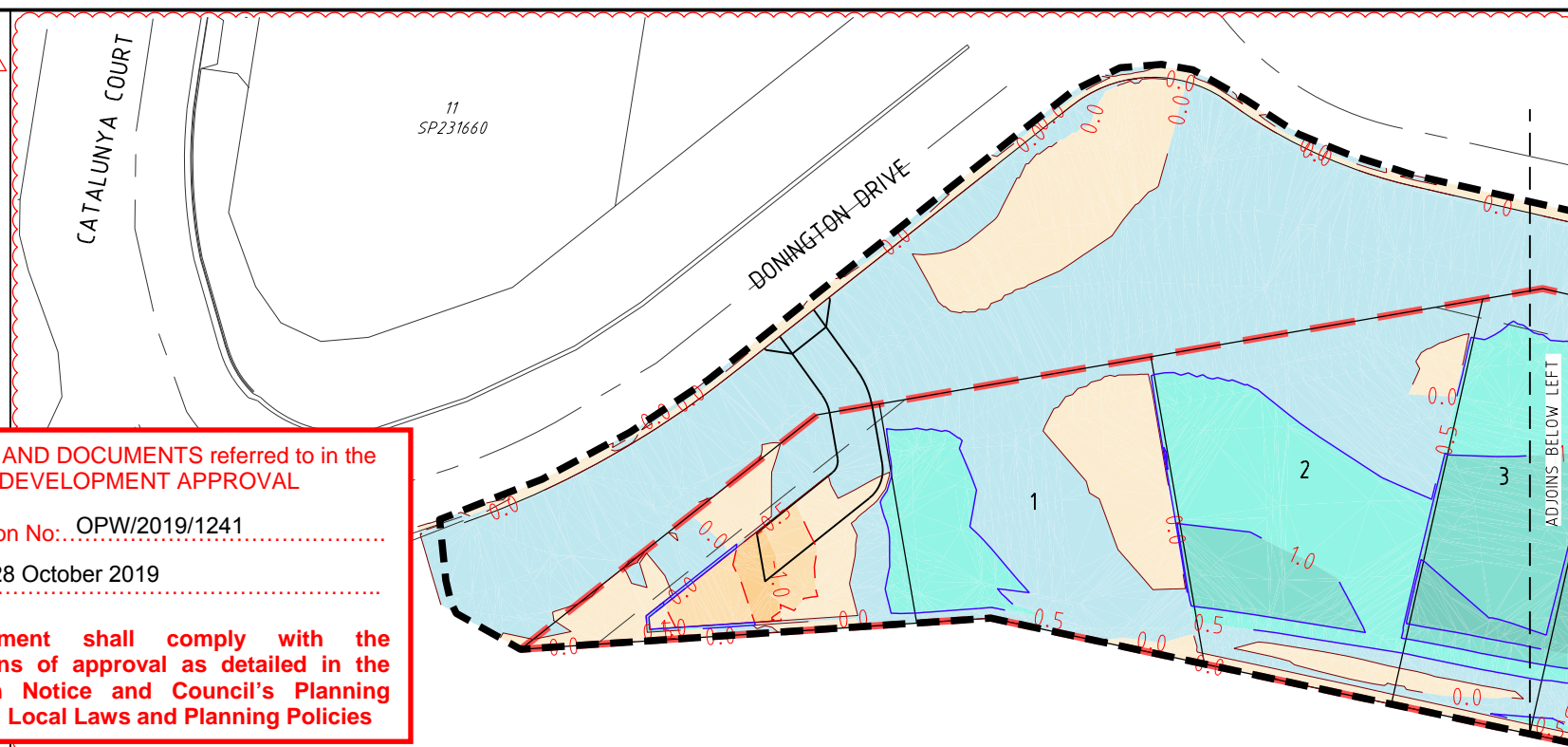
- TOPSOIL STRIPPING**  
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT & FILL AREAS & SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
- EARTHWORKS LEVELS**  
EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS & INCLUDE 100mm OF TOPSOIL.
- COMPACTION STANDARD**  
SITE FILLING & TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN THE LOCAL AUTHORITY'S SPECIFICATIONS. FILL BATTER FACES ARE TO BE OVERFILLED, COMPACTED & CUT BACK TO DESIGN LEVELS. ALL CUT BATTERS ARE TO BE CUT BACK & TRIMMED TO DESIGN LEVELS.
- PAVEMENT DEPTHS**  
THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS. THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB GRADE TESTS ARE TAKEN & AUTHORITY APPROVAL.
- TESTING & CERTIFICATION**  
ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS. THE CONTRACTOR IS TO PROVIDE ALL REQUIRED EARTHWORKS CERTIFICATIONS IN ACCORDANCE WITH THE APPROVAL CONDITIONS. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTED EARTHWORKS SLOPE STABILITY CERTIFICATION CONFIRMING REQUIRED F.O.S. CERTIFIED BY A RPEQ.
- TOPSOIL REPLACEMENT**  
ALL FOOTPATHS, BATTERS & ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES, & AMELIORATE SOIL AS NECESSARY TO ENSURE GRASS STRIKE.
- GRASSING**  
ALL CUT/FILL AREAS, DISTURBED AREAS & TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT & LOCAL AUTHORITY.
- ROCK**  
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.
- EARTHWORKS ZONE**  
THE FOLLOWING ACTIVITIES ARE PROHIBITED OUTSIDE THE EARTHWORKS ZONE - STORAGE & MIXING OF MATERIALS, VEHICLE PARKING, LIQUID DISPOSAL, MACHINERY REPAIRS/REFUELING, PLACEMENT OF SITE OFFICES OR SHEDS, COMBUSTION OF ANY MATERIAL, STOCKPILING OF SOIL, RUBBLE OR DEBRIS, ANY FILLING OR EXCAVATION INCLUDING TRENCHES, TOPSOIL, SKIMMING AND/OR SURFACE EXCAVATION UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.
- CONSTRUCTION - STOCKPILING**  
TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING. STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE, REFER VEGETATION MANAGEMENT PLAN FOR MORE DETAILS. THE CONTRACTOR SHALL NOT CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS DIRECTED BY THE SUPERINTENDENT. ALL MATERIALS ARISING FROM THE WORKS SHALL BE COMPACTED TO FUTURE FILL AREAS AS NOMINATED OR REMOVED FROM THE SITE.
- TOPSOIL SCREENING**  
TOPSOIL SHALL BE SCREENED BY THE CONTRACTOR WHEN DIRECTED BY THE SUPERINTENDENT. ALL UNSUITABLE MATERIAL SCREENED FROM THE TOPSOIL WILL BE TAKEN TO AN OFFSITE TIP BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- EARTHWORKS MATERIAL SIZE**  
ALL EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO AN ACCEPTABLE SIZE TO BE COMPACTED UNDER LEVEL 1 FILL. WHERE THE RELEVANT GUIDELINES DON'T SPECIFY AN ACCEPTABLE SIZE, EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO A SIZE NO LARGER THAN 75mm.
- MOISTURE CONTENT**  
EARTHWORKS MOISTURE VARIATION TO NOT EXCEED ±2% OF THE OPTIMUM MOISTURE CONTENT.
- SURFACE FINISH**  
THE FINISHED SURFACE LEVEL IS TO BE CAPPED WITH FINER MATERIAL & SMOOTH DRUM ROLLED & GRADED TO PROMOTE SURFACE WATER RUNOFF IN A CONTROLLED MANNER.
- EARTHWORKS LIMITS**  
THE CONTRACTOR IS TO TIE IN TO THE NATURAL SURFACE AT THE LIMIT OF THE EARTHWORKS. THE TIE IN IS TO BE COMPLETED IN A MANNER TO ENSURE THERE IS NO PONDING OF SURFACE WATER.
- IMPORTED MATERIAL**  
LOTS - ALL IMPORTED MATERIAL FOR PLACEMENT ON LOTS TO BE A MINIMUM CBR 10 MATERIAL & HAVE A SWELL % <1.5.  
ROADS - ALL IMPORTED MATERIAL FOR PLACEMENT ON ROADS TO BE A MINIMUM CBR10 MATERIAL WITH A SWELL % <1.5, LIQUID LIMIT <70 & PLASTICITY INDEX <4.5.  
SOIL PARAMETERS TO BE REVIEWED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT ON SITE.
- REACTIVE SOILS**
  - ALL REACTIVE TOPSOIL TO BE IDENTIFIED BY THE GEOTECHNICAL ENGINEER & BE SEPARATED FROM THE NON REACTIVE TOPSOIL.
  - ALL REACTIVE TOPSOIL TO BE RESPREAD IN THE OPEN SPACE AREA. WHERE REACTIVE TOPSOIL IS REQUIRED TO BE RESPREAD ON DEVELOPABLE AREAS THE CONTRACTOR SHALL LIME TREAT THE TOPSOIL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
  - WHEN UNDERTAKING THE EARTHWORKS CUT ALL MATERIALS SHOULD BE SELECTIVELY SORTED SO THAT THE REACTIVE SOILS ARE SEPARATED FROM THE LOW REACTIVE RESIDUAL SOILS & XW BEDROCK
  - ALL REACTIVE SOILS ARE TO BE PLACED IN THE LOWER SECTIONS OF FILL WITH THE LESS REACTIVE RESIDUAL SOILS & XW BEDROCK TO BE PLACED IN THE UPPER FILLS. ALTERNATIVELY, THE REACTIVE SOILS CAN BE BLENDED WITH THE LESS REACTIVE SOILS & XW ROCK TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
  - NO REACTIVE CLAY SOILS SHOULD BE PLACED WITHIN THE UPPER 0.75M APPROX. FILL PROFILE WHERE POSSIBLE.
  - WHEN PLACING FILL OVER HIGHLY REACTIVE SOILS, TREATMENT MAY BE REQUIRED IF THE FILLS ARE ONLY MINOR, 0.3m APPROX. & THE REACTIVE SOIL PROFILE IS GREATER THAN 0.7m APPROX. IN THESE AREAS SUBGRADE REPLACEMENT OF AT LEAST 0.75m OF NON REACTIVE / LOW REACTIVE MATERIAL OVERLYING THE REACTIVE SOILS SHALL BE UNDERTAKEN.
  - ALL WORKS ASSOCIATED WITH THE IDENTIFICATION, PLACEMENT & TREATMENT OF REACTIVE SOILS SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

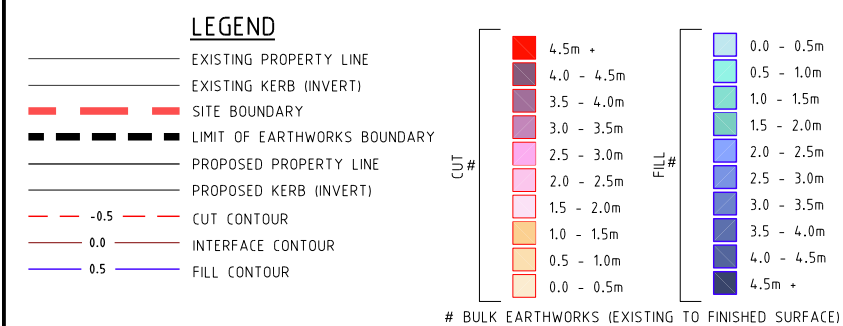
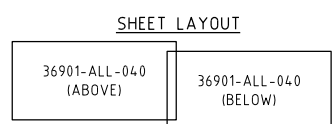
Application No: OPW/2019/1241

Dated: 28 October 2019

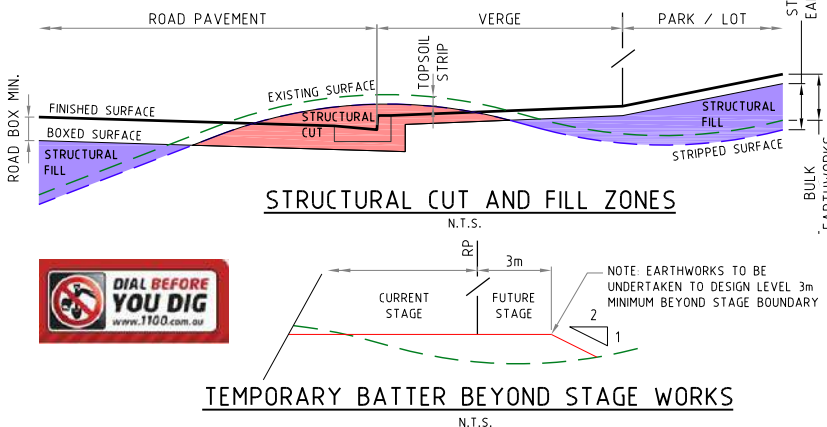
**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**



**NOTE:**  
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.



- NOTES:**
- EARTHWORKS VOLUMES ARE APPROXIMATE ONLY, CONTRACTOR TO VERIFY & ALLOW FOR ANY DISCREPANCY IN THE CONTRACT VALUE.
  - VOLUMES INDICATE THE STRUCTURAL QUANTITY OF EARTHWORKS, IE BETWEEN THE EXISTING SURFACE & THE UNDERSIDE OF THE MINIMUM BOX & OF THE FSL, AS PROSCRIBED IN THE CONTRACT DOCUMENTATION.
  - NO ALLOWANCE FOR COMPACTION OR BULKING FACTOR IS INCLUDED IN THE EARTHWORKS VOLUMES. THE CONTRACTOR IS TO MAKE ALLOWANCES FOR BULKING/COMPACTION AS PART OF THEIR CONTRACT WORKS.
  - THE CONTRACTOR IS TO VERIFY EXISTING SURFACE & TOPSOIL DISTRIBUTION PRIOR TO SIGNING THE CONTRACT. THE CONTRACTORS PRICE FOR THESE WORKS IS DEEMED TO BE ACCEPTING OF THE NATURAL SURFACE & TOPSOIL DISTRIBUTION.
  - THE CONTRACTOR IS REQUIRED TO EXPORT / IMPORT AS NEEDED TO ACHIEVE THE FINAL SURFACE LEVELS. THE EXPORT/IMPORT AS REQUIRED TO COMPLETE EARTHWORKS FORMS PART OF THE CONTRACT WORKS.
  - WHERE NO SPOIL AREA IS AVAILABLE WITHIN THE PROJECT FOOTPRINT, THE CIVIL CONTRACTOR SHALL EXPORT EXCESS MATERIALS TO A LICENCED TIP OFF SITE. THESE WORKS FORM PART OF THE CONTRACT WORKS.



PROJECT NAME

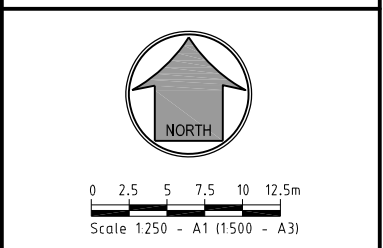
**DONINGTON DRIVE RESIDENTIAL**

CIVILWORKS

RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT

**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

REV	DATE	DESCRIPTION
B	03-10-19	CUT AND FILL AMENDED
A	26-08-19	COUNCIL ISSUE

PREPARED BY: [Name]

DATE: [Date]

AMENDMENT: [Number]

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ASSOCIATED CONSULTANTS

**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE

**EARTHWORKS CUT TO FILL PLAN SHEET 01**

**MORTONS urban solutions**  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

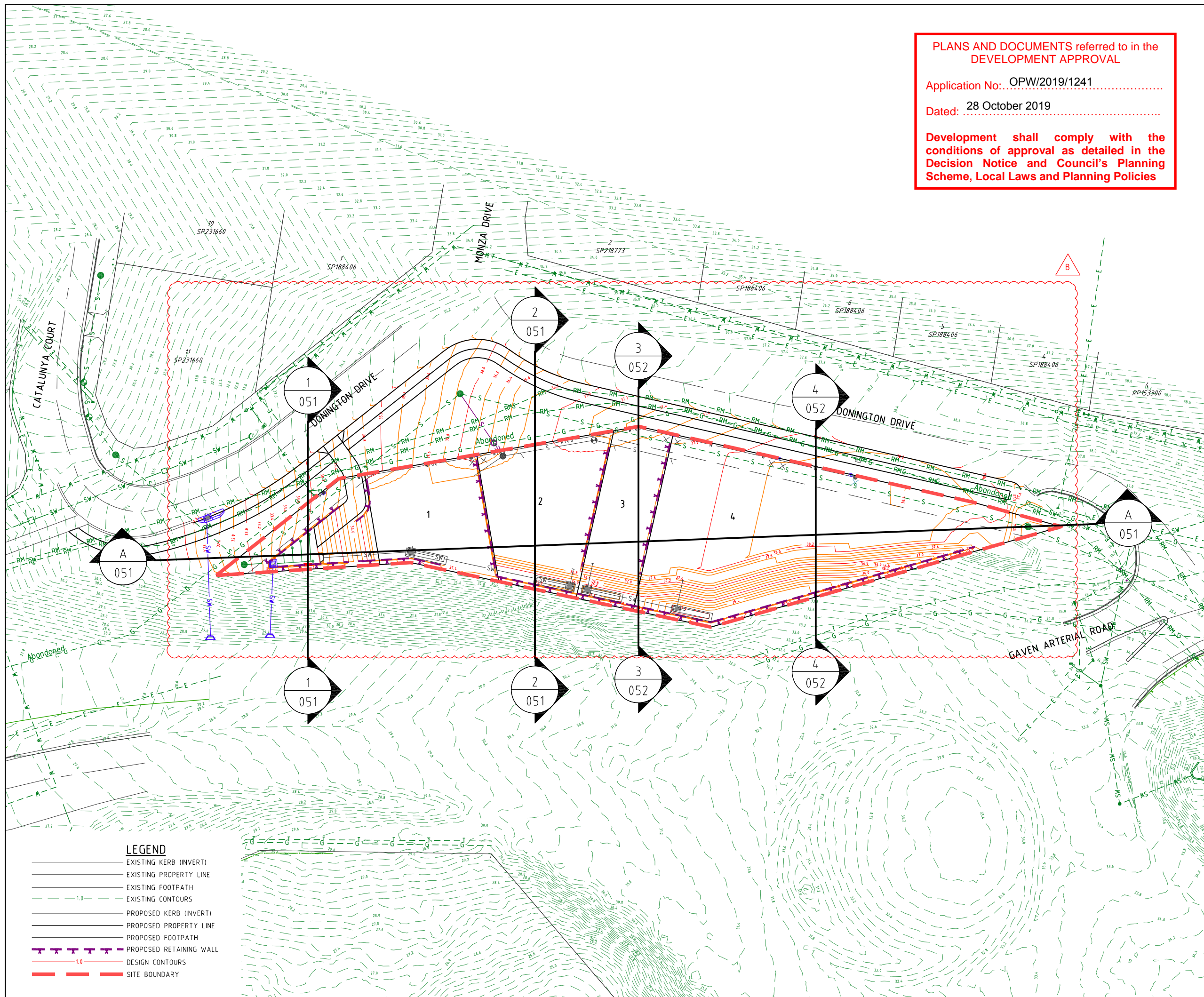
MUS Pty Ltd T/As:  
Mortons-Urban Solutions  
ABN 39 116 375 065  
www.mortonsurbansolutions.net.au  
Tel 07 5571 1099

Postal Address  
PO Box 2484  
Southport QLD 4215

Gold Coast Office  
Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED [Signature]	RPEQ 4706 DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-040</b>	<b>B</b>





**PLANS AND DOCUMENTS** referred to in the DEVELOPMENT APPROVAL

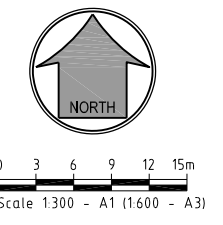
Application No: OPW/2019/1241

Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
B 02-10-19	CONTOURS AND STORMWATER AMENDED
A 26-08-19	COUNCIL ISSUE

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**BULK EARTHWORKS SECTION KEY PLAN**

**MORTONS urban solutions**  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As: Postal Address  
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 ABN 39 116 375 065 Southport QLD 4215  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099

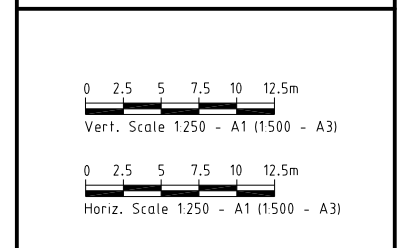
Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

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APPROVED [Signature]	PREP 4706 DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-050</b>	<b>B</b>

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PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	-

PRE DATE	AMENDMENT
A	26-08-19 COUNCIL ISSUE

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**BULK EARTHWORKS SECTIONS SHEET 01**

**MORTONS urban solutions**  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

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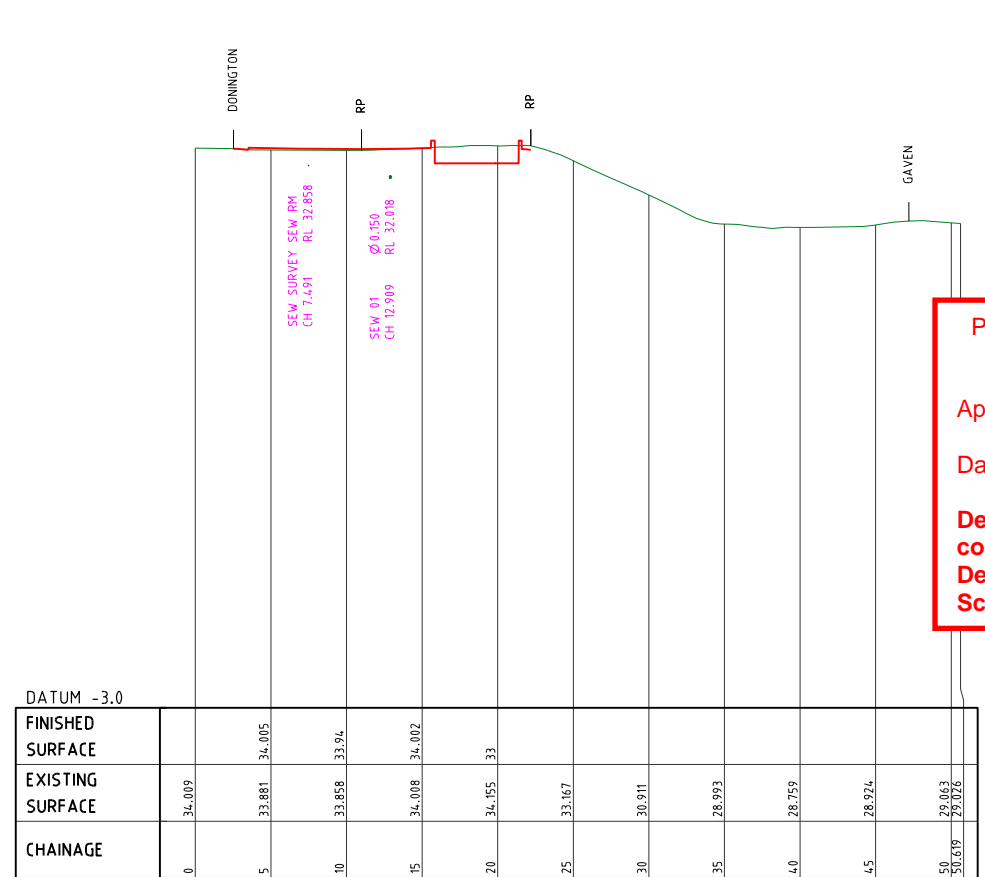
DESIGNED RB	DRAWN EP
APPROVED <i>[Signature]</i>	PER 4706 DATE 06-08-19
DRAWING NUMBER <b>36901-ALL-051</b>	AMEND. <b>A</b>

**PLANS AND DOCUMENTS** referred to in the DEVELOPMENT APPROVAL

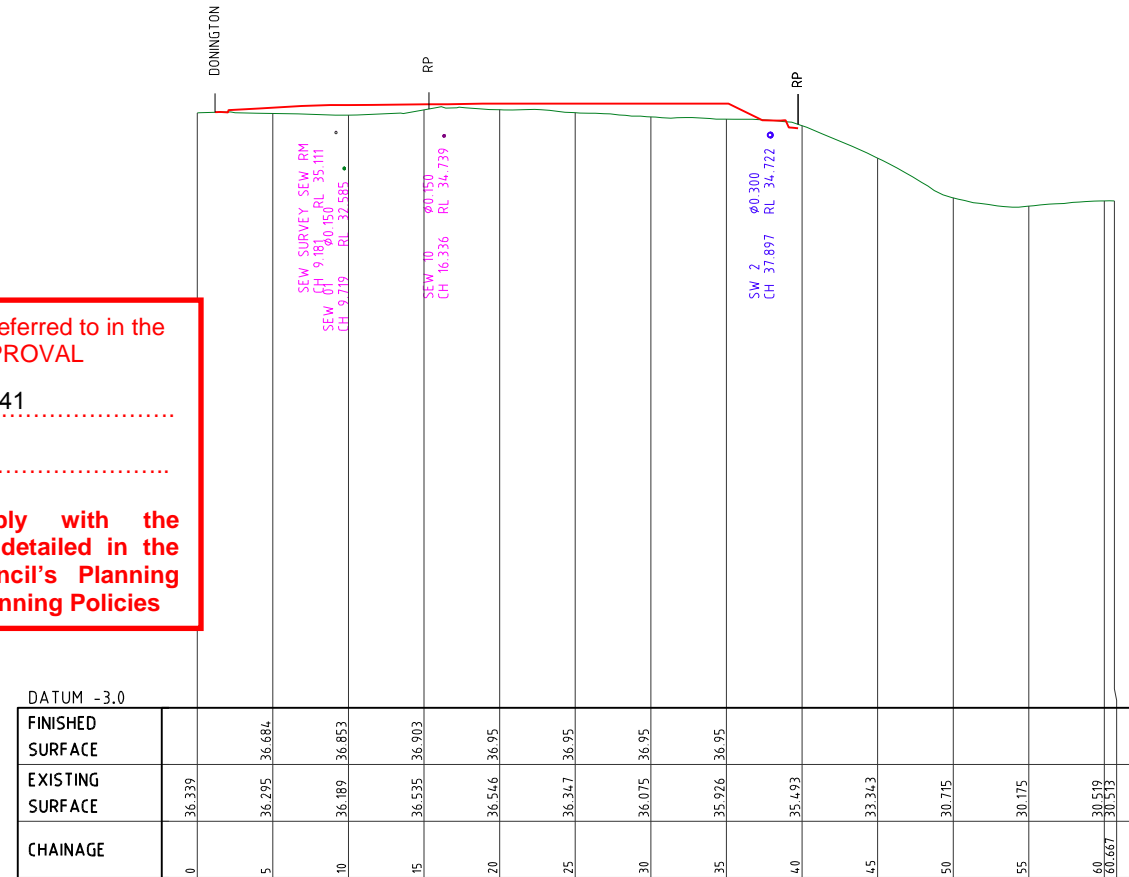
Application No: OPW/2019/1241

Dated: 28 October 2019

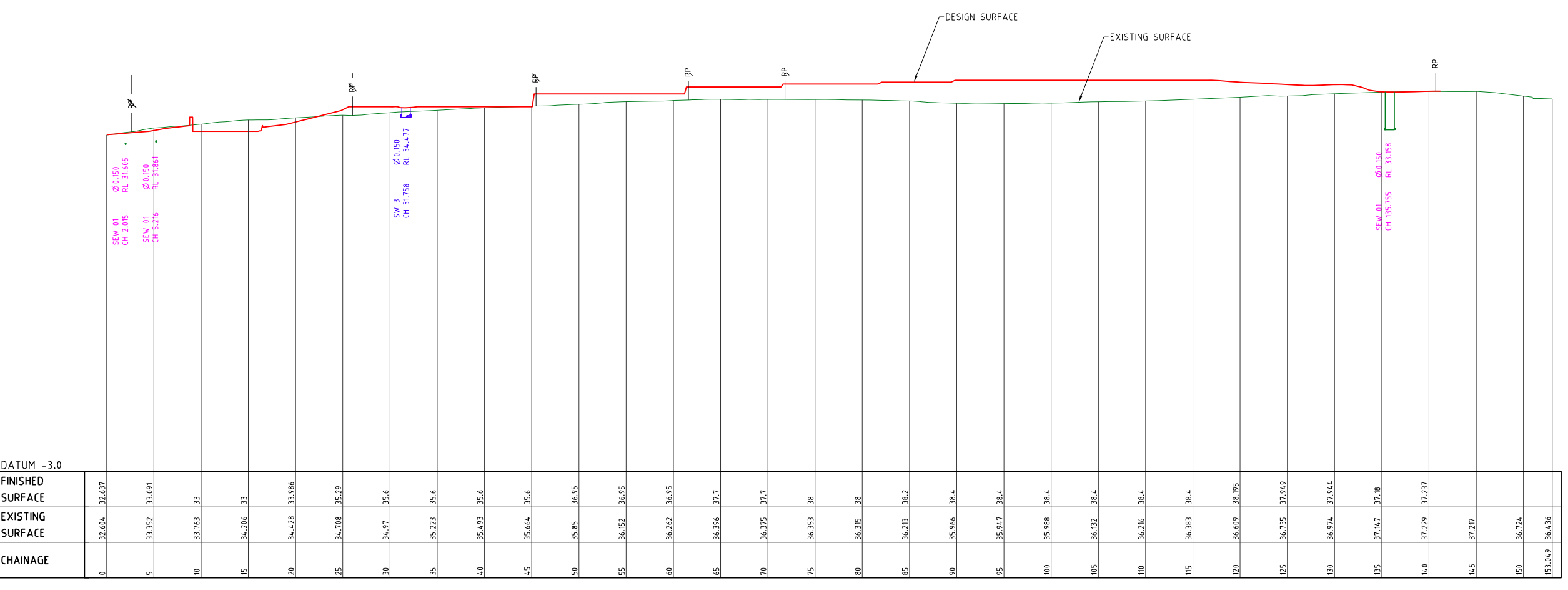
**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**



SECTION 1  
 SCALE: 1:250



SECTION 2  
 SCALE: 1:250



SECTION A  
 SCALE: 1:250

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PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

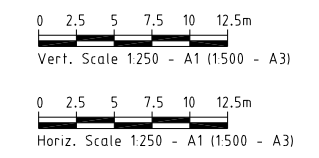
Application No: OPW/2019/1241

Dated: 28 October 2019

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	--

PRE DATE	AMENDMENT
B 03-10-19	SECTION AMENDED
A 26-08-19	COUNCIL ISSUE

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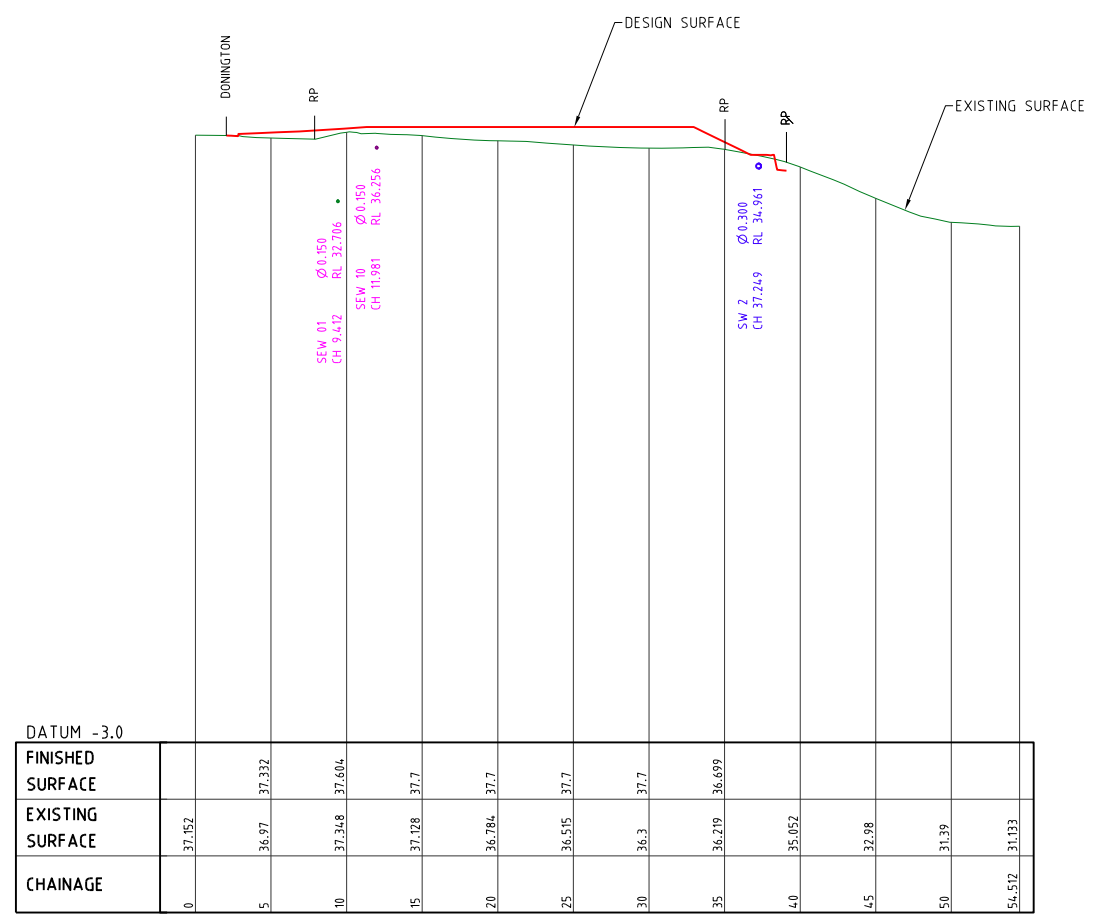


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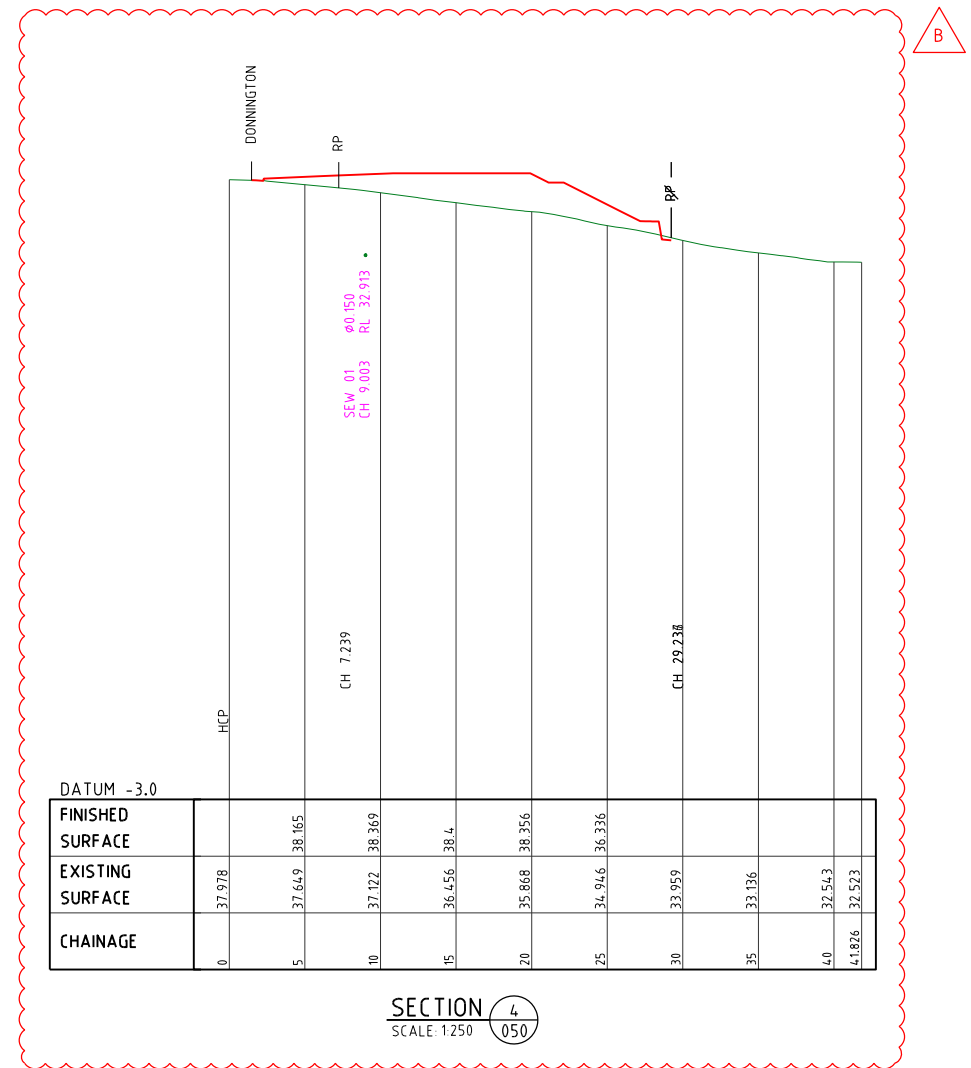
**MORTONS**  
 urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
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mortons@urbansolutions.net.au Gold Coast Office  
 www.urbansolutions.net.au Suite 9, 19 Short St  
 Tel 07 5571 1099 Southport QLD 4215

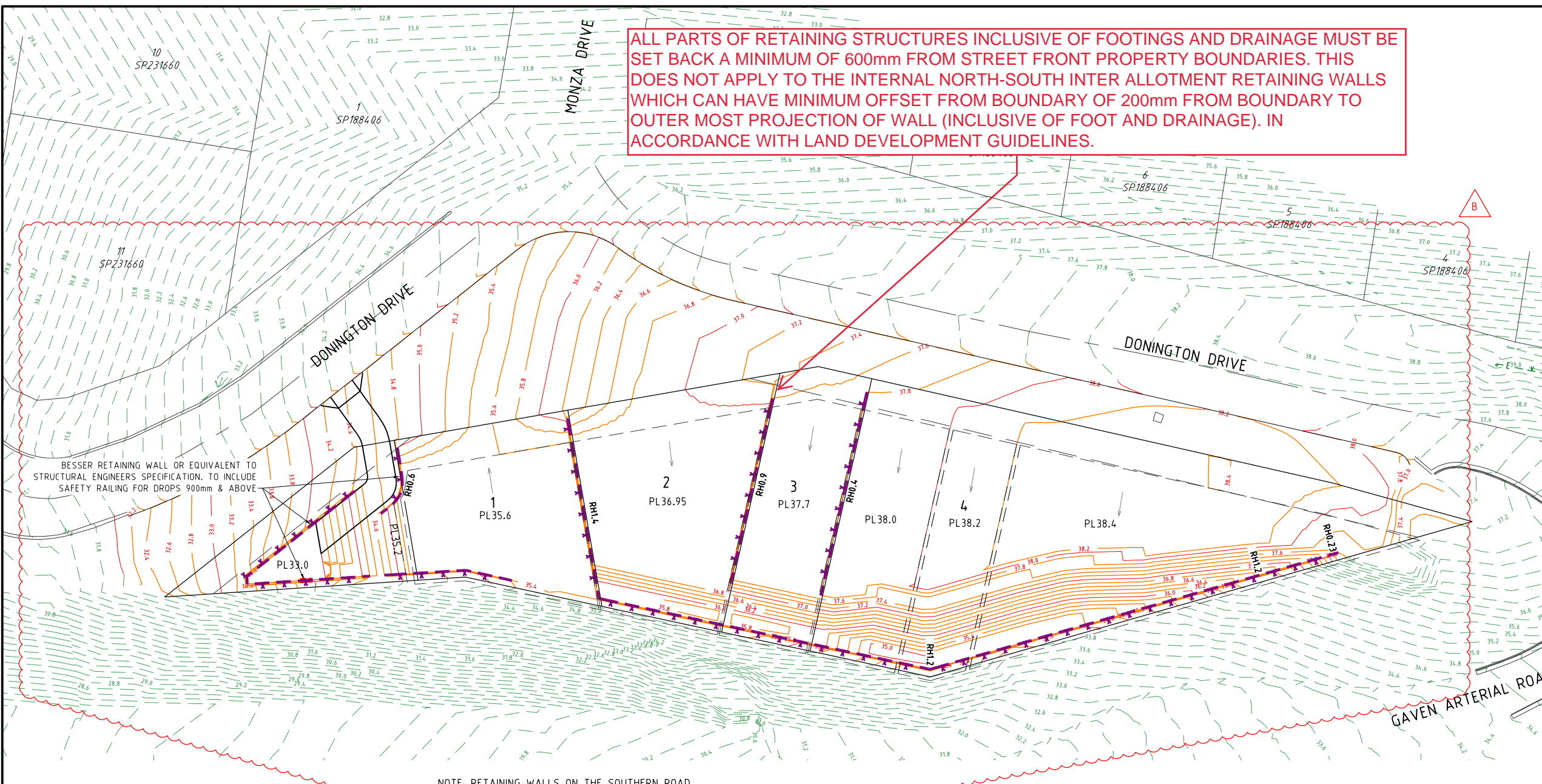


SECTION 3  
 SCALE: 1:250



SECTION 4  
 SCALE: 1:250

DESIGNED RB	DRAWN EP
APPROVED [Signature]	DATE 06-08-19
DRAWING NUMBER <b>36901-ALL-052</b>	AMEND. <b>B</b>



ALL PARTS OF RETAINING STRUCTURES INCLUSIVE OF FOOTINGS AND DRAINAGE MUST BE SET BACK A MINIMUM OF 600mm FROM STREET FRONT PROPERTY BOUNDARIES. THIS DOES NOT APPLY TO THE INTERNAL NORTH-SOUTH INTER ALLOTMENT RETAINING WALLS WHICH CAN HAVE MINIMUM OFFSET FROM BOUNDARY OF 200mm FROM BOUNDARY TO OUTER MOST PROJECTION OF WALL (INCLUSIVE OF FOOT AND DRAINAGE). IN ACCORDANCE WITH LAND DEVELOPMENT GUIDELINES.

BESSER RETAINING WALL OR EQUIVALENT TO STRUCTURAL ENGINEERS SPECIFICATION, TO INCLUDE SAFETY RAILING FOR DROPS 900mm & ABOVE

NOTE: RETAINING WALLS ON THE SOUTHERN ROAD RESERVE BOUNDARY ARE 600mm OFFSET AS PER NOTE 12 ON DWG 36901-ALL-070

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2019/1241

Dated: 28 October 2019

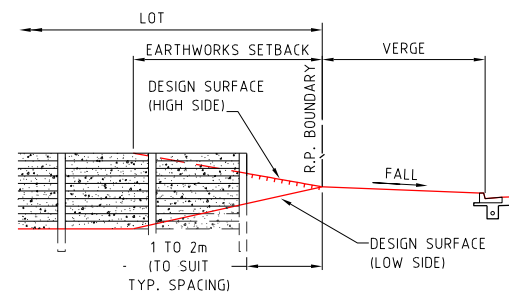
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

**GENERAL**

- CONTRACT SPECIFICATIONS  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
- SETOUT  
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
- DATUM  
LEVELS SHOWN ARE TO A.H.D.
- EXISTING SERVICES - EXTERNAL WORKS  
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
- ALL MATERIALS ARISING FROM RETAINING WALL CONSTRUCTION ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 OR IF DIRECTED BY THE SUPERINTENDENT SHALL BE TRUCKED TO A LICENSED TIP.

**LEGEND**

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- 1.0 EXISTING CONTOURS
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- 1.0 DESIGN CONTOURS
- PROPOSED SINGLE TIER RETAINING WALL
- PL50.4 NOMINAL LOT PAD LEVEL
- RH1.0 INDICATIVE WALL HEIGHT
- DETAIL PAD FALL DIRECTION (CONTRACTOR TO ENSURE LOTS FALL TO ROAD AT 1:150 MIN. REFER DRG. 071)



TYPICAL SIDE BOUNDARY CONSTRUCTION

SCALE 1:100 - A1 (1:200 - A3)

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



0 2.5 5 7.5 10 12.5m  
Scale 1:250 - A1 (1:500 - A3)

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	


B	02-10-19	CONTOURS & WALL HEIGHTS AMENDED. NOTE ADDED
A	26-08-19	COUNCIL ISSUE

PRE DATE	AMENDMENT

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DRAWING TITLE

**RETAINING WALL AND DETAIL GRADING PLAN SHEET 01**



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DESIGNED RB	DRAWN EP
APPROVED RB	PER 4706 DATE 06-08-19

DRAWING NUMBER <b>36901-ALL-060</b>	AMEND. <b>B</b>
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**NOTES:**

- RETAINING WALL DETAILS ARE INDICATIVE ONLY.
- CONTRACTOR TO ARRANGE FOR DESIGN & CONSTRUCTION OF WALLS BY RPEQ STRUCTURAL ENGINEER. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION OF DESIGN & FINAL CONSTRUCTION.
- ALLOW FOR 5kPa LOADING TO WALLS EXCEPT ADJACENT TO ROADS WHICH REQUIRE A 10kPa LOADING.
- CONTRACTOR TO CONFIRM LOCATION OF LOT BOUNDARY PRIOR TO COMMENCING WALL CONSTRUCTION.
- THE BUILDING ON THE HIGHER SIDE OF THE RETAINING WALL MUST MAINTAIN AN OFFSET OR APPROPRIATE FOUNDATION STRUCTURES (EG, PIERS) IN ORDER TO ENSURE THE ENTIRE DEPTH OF THE RETAINING WALL IS FREE FROM THE ZONE OF INFLUENCE OF THE BUILDING/OVERBURDEN LOAD UNLESS OTHERWISE SPECIFIED BY STRUCTURAL ENGINEER.
- STRUCTURAL ENGINEER TO DESIGN SLAB & PIER.
- AGRICULTURAL DRAIN TO DISCHARGE TO 300x300mm STORMWATER PIT. HOUSE BUILDER TO CONNECT 300x300mm STORMWATER PIT TO ROOFWATER SYSTEM.
- RETAINING WALL DESIGN TO ALLOW FOR ALL SERVICES (ADJACENT OR BELOW) & HAVE NO IMPACT.
- SANDSTONE & PROPRIETARY RETAINING WALLS TO BE DESIGNED & CONSTRUCTED TO HAVE VERTICAL FACE UNLESS OTHERWISE AGREED BY THE SUPERINTENDENT.
- ANY WALL GREATER THAN 0.9m HIGH TO INSTALL A FALL BARRIER AT THE TOP OF WALL. THE FALL BARRIER IS TO BE MAINTAINED UNTIL THE END OF THE MAINTENANCE PERIOD OR THE ASSOCIATED LOT IS SOLD BY THE DEVELOPER.
- REFER TO LANDSCAPE ARCHITECT FOR RETAINING WALL COLOUR & FINISH.
- \* SETBACK FROM BOUNDARY TO BE:  
200mm SIDE BOUNDARY  
400mm REAR BOUNDARY  
600mm ROAD RESERVE
- WHERE RETAINING WALLS ARE LOCATED WITHIN 2m OF A PMT SITE THE RETAINING WALL IS TO BE DESIGNED & CONSTRUCTED TO ALLOW EXCAVATION OF THE FULL PMT SITE TO A DEPTH OF 1.3m.

**BOULDER WALL SPECIFIC NOTES**

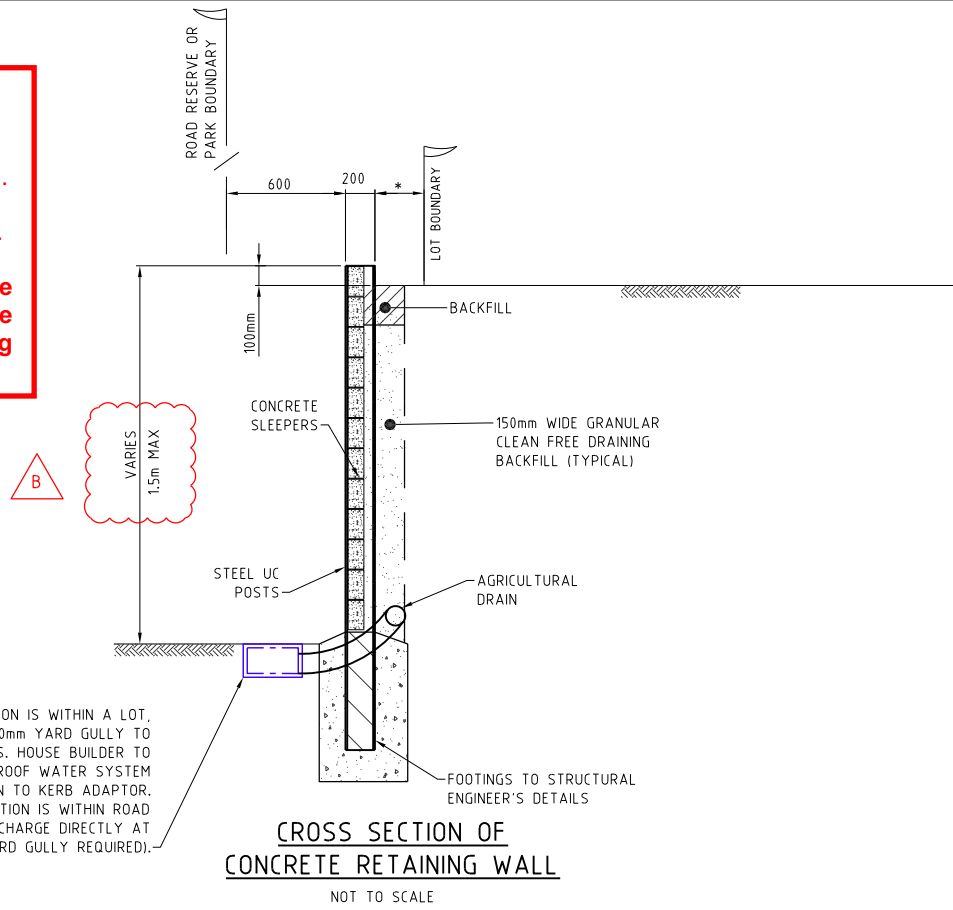
- BOTTOM ROW OF BOULDERS TO BE KEYED INTO NATURAL GROUND 0.2m (MINIMUM)
- CONCRETE FOOTING IF DIRECTED BY STRUCTURAL ENGINEER.
- BOTTOM ROW OF BOULDERS TO BE LAID HORIZONTAL OR TO SLOPE INTO THE FACE OF THE BATTER

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No: OPW/2019/1241

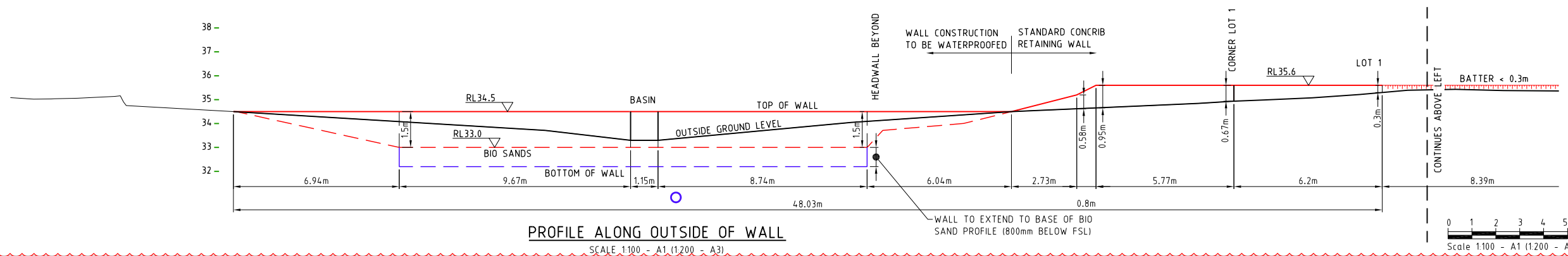
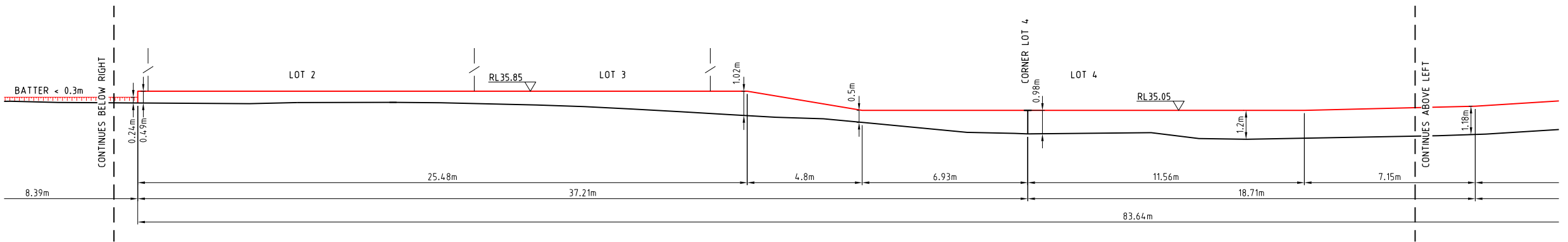
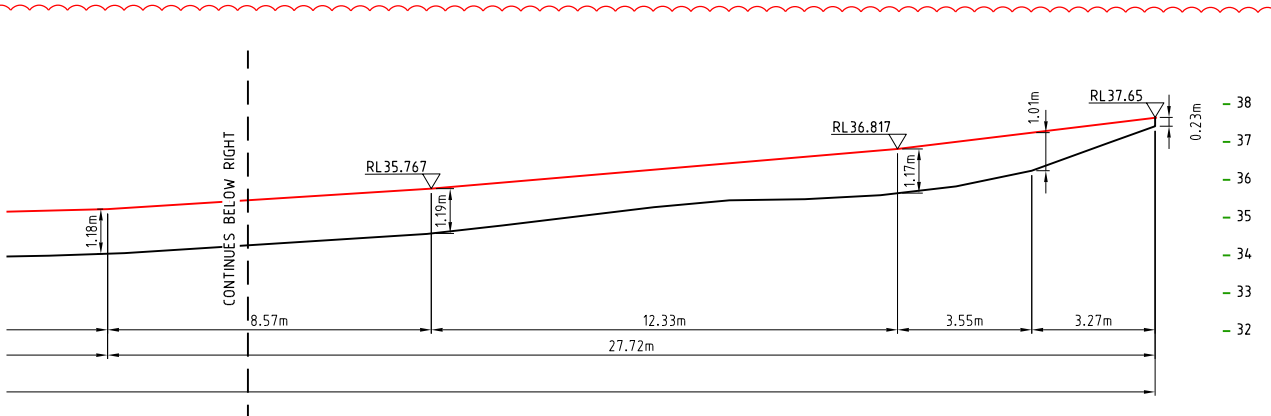
Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**



**CROSS SECTION OF CONCRETE RETAINING WALL**  
NOT TO SCALE

**ALL PARTS OF RETAINING STRUCTURES INCLUSIVE OF FOOTINGS AND DRAINAGE MUST BE SET BACK A MINIMUM OF 600mm FROM STREET FRONT PROPERTY BOUNDARIES. THIS DOES NOT APPLY TO THE INTERNAL NORTH-SOUTH INTER ALLOTMENT RETAINING WALLS WHICH CAN HAVE MINIMUM OFFSET FROM BOUNDARY OF 200mm FROM BOUNDARY TO OUTER MOST PROJECTION OF WALL (INCLUSIVE OF FOOT AND DRAINAGE). IN ACCORDANCE WITH LAND DEVELOPMENT GUIDELINES.**



**PROFILE ALONG OUTSIDE OF WALL**  
SCALE 1:100 - A1 (1:200 - A3)

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
B 02-10-19	DETAILS AMENDED
A 26-08-19	COUNCIL ISSUE

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DRAWING TITLE  
**RETAINING WALL DETAILS SHEET 01**

**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

MUS Pty Ltd T/As: Post Address  
Mortons-Urban Solutions PO Box 2484  
ABN 39 116 375 065 Southport QLD 4215  
mortons@urbansolutions.net.au  
www.urbansolutions.net.au Gold Coast Office  
Tel 07 5571 1099 Suite 9, 19 Short St  
Southport QLD 4215

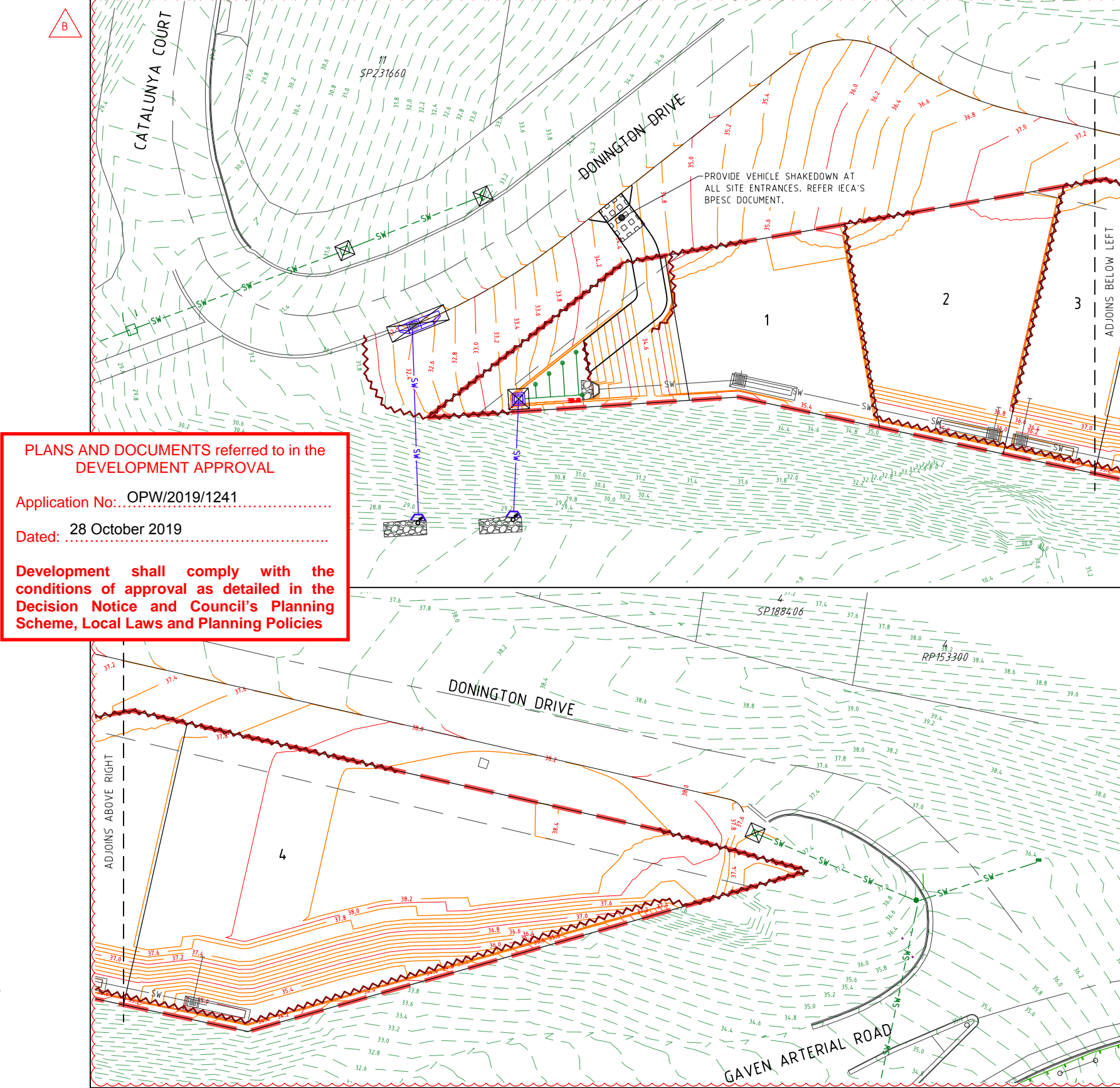
DESIGNED RB	DRAWN EP
APPROVED [Signature]	RPEQ 4706 DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-070</b>	<b>B</b>

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**SEDIMENT AND EROSION**

- THE EROSION & SEDIMENT CONTROL DEVICES SHOWN ON THESE DRAWINGS ARE INDICATIVE & PROVIDED FOR SUBMISSION TO LOCAL AUTHORITY ONLY. NOTWITHSTANDING THE EROSION & CONTROL DEVICES SHOWN ON THESE DRAWINGS, THE CONTRACTOR MUST PREPARE & FOLLOW A SITE SPECIFIC EROSION & SEDIMENT CONTROL PLAN TO MEET ALL LOCAL & STATE GOVERNMENT LEGISLATION INCLUDING BUT NOT LIMITED TO:
  - ENVIRONMENTAL PROTECTION ACT WITH SPECIFIC REFERENCE TO PARTS S440G & S319
  - STATE PLANNING POLICY
 PRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE OR TO WATERS WITHIN THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE & PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE & CONCENTRATION OF CONTAMINATION. THE ESC PLAN MUST BE DESIGNED, IMPLEMENTED & MAINTAINED IN ACCORDANCE WITH "BEST PRACTICE EROSION & SEDIMENT CONTROL" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2008).
- TO COMPLY WITH THE REQUIREMENTS OF THE EP ACT & BEST PRACTICE DESIGN, THE SEDIMENT BASINS ON THE SITE MUST BE DESIGNED & IMPLEMENTED TO ACHIEVE THE FOLLOWING:
  - SEDIMENT BASINS ARE TO BE DESIGNED, IMPLEMENTED & MAINTAINED TO A STANDARD WHICH WOULD ACHIEVE AT LEAST 80% OF THE AVERAGE ANNUAL RUNOFF VOLUME OF THE CONTRIBUTING CATCHMENT TREATED (I.E. 80% HYDROLOGIC EFFECTIVENESS) TO 50MG/L TSS OR LESS & PH IN THE RANGE 6.5-8.5
  - THIS WILL REQUIRE THE INSTALLATION & OPERATION OF A HIGH-EFFICIENCY SEDIMENT BASIN(S) DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE "BEST PRACTICE EROSION & SEDIMENT CONTROL - APPENDIX B SEDIMENT BASIN DESIGN & OPERATION" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2016, DRAFT)
- THE EROSION & SEDIMENT CONTROL PLAN MUST BE PREPARED & CERTIFIED BY A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL & FOLLOW THE REQUIREMENTS OUTLINED IN IECA'S BEST PRACTICE EROSION & SEDIMENT CONTROL DOCUMENT & THE QUEENSLAND URBAN DRAINAGE MANUAL.
- PRIOR TO THE COMMENCEMENT OF WORKS ONSITE THE CONTRACTOR MUST MAKE THEMSELVES AWARE OF ALL PREVIOUS GEOTECHNICAL REPORTS & DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL (INCLUDING PERFORMING ANY SOIL TESTS IF REQUIRED). THE RESULTS OF THIS REVIEW & ANY TESTS MUST BE INCLUDED IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN. A COPY OF ALL TEST RESULTS MUST BE PROVIDED TO THE SUPERINTENDENT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION & DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION (INCLUDING THE MAINTENANCE PERIOD). NOTWITHSTANDING THE CONTROL MEASURES OR FINISHED EARTHWORKS DESIGN SHOWN ON THESE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL OR ALTERNATIVE EROSION & SEDIMENT CONTROL MEASURES TO MINIMISE SEDIMENT ACROSS OR LEAVING THE SITE.
- AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS (INCLUDING WEEKENDS & PUBLIC HOLIDAYS) & AT ALL TIMES REMAINS RESPONSIBLE TO:
  - CLEAN & REPAIR CONTROL DEVICES WHENEVER THE ACCUMULATED SEDIMENT REDUCES THEIR CAPACITY BY 50%.
  - MAINTAIN POSITIVE GRADES OF ALL PERIMETER BANKS & SWALES TO AN OUTLET.
  - PROTECT ANY DOWNSTREAM CONSTRUCTION.
  - CONTROLLING DUST.
  - MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH DETAILS OUTLINED IN THEIR EROSION & SEDIMENT CONTROL PLAN & AS DIRECTED BY THE SUPERINTENDENT.
- THE CONTRACTOR'S PLAN SHALL ALLOW FOR SUITABLE ACCESS TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. NO ADDITIONAL VEGETATION CLEARING IS PERMITTED FOR GAINING ACCESS UNLESS APPROVED BY THE SUPERINTENDENT.
- THE CONTRACTOR MAY REQUEST APPROVAL FROM THE SUPERINTENDENT TO REUSE THE STOCKPILED MULCH FOR STABILISING BATTERS ONLY IN LOCATIONS WHERE THE APPROVED LANDSCAPE OPW DESIGN REQUIRES MULCH ULTIMATELY.
- CONSTRUCTION STOCKPILING
  - TOPSOIL SHALL BE STRIPPED & STOCKPILED IN LOCATIONS NOMINATED ON THE CONSTRUCTION DRAWINGS OR IN LOCATIONS AGREED WITH THE SUPERINTENDENT.
  - ADDITIONAL VEGETATION CLEARING IS NOT PERMITTED TO FACILITATE THE STOCKPILING OF MATERIALS UNLESS SHOWN ON THE APPROVED VEGETATION MANAGEMENT PLAN.
  - ANY STOCKPILE SITE MUST BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
  - NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE OF VEGETATION.
  - A TEMPORARY SILT FENCE IS TO BE ERECTED APPROXIMATELY 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.
- NOTWITHSTANDING THE DETAILS SHOWN IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN, DURING CONSTRUCTION THE CONTRACTOR MUST:
  - SIZE ALL TEMPORARY SEDIMENT BASINS APPROPRIATELY TO TREAT THE UPSTREAM CATCHMENT. NOTE THAT THE PERMANENT BIO BASINS SHOWN ON THESE DRAWINGS ARE SIZED FOR THE ULTIMATE CATCHMENT NOT FOR THE CONSTRUCTION PHASE.
  - PLACE A ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
  - PROVIDE KERB INLET PROTECTION TO ALL GULLIES.
  - PLACE A MINIMUM 1.0m WIDE TURF STRIP BEHIND ALL KERBS & IN A HERRINGBONE LAYOUT WITHIN THE ROAD VERGE.
  - MAINTENANCE (INCLUDING FLOCCULATION IF REQUIRED & PUMP OUT) OF ALL CONSTRUCTION SEDIMENT BASINS (WHETHER EXISTING OR NEW).
  - CLEAN OUT OF ALL GROSS POLLUTANT TRAPS, SEDIMENT FOREBAYS & ALL OTHER PERMANENT SEDIMENT CONTROL DEVICES AT BOTH ON & OFF MAINTENANCE.
- CONTRACTOR TO CONFIRM THE EXTENTS OF REQUIRED GRASSING TREATMENTS WITH THE SUPERINTENDENT AT LEAST 7 DAYS PRIOR TO FINAL TRIMMING.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT GRASSING STRIKE RATES ARE ACHIEVED AT THE ON & OFF MAINTENANCE INSPECTIONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS. THIS INCLUDES THE SUPPLY & INSTALLATION OF ANY REQUIRED CHEMICAL/FERTILISER AMELIORATION TO ACHIEVE THE SPECIFIED GRASS STRIKE RATES.
- GEOFABRIC LINING OF CHANNELS & CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
- BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH APPROVED OPEN SPACE MANAGEMENT PLAN & LANDSCAPING OPW. CONTRACT DOCUMENTATION WILL SPECIFY WHETHER THIS IS THE CIVIL CONTRACTOR OR THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY & INSTALL. THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE ACCESS FOR THE LANDSCAPE CONTRACTOR TO PERFORM THEIR WORKS.
- MAINTENANCE PERIOD (PRE TO POST CONSTRUCTION)
  - ALL PROTECTION MEASURES ARE TO BE INSPECTED & MAINTAINED REGULARLY
  - REPAIRS ARE TO BE EFFECTED IMMEDIATELY.
  - SILT AFTER RAIN IS TO BE CLEANED FROM STREETS & ALLOTMENTS IMMEDIATELY & CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE.
  - AT OFF-MAINTENANCE & ONLY WHEN DIRECTED BY COUNCIL, REMOVE & DISPOSE OFFSITE ALL TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.



**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No.: OPW/2019/1241

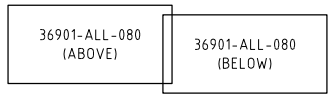
Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING KERB (INVERT)
- - - SW - - - EXISTING STORMWATER
- - - 1.0 - - - EXISTING CONTOURS
- - - SW - - - FUTURE STORMWATER
- - - SITE BOUNDARY
- - - PROPOSED PROPERTY LINE
- - - PROPOSED KERB (INVERT)
- - - SW - - - PROPOSED STORMWATER
- - - 1.0 - - - DESIGN CONTOURS
- MANHOLE
- KERB INLET (ON GRADE) PIT
- KERB INLET (SAG) PIT
- HEADWALL
- SEDIMENT FENCE
- SCOUR PROTECTION
- TEMPORARY SEDIMENT BASIN
- STORMWATER INLET FILTER
- VEHICLE SHAKEDOWN (AT ALL SITE ENTRANCES MIN.)

**SHEET LAYOUT**



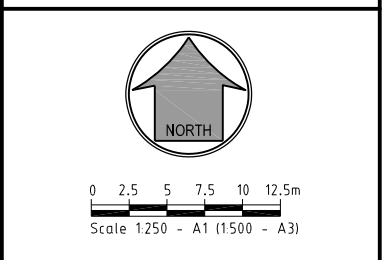
PROVIDE SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION BPESC DOCUMENT.



**NOTE:**  
SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATE TO THE FINISHED SURFACE ONLY AND ARE CONCEPTUAL ONLY. THE CONTRACTOR IS TO PREPARE A SITE SPECIFIC CONSTRUCTION AND MAINTENANCE PHASE SEDIMENT AND EROSION CONTROL PLAN.

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

B	DATE	DESCRIPTION
B	02-10-19	CONTOURS AMENDED
A	26-08-19	COUNCIL ISSUE

PRE DATE AMENDMENT

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ASSOCIATED CONSULTANTS

DRAWING TITLE  
**FINAL SURFACE AND SEDIMENT AND EROSION PLAN SHEET 01**

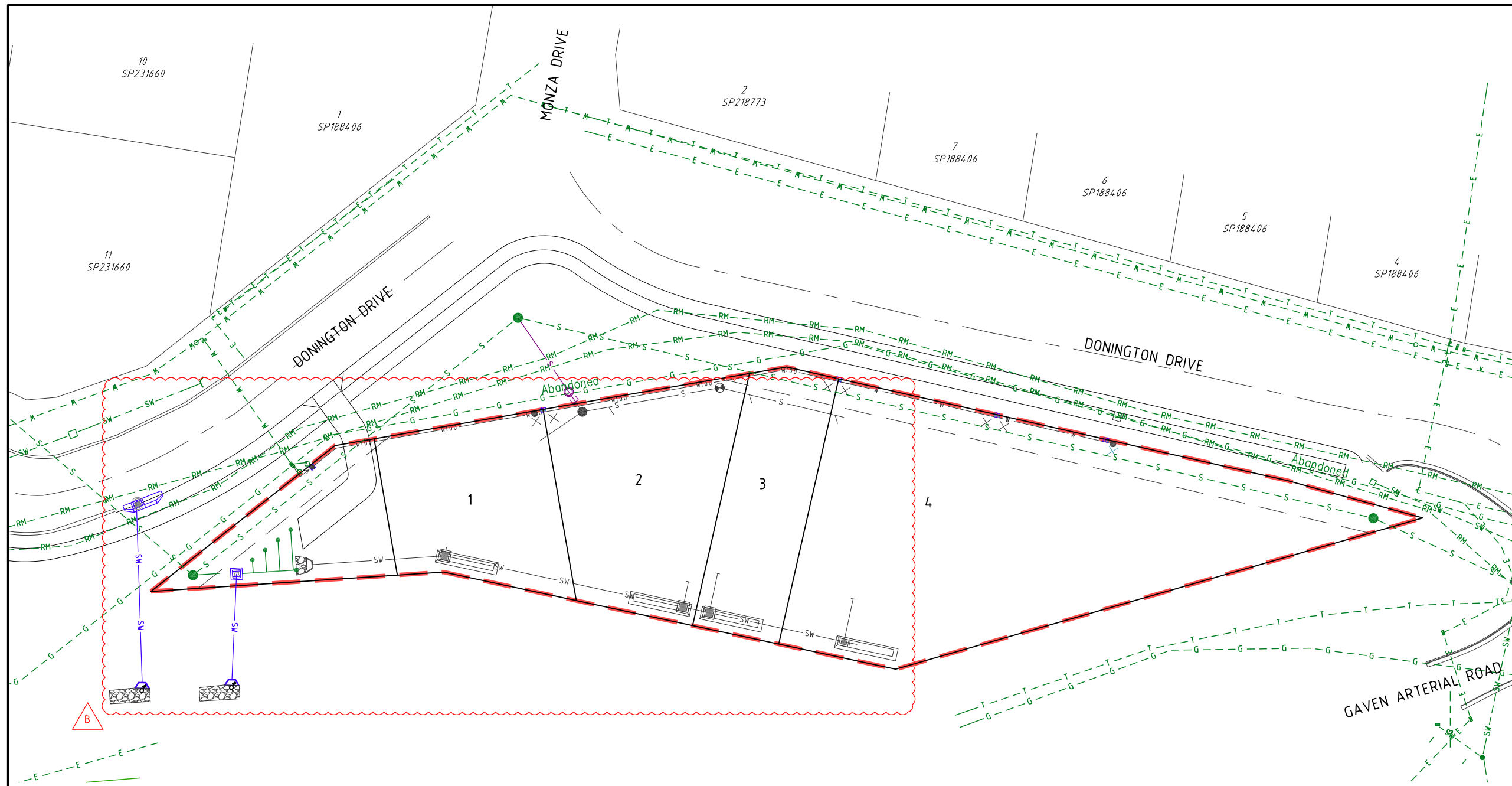
Urban & Regional Planning  
Civil Engineering  
Project Coordination

MUS Pty Ltd T/As:  
Mortons-Urban Solutions  
ABN 39 116 375 065  
www.urbandsolutions.net.au  
www.urbandsolutions.net.au  
Tel 07 5571 1099

Postal Address  
PO Box 2484  
Southport QLD 4215

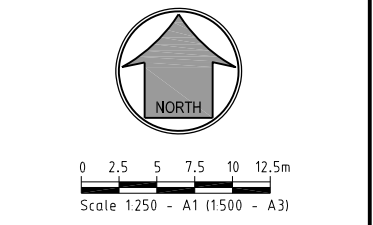
Gold Coast Office  
Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED	RB	DRAWN	EP
APPROVED		PREP	4706
DRAWING NUMBER			AMEND.
36901-ALL-080			B



PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

B	DATE	DESCRIPTION
02-10-19		STORM WATER AND SEWER AMENDED
26-08-19		COUNCIL ISSUE

PRE DATE AMENDMENT  
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DRAWING TITLE  
**COMBINED SERVICES PLAN SHEET 01**

MORTONS urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As: Postal Address  
 Mortons-Urban Solutions PO Box 2484  
 ABN 39 116 375 065 Southport QLD 4215  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au Gold Coast Office  
 Tel 07 5571 1099 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED <i>[Signature]</i>	PREP 4706 DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-090</b>	<b>B</b>

**STORMWATER MANAGEMENT DEVICES INCLUDING THE BIO BASIN IS CONSIDERED INTERNAL AND PRIVATE INFRASTRUCTURE AND IS TO BE OWNED AND MAINTAINED PRIVATELY.**



**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**  
 Application No.: OPW/2019/1241  
 Dated: 28 October 2019  
**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

**VEHICULAR CROSSOVER (VXO)**  
 The vehicular crossover (VXO) is not part of this assessment.  
 Where a new VXO is required, or a change to the existing VXO is necessary, a Vehicular Crossing Permit must be obtained prior to the issuing of a development permit for building work, in accordance with the requirements of Local Law 11.

**CONSTRUCTION SERVICES**

- CONSTRUCTION OF SEWER/ROOFWATER/STORMWATER/SERVICES EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE OF TRENCH & TO PROTECT PIPE WORK & DIRECT SURFACE MATERIAL AWAY FROM EXCAVATIONS. TOPSOIL & GRASS SEED AREAS IN ALLOTMENTS IMMEDIATELY AFTER COMPLETING THE SEWER & ROOFWATER DRAINAGE CONSTRUCTION. DEPRESS GROUND AROUND TEMPORARY FIELD INLETS TO CREATE SILT POND.
- TRIP HAZARD MANHOLES OR STRUCTURES INSTALLED IN THE ROAD, FOOTPATH OR VERGE MUST MATCH NEATLY WITH NO TRIP HAZARD.
- EXISTING SERVICES - EXTERNAL WORKS THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- EXISTING FOOTPATH
- S — S — EXISTING SEWER
- RM — RM — EXISTING RISING MAIN
- SW — SW — EXISTING STORMWATER
- W — W — EXISTING WATER
- G — G — EXISTING GAS
- E — E — EXISTING UNDERGROUND ELECTRICITY
- E — E — EXISTING OVERHEAD ELECTRICITY
- T — T — EXISTING TELSTRA
- S — FUTURE SEWER
- SW — FUTURE STORMWATER
- W100 — W100 — FUTURE WATER
- W150 — FUTURE WATER
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED FOOTPATH
- S — PROPOSED SEWER
- SW — PROPOSED STORMWATER
- SITE BOUNDARY

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**ROADWORKS**

- PAVEMENT DEPTHS
  - THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS ON DRAWING 120.
  - THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB-GRADE TESTS ARE TAKEN. THE CONTRACTOR IS TO PROVIDE THE SUPERINTENDENT A SUBGRADE C.B.R. REPORT PREPARED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER. THE SUPERINTENDENT WILL COORDINATE THE AUTHORITIES APPROVAL OF THE PAVEMENT DESIGN.
  - REFER TO DWG. 120 FOR TYPICAL ROAD SECTIONS.
- TESTING
 

ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS.
- SUBSOIL DRAINS
 

SUBSOIL DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS. SUBSOIL DRAINS SHALL BE PLACED UNDER ALL KERB STRUCTURES & ARE TO BE CONSTRUCTED TO A DEPTH GREATER THAN THAT OF THE INVERT OF THE DEEPEST SERVICE CROSSING.
- MITRE DRAINS
 

MITRE DRAINS ARE TO BE CONSTRUCTED ALONG THE CUT/FILL INTERFACE & SAG/LOW POINTS OF ALL ROADS. CONTRACTOR TO REQUEST DIRECTION FROM SUPERINTENDENT WHETHER TO INSTALL MITRE DRAIN AT ROCK ENCOUNTERED IN SUBGRADE. ALL MITRE DRAINS MUST BE FREE DRAINING & TIE INTO THE ADJACENT SUBSOIL DRAINS.
- ROCK
 

THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR RATES.
- TURF
 

1.0m TURF STRIP TO BE INSTALLED BEHIND THE BACK OF ALL KERBS. A PERPENDICULAR TURF STRIP AT MAXIMUM 10m INCREMENTS MUST BE INSTALLED TO FULL VERGE WIDTH FOR SEDIMENT & EROSION CONTROL PURPOSES.
- KERBS
 

ALL KERBS TO BE CONSTRUCTED IN ACCORDANCE WITH AUTHORITY STANDARDS
- PAVEMENT TIE-IN
 

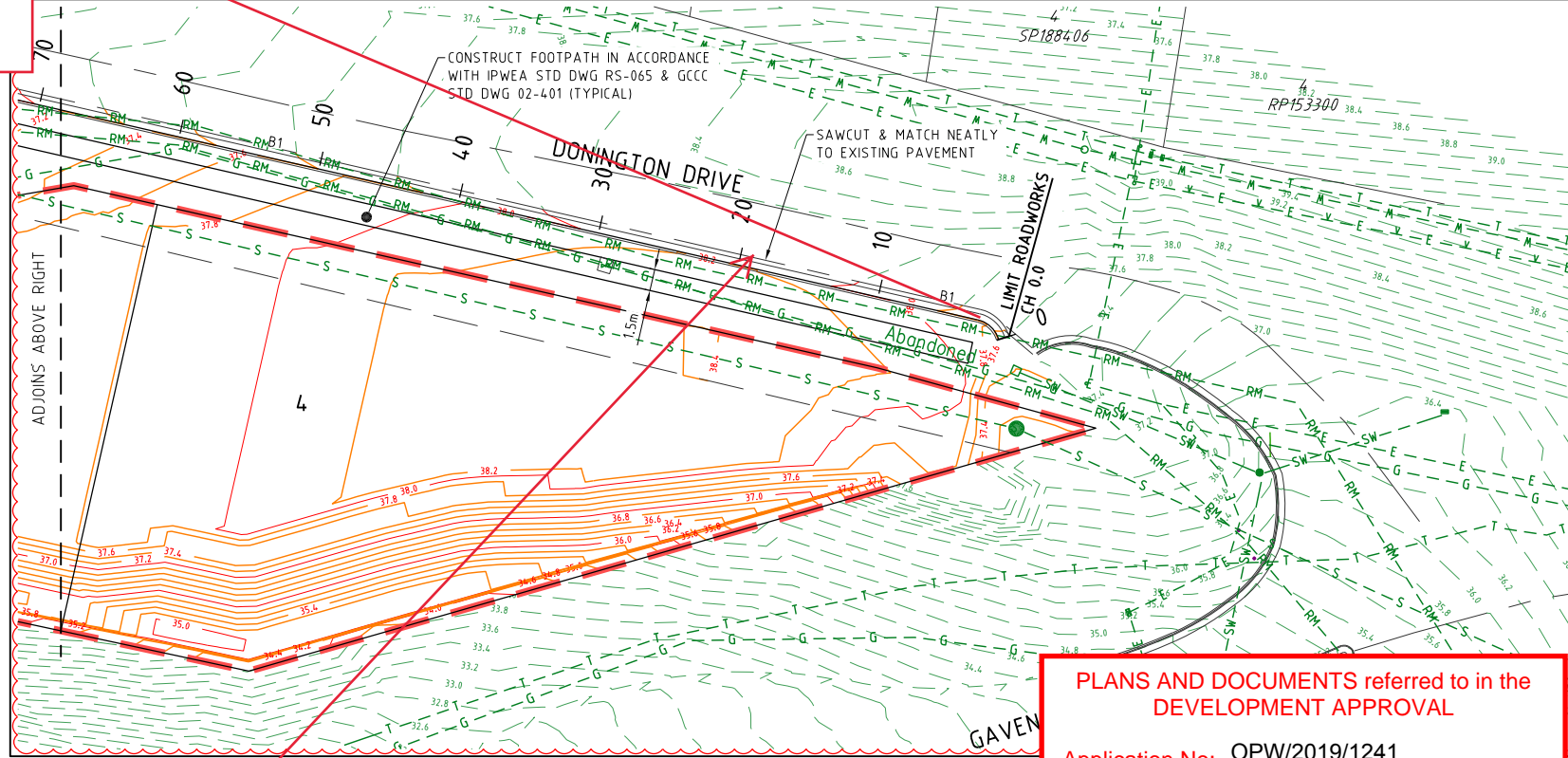
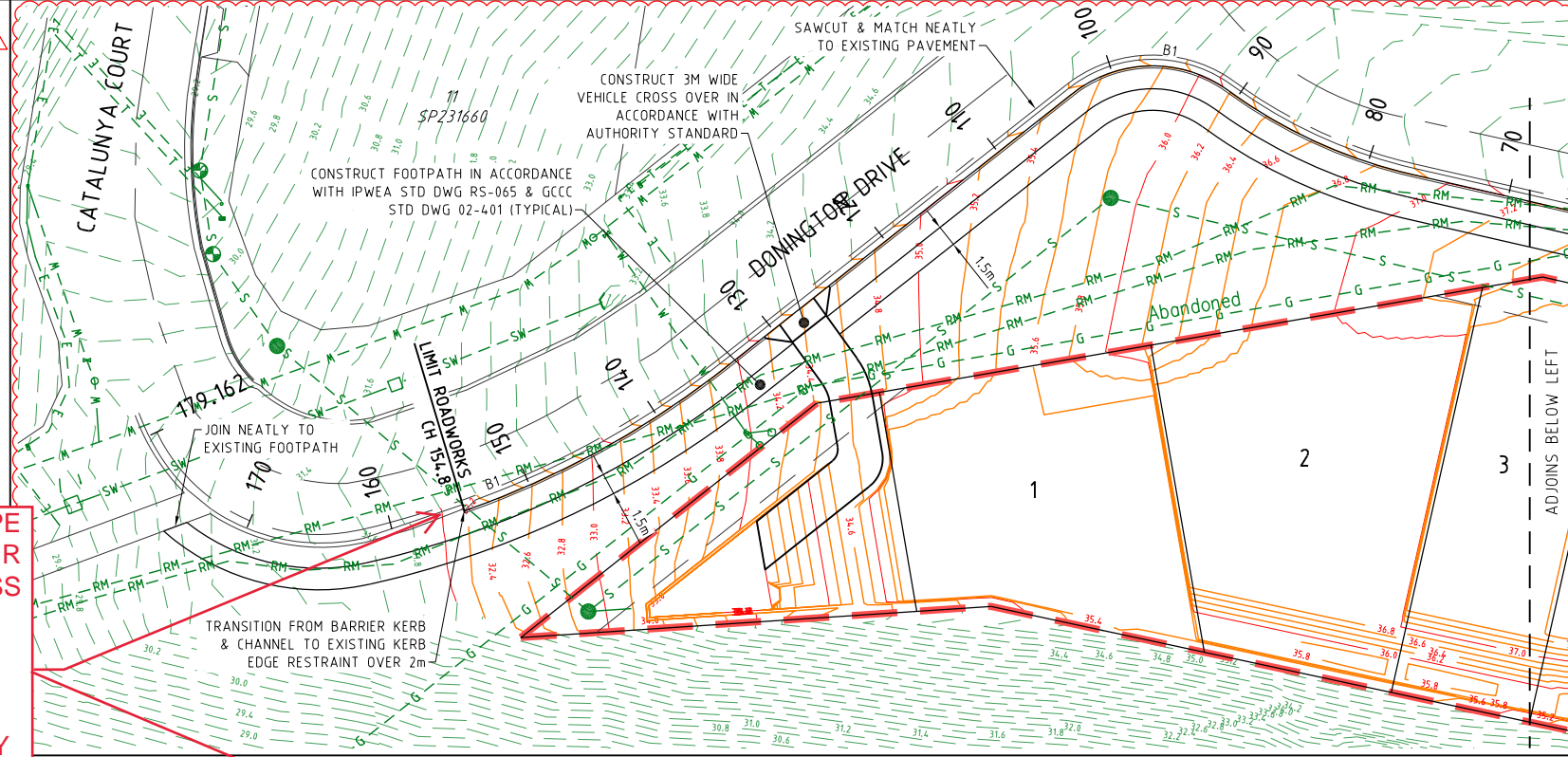
PAVEMENT TIE-IN TO BE IN ACCORDANCE WITH DWG. 120

**EDGE RESTRAINT KERB TYPE TO BE CHANGED TO BARRIER KERB AND CHANNEL ACROSS DONINGTON DRIVE AND CATALUNYA COURT FRONTAGES AS PER CONDITION 9 OF MCU201701129 DATED 1 MAY 2018 (ROL SECTION OF DECISION NOTICE).**

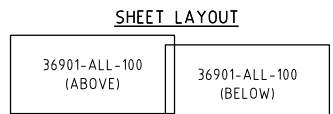
**LEGEND**

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING FOOTPATH
- EXISTING PROPERTY LINE
- S — S — EXISTING SEWER
- RM — RM — EXISTING RISING MAIN
- SW — SW — EXISTING STORMWATER
- W — W — EXISTING WATER
- G — G — EXISTING GAS
- E — E — EXISTING UNDERGROUND ELECTRICITY
- E — E — EXISTING OVERHEAD ELECTRICITY
- T — T — EXISTING TELSTRA
- 1.0 — EXISTING CONTOURS
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED FOOTPATH
- PROPOSED PROPERTY LINE
- SITE BOUNDARY
- 1.0 — DESIGN CONTOURS
- PROPOSED CONCRETE
- 41.065 CENTRELINE CHAINAGE

- REFER TO DRG. 120 FOR KERB TYPES
- B1 BARRIER KERB & CHANNEL
  - B2 BARRIER KERB
  - SM3 SEMI-MOUNTABLE KERB
  - ER2 EDGE RESTRAINT
  - M3 KERB EDGE RESTRAINT (HIGH)
  - M6 (H) KERB EDGE RESTRAINT (HIGH)
  - M6 (L) KERB EDGE RESTRAINT (LOW)
  - B6 MEDIAN KERB (MAJOR ROAD)
  - SM5 SURFACE MEDIAN KERB (MAJOR ROAD)
  - CHANNEL 900 DISH DRAIN (900 WIDE)



**PAVEMENT WIDENING TIE-IN / JOINT TO BE IN ACCORDANCE WITH STANDARD DRAWING IPWEAQ RS-170.**



**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No.: OPW/2019/1241  
 Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

**VEHICULAR CROSSOVER (VXO)**

The vehicular crossover (VXO) is not part of this assessment.  
 Where a new VXO is required, or a change to the existing VXO is necessary, a Vehicular Crossing Permit must be obtained prior to the issuing of a development permit for building work, in accordance with the requirements of Local Law 11.

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**

Scale 1:250 - A1 (1:500 - A3)

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
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ASSOCIATED CONSULTANTS

DRAWING TITLE  
**ROADWORKS PLAN SHEET 01**

Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As:  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099

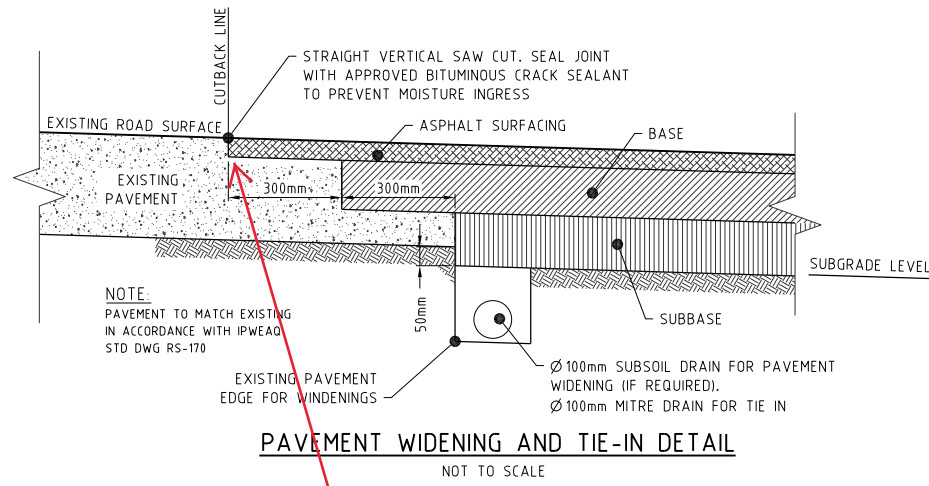
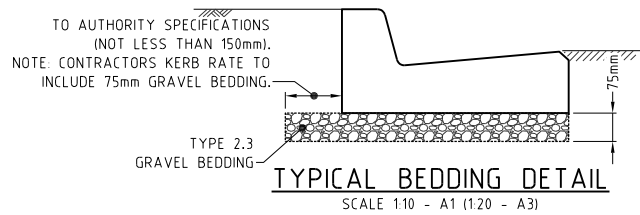
Postal Address  
 PO Box 2484  
 Southport QLD 4215

Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

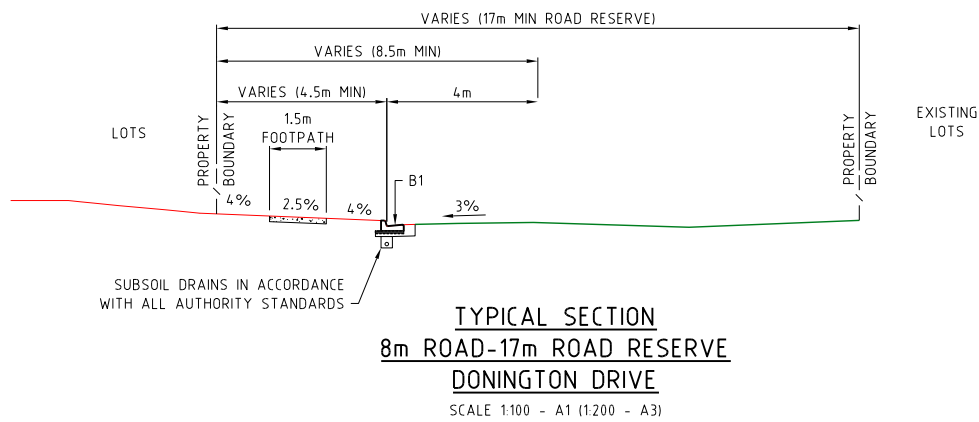
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APPROVED RB	DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-100</b>	<b>B</b>

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SCHEDULE OF KERB TYPES		
KERB TYPE	IMAGE	REFERENCE
B1		IPWEA DWG. RS-080 NOTE: SUBSOIL DRAINS TO BE PLACED UNDER ALL KERBS.

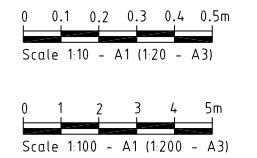


PAVEMENT WIDENING TIE-IN / JOINT TO BE IN ACCORDANCE WITH STANDARD DRAWING IPWEAQ RS-170.



PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE	
TENDER		
COUNCIL	26-08-19	
CONSTRUCTION	-	

PRE DATE	AMENDMENT
A	26-08-19 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS



DRAWING TITLE

ROADWORKS  
DETAILS  
SHEET 01

MUS Pty Ltd T/As: Mortons-Urban Solutions  
ABN 39 116 375 065  
mortons@urbansolutions.net.au  
www.urbansolutions.net.au  
Tel 07 5571 1099

Postal Address: PO Box 2484 Southport QLD 4215  
Gold Coast Office: Suite 9, 19 Short St Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED	PREP 4706 DATE 06-08-19

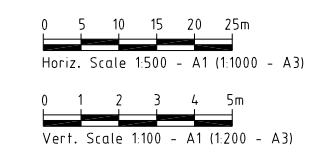
DRAWING NUMBER  
**36901-ALL-120**

AMEND.  
**A**

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL  
Application No: OPW/2019/1241  
Dated: 28 October 2019  
**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

PROJECT NAME  
**DONINGTON DRIVE  
 RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG  
 Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	--

PRE DATE	AMENDMENT
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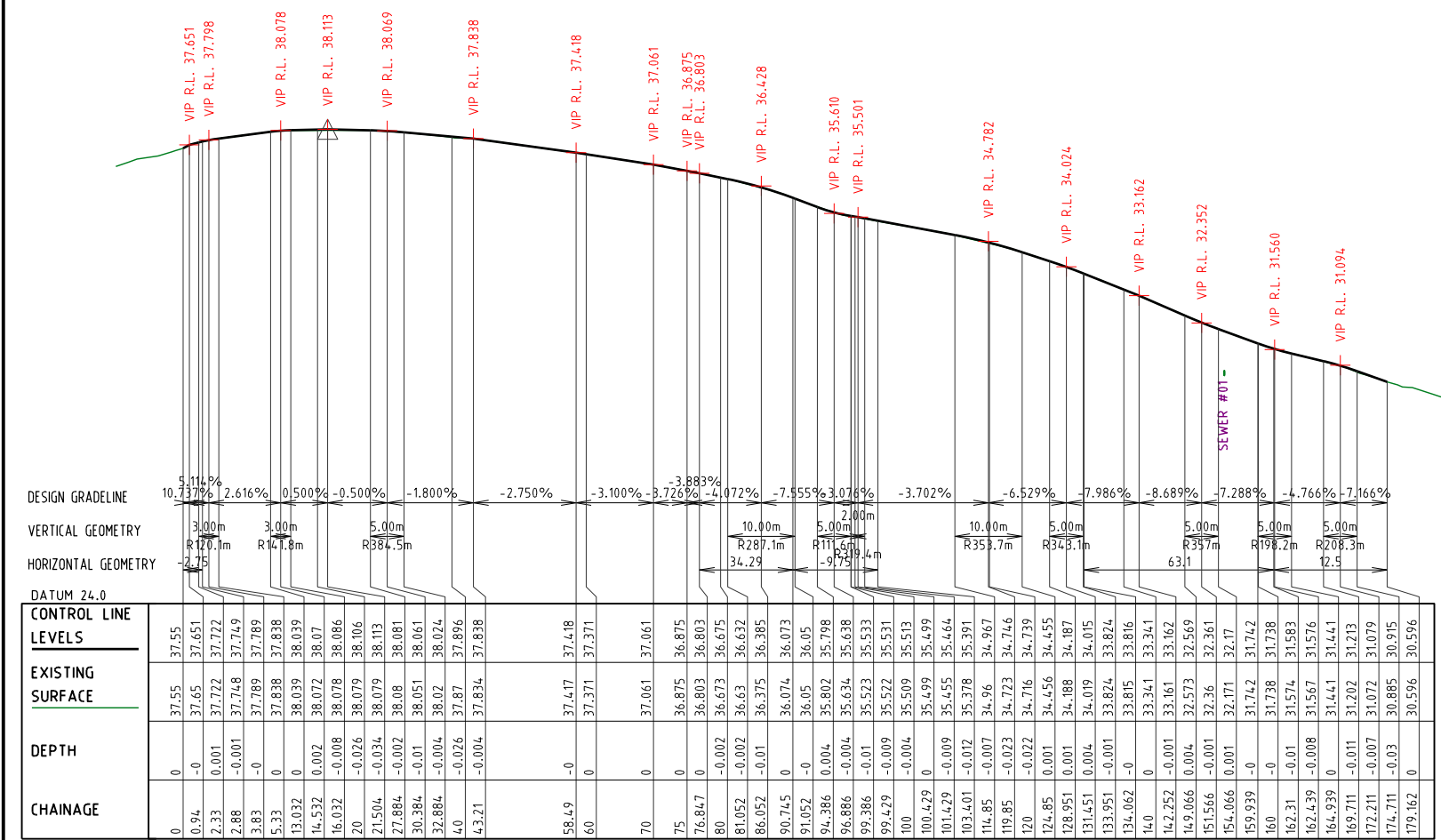
DRAWING TITLE  
**LONGITUDINAL SECTIONS  
 DONONGTON DRIVE**

**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As: Mortons-Urban Solutions  
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APPROVED <i>[Signature]</i>	PREP 4706 DATE 06-08-19
DRAWING NUMBER <b>36901-ALL-200</b>	AMEND. <b>A</b>



LONGITUDINAL DONINGTON DR

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**  
 Application No... OPW/2019/1241  
 Dated: 28 October 2019  
**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

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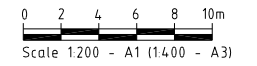
**DONINGTON DRIVE  
RESIDENTIAL**

CIVILWORKS

RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT

**TELLURIUM GG  
Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
A	26-08-19 COUNCIL ISSUE

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DRAWING TITLE

**CROSS SECTIONS  
DONINGTON DRIVE**



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Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED <i>[Signature]</i>	PREP 4706 DATE 06-08-19

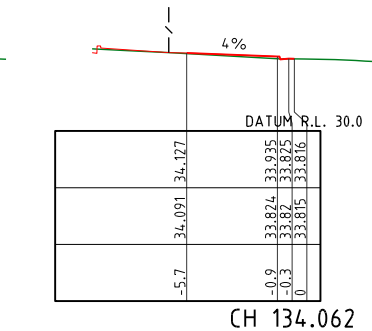
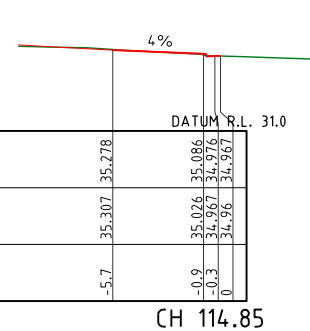
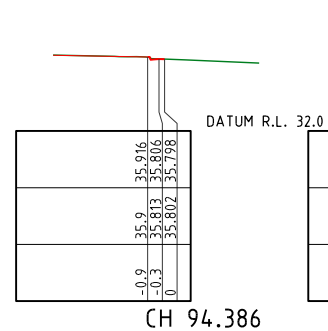
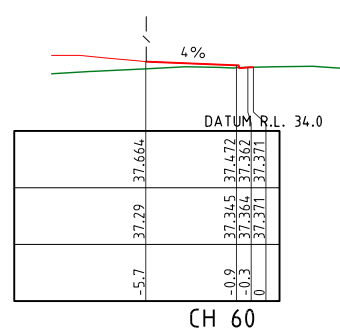
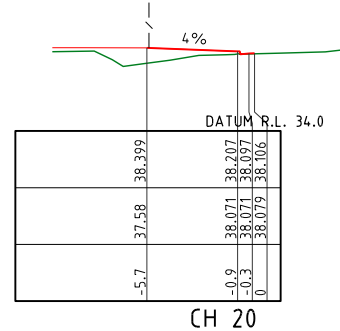
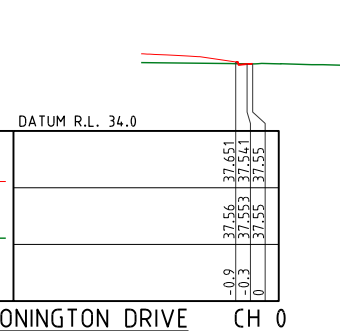
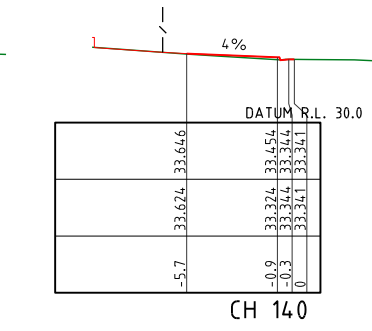
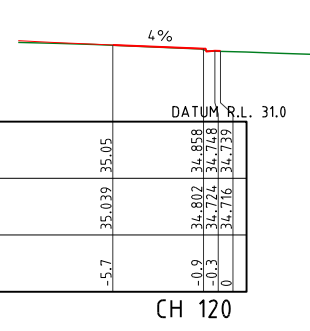
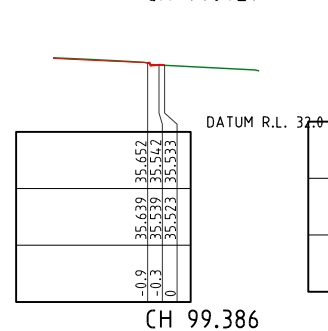
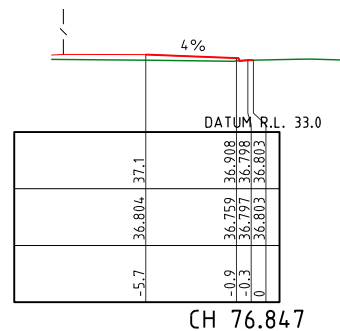
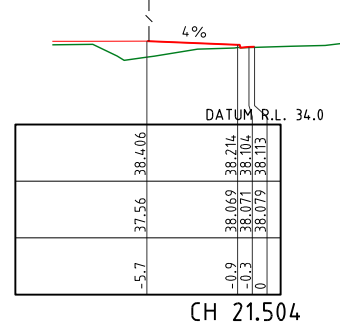
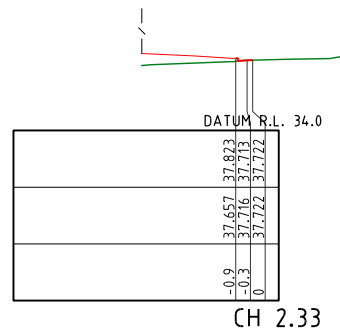
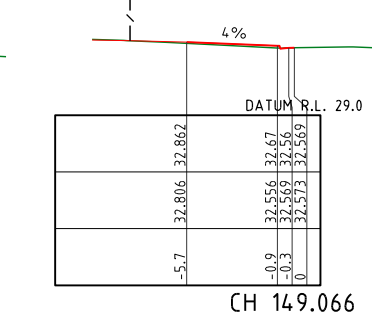
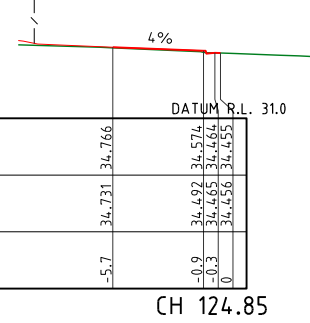
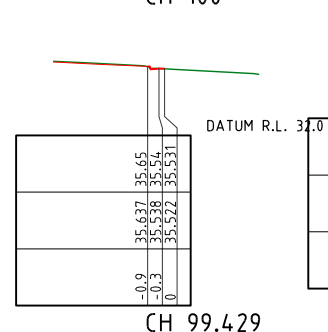
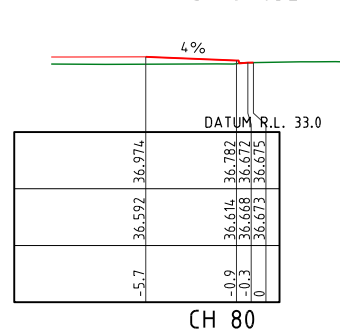
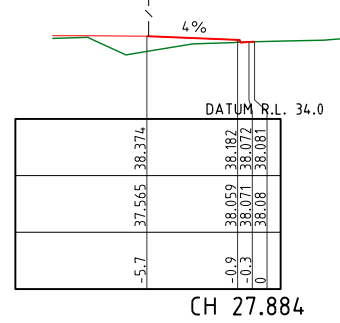
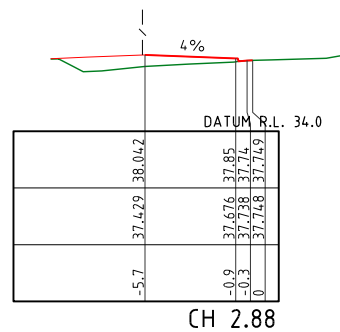
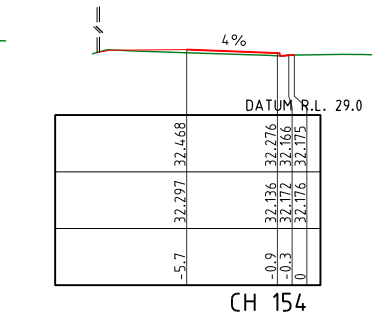
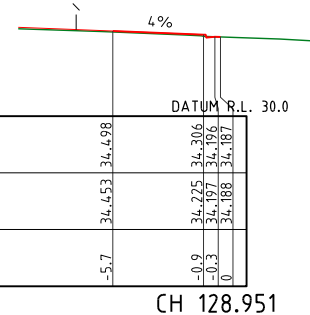
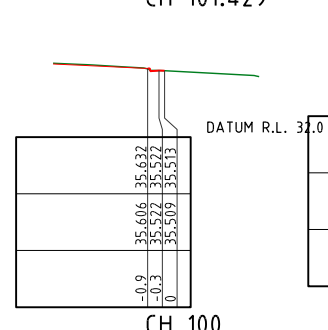
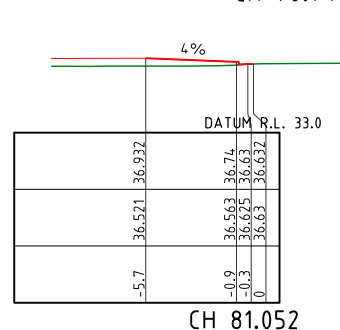
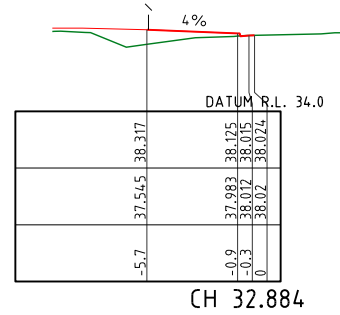
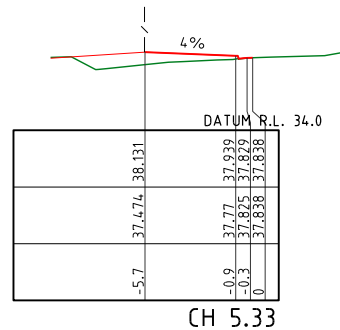
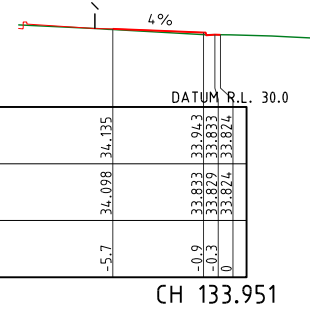
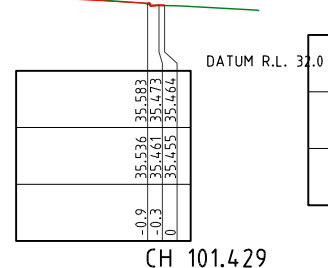
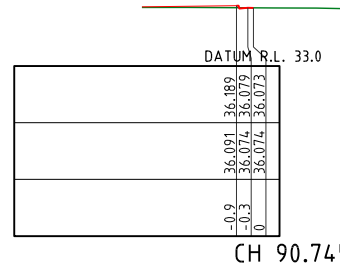
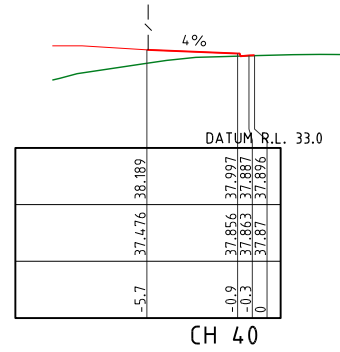
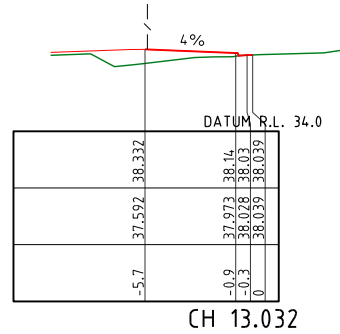
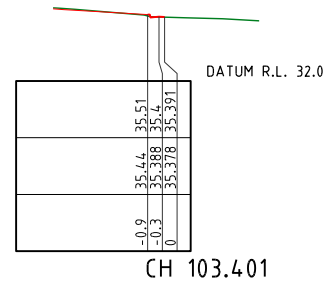
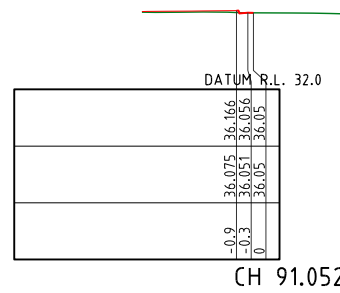
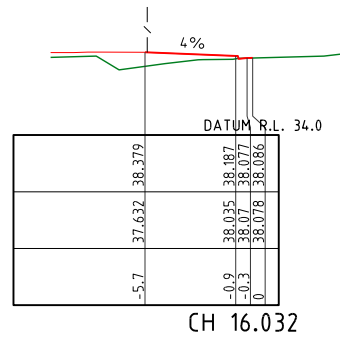
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**PLANS AND DOCUMENTS referred to in the  
DEVELOPMENT APPROVAL**

Application No: OPW/2019/1241

Dated: 28 October 2019

**Development shall comply with the  
conditions of approval as detailed in the  
Decision Notice and Council's Planning  
Scheme, Local Laws and Planning Policies**



**NOTES:**

- REFER TO 070 SERIES FINAL SURFACE PLAN DWGS FOR EARTHWORKS BEYOND ROAD RESERVE.
- CROSS SECTIONS WITH NO TEMPLATE REPRESENT CONTROL LINE LEVELS AT THAT CHAINAGE.

DESIGN SURFACE LEVEL	EXISTING SURFACE LEVEL	OFFSET
-0.9	37.56	37.651
-0.3	37.53	37.541
0	37.55	37.55

DONINGTON DRIVE

CH 0

CH 20

CH 60

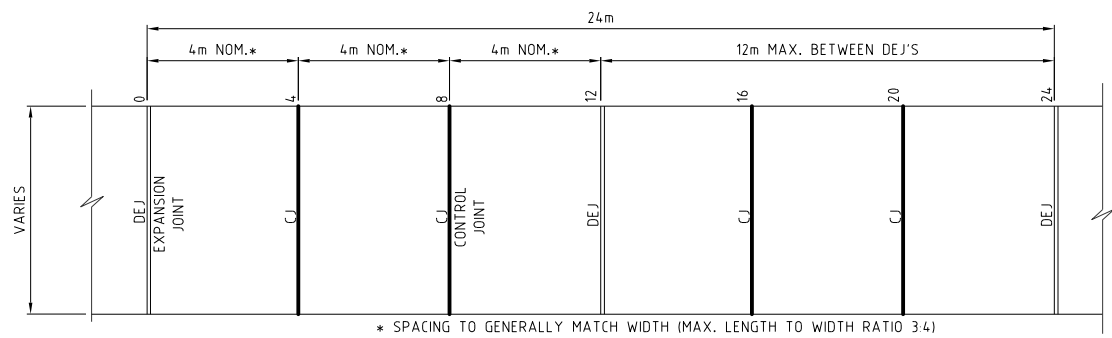
CH 94.386

CH 114.85

CH 134.062

**CONCRETE PAVEMENT DRIVEWAY:**

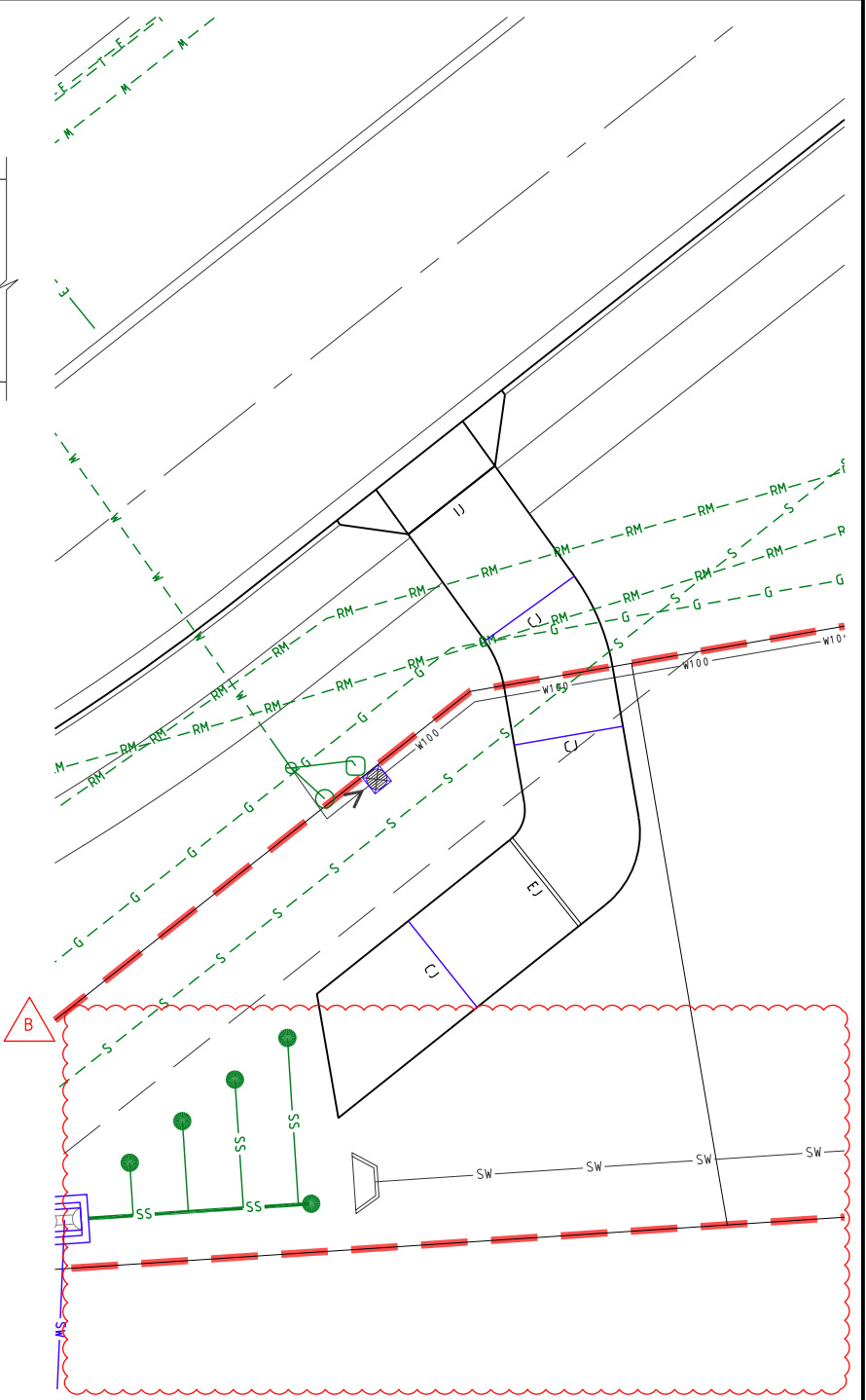
- 1. CONCRETE MIX**  
THE CONCRETE SHALL HAVE A MINIMUM 28 DAY CHARACTERISTIC COMPRESSIVE STRENGTH AS SPECIFIED IN THE SCHEDULE OF CONCRETE PAVEMENTS TABLE, MAXIMUM WATER/CEMENT RATIO OF 0.45 & A MINIMUM CEMENT CONTENT OF 300kg/m<sup>3</sup>.
- 2. SUBGRADE PREPARATION**  
THE SUBGRADE TO THE CONCRETE PAVEMENT AREAS SHALL BE PREPARED THE SAME AS CONVENTIONAL ROADS. REFER TO SCHEDULE OF CONCRETE PAVEMENTS TABLE.
- 3. TRAFFIC**  
TRAFFIC SHALL NOT BE ALLOWED ON THE FINISHED CONCRETE PAVEMENT FOR AT LEAST 14 DAYS AFTER COMPLETION OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING MEASURES TO PREVENT UNAUTHORISED ACCESS.
- 4. JOINTS**  
ALL JOINTS SHALL BE LOCATED GENERALLY PERPENDICULAR TO THE CENTRELINE. ALL CONTROL JOINTS TO BE COMPLETED AS SOON AS CONCRETE HAS CURED SUFFICIENTLY SO AS NOT TO DAMAGE THE SLAB SURFACE. ALL JOINTS ARE TO BE INSTALLED AS DETAILED ON IPWEAQ STD DWG RS-065.
- 5. GENERAL**  
THE GRAVEL PAVEMENT SHALL BE NEATLY PROFILED & TRIMMED TO ENSURE CONSTANT CONCRETE DEPTHS & PROFILES. ACTUAL CONSTRUCTION REQUIREMENTS MAY VARY FROM THE DETAILS SHOWN & THEREFORE ALL CONSTRUCTION DETAILS SHOULD BE VERIFIED BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION COMMENCING. PROVIDE ABLEFLEX BETWEEN KERB & DRIVEWAY.
- 6. COMPLIANCE STANDARDS**  
SLIP RESISTANCE OF SURFACE MATERIALS IN ACCORDANCE WITH AUSTRALIAN STANDARDS.  
AS/NZS 4586: 2013 SLIP RESISTANCE OF NEW PEDESTRIAN SURFACE MATERIALS.  
AS/NZS 4663: 2013 SLIP RESISTANCE MEASUREMENT OF EXISTING PEDESTRIAN SURFACES  
HB A A 197: 1999 "AN INTRODUCTORY GUIDE TO THE SLIP RESISTANCE OF PEDESTRIAN SURFACE MATERIALS"



**TYPICAL CONCRETE PAVEMENT DETAIL FOR DRIVEWAYS AND ROADS**

SCHEDULE OF CONCRETE PAVEMENTS					
FUNCTION	SURFACING	SUBGRADE PREPARATION	THICKNESS 'T'	STRENGTH	REINFORCING
FOOTPATH 1.5 AND 2.0M WIDE	HEAVY BROOM FINISH	50mm SAND BLINDING LAYER	100mm	32 mPa	SL 72 MESH
DRIVEWAY STORMWATER BASIN	HEAVY BROOM FINISH	100mm (CBR 15)	175mm	32 mPa	SL 72 MESH

NOTE: FOOTPATH JOINTING TO BE IN ACCORDANCE WITH IPWEAQ DWG RS-065 SUPERINTENDENT TO CONFIRM SUBGRADE PREPARATION



- LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING KERB
  - PROPERTY LINE
  - FACE OF KERB, FOOTPATHS
  - LIP AND BACK OF KERB
  - CONTROL LINE / CENTER OF ROAD
  - SITE BOUNDARY
  - EJ EXPANSION JOINT
  - DEJ DOWELED EXPANSION JOINT
  - IJ ISOLATION JOINT
  - SJ SAW JOINT
  - CJ CONTROL JOINT
  - KJ KEY JOINT
  - 2xN12 BARS AROUND PENETRATIONS TYP.



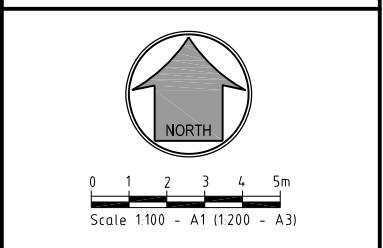
**STORMWATER MANAGEMENT DEVICES INCLUDING THE BIO BASIN IS CONSIDERED INTERNAL AND PRIVATE INFRASTRUCTURE AND IS TO BE OWNED AND MAINTAINED PRIVATELY.**

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**  
Application No.: OPW/2019/1241  
Dated: 28 October 2019  
**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

**VEHICULAR CROSSOVER (VXO)**  
The vehicular crossover (VXO) is not part of this assessment.  
Where a new VXO is required, or a change to the existing VXO is necessary, a Vehicular Crossing Permit must be obtained prior to the issuing of a development permit for building work, in accordance with the requirements of Local Law 11.

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
B 02-10-19	STORMWATER AMENDED
A 26-08-19	COUNCIL ISSUE

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**CONCRETE JOINTING PLAN AND DETAILS SHEET 01**

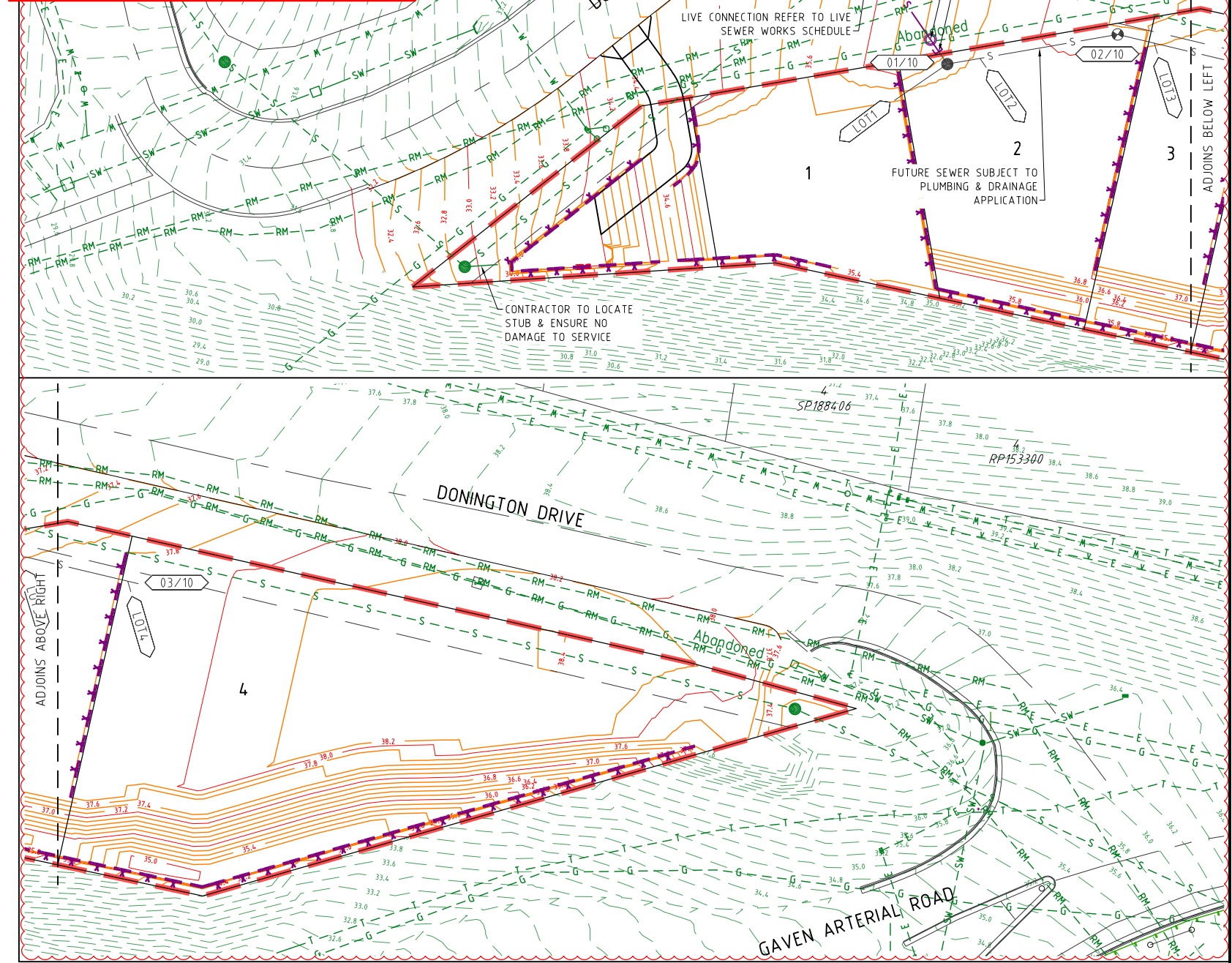


DESIGNED RB	DRAWN EP
APPROVED [Signature]	PREP 4706 DATE 06-08-19
DRAWING NUMBER <b>36901-ALL-410</b>	AMEND. <b>B</b>

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No... OPW/2019/1241  
 Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**



- LIVE CONNECTIONS BY CONTRACTOR**
- THE CONTRACTOR MAY MAKE THE LIVE SEWER & WATER CONNECTIONS UNDER THE WATER AUTHORITY'S SUPERVISION.
  - IF THE CONTRACTOR WISHES TO MAKE THE CONNECTION THEY MUST INDICATE AT TIME OF TENDER & INSERT A LUMP SUM TO COMPLETE THE WORKS.
  - IF THE CONTRACTOR IS TO MAKE THE LIVE CONNECTIONS ALL REQUIREMENTS OF THE WATER AUTHORITY MUST BE ADHERED TO. THESE REQUIREMENTS ARE NOT LIMITED TO BUT MAY INCLUDE:
    - CURRENT FEES PER CONNECTION TO BE PAID BY THE CONTRACTOR.
    - CARRY OUT ALL TESTING AS REQUIRED.
    - SUPPLY ALL DETAILS OF CONNECTION.
    - SUPPLY ALL HEALTH & SAFETY INFORMATION.

**SEWER PIPE SPECIFICATIONS**

SEWER MAIN LOCATION	PIPE MATERIAL SPECIFICATION
GRAVITY VERGE	PVC-U SN8
GRAVITY ROAD CROSSING	PVC-U SN8
HOUSE CONNECTIONS	PVC-U SN6
RISING MAIN TRENCHED	PVC-m SN16
RISING MAIN BORED	PVC-m SN16

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.



**SEQ CODE SEWER NOTES**

- SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-SEW-1101-3.
- VEGETATION PROTECTION**
- TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
  - WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8 m BATTENS CLOSELY SPACED & ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION & REMAIN UNTIL COMPLETION.
  - TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
  - ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.
- SOIL**
- TOPSOIL & SUBSOIL SHALL BE STOCKPILED SEPARATELY.
  - CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
  - IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA. THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL & MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.
- CREEK CROSSINGS**
- SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
  - APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
  - NO SOIL SHALL BE STOCKPILED WITHIN 5 m OF THE CREEK.
- REHABILITATION**
- PREDISTURBANCE SOIL PROFILES & COMPACTION LEVELS SHALL BE REINSTATED.
  - PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.
- SAFETY**
- THE DESIGN & CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.
- GENERAL**
- ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND SEWERAGE CODE SPECIFICATIONS & STANDARDS.
  - UNLESS SPECIFIED OTHERWISE ALL MATERIALS & WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
  - THE CONSTRUCTION OF THE SEWERAGE WORK SHOWN ON THIS DRAWING SHALL BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. SEWERAGE WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO THE SEQ SERVICE PROVIDER SEWERAGE SYSTEM.
  - ALL WORK ASSOCIATED WITH LIVE SEWERS OR MAINTENANCE HOLES SHALL BE CARRIED OUT BY DEVELOPER'S APPROVED CONTRACTOR UNDER THE SUPERVISION OF SEQ'S AGENT AT THE DEVELOPER'S COST.
  - ALL PIPES & MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE "ACCEPTED PRODUCTS & MATERIALS" LIST.
  - EACH ALLOTMENT SHALL BE SERVED BY A DN100 PVC PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A DN160 PE (OR DN150 PVC) PROPERTY CONNECTION SHALL BE PROVIDED.
  - PROPERTY CONNECTIONS SHALL BE LOCATED WITHIN THE PROPERTY AS SHOWN IN THE DRAWINGS.
  - PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 300 mm & A MAXIMUM OF 750 mm. UNITYWATER REQUIRES MINIMUM EXTENSION OF 500 mm INTO PROPERTY.
  - WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300 mm (LOOSE) IN DEPTH & SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH A.S. 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY THE SEQ SERVICE PROVIDER UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED.
  - WHERE SEWERS HAVE A GRADE OF 1 IN 20 OR STEEPER, BULKHEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEQ SEWER CODE.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION & DEPTH OF EXISTING SERVICES WITH RELEVANT AUTHORITIES BEFORE COMMENCING WORKS.
  - SEWERS SHALL BE DISUSED / ABANDONED IN ACCORDANCE WITH PROCEDURES SET OUT IN THE SEQ SEWER CODE.
  - BENCH MARK & LEVELS TO AHD.
  - ~~THE EXISTING DWELLING ON LOT 3, REFER SEQ-SEW-1100, SERVED BY A SEPTIC SYSTEM, SHALL BE CONNECTED TO THE NEW SEWER BY A LICENSED PLUMBER IN ACCORDANCE WITH THE RELEVANT STATUTORY & COUNCIL REQUIREMENTS. THE SEPTIC SYSTEM INCLUDING TRENCHES SHALL BE REMOVED AT THE DEVELOPER'S COST. ALL FIXTURES SHALL BE UPGRADED IF REQUIRED BY PLUMBING CODE. STANDARD NOTE NOT APPLICABLE & THEREFORE DELETED.~~
  - EXISTING ALLOTMENTS REQUIRING A PROPERTY CONNECTION FROM EXISTING SEWERS SHALL BE PROVIDED BY THE SEQ SERVICE PROVIDER AT THE DEVELOPERS COST.

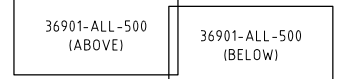
**PROJECT SPECIFIC SEWER NOTES**

- ALL SEWER MAINS TO BE AS PER SEWER PIPE SPECIFICATIONS TABLE.
- NOTWITHSTANDING THE STANDARD SEQ NOTES ABOVE, ALL MATERIALS & WORKS MUST BE IN ACCORDANCE WITH THE SERVICE PROVIDER'S APPROVAL CONDITIONS & THE SEQ WS&S D&C CODE.
- THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR SEWER RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT.
- THE CONTRACTOR TO PROVIDE CALCAREOUS CONCRETE WHERE SPECIFIED IN THE SEQ CODE BY THE RELEVANT AUTHORITY.
- WATER & ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE PRECISE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE, SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDENT'S INSTRUCTION
- ALL BENDS TO BE LONG RADIUS BEND TO MEET MANUFACTURER'S MINIMUM RADIUS REQUIREMENTS U.N.O.
- CONTRACTOR TO VERIFY DOWNSTREAM EXISTING PIPE LEVELS PRIOR TO COMMENCEMENT OF WORKS ON-SITE.
- PROPERTY CONNECTIONS HAVE BEEN DESIGNED TO CONTROL THE REQUIRED SERVICE AREA OF EACH LOT AT A GRADE OF 1:60 & A MAXIMUM DEPTH OF PROPERTY CONNECTION AT 1.5m. UNLESS OTHERWISE STATED.
- CONTRACTOR TO PAY ALL FEES & CHARGES ASSOCIATED WITH CONNECTIONS.

**LEGEND**

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- EXISTING SEWER
- RM --- EXISTING RISING MAIN
- SW --- EXISTING STORMWATER
- W --- EXISTING WATER
- G --- EXISTING GAS
- E --- EXISTING UNDERGROUND ELECTRICITY
- E --- EXISTING OVERHEAD ELECTRICITY
- T --- EXISTING TELSTRA
- 1.0 --- EXISTING CONTOURS
- S --- FUTURE SEWER
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- S --- PROPOSED SEWER
- PROPOSED RETAINING WALL
- SITE BOUNDARY
- 1.0 --- DESIGN CONTOURS
- SEWER MANHOLE
- SEWER BEND
- SEWER MAINTENANCE SHAFT
- 10 SEWER PIT NO./LINE

**SHEET LAYOUT**



**SERVICE PROVIDER AND CONSTRUCTOR LIVE SEWER WORKS SCHEDULE**

No.	Description	Dia. Sewer	MH No.	MH/MS Type	Cover Type	Lot no	F.S.L	E.S.L	I.L	Depth to invert
1(A)	CIVIL CONTRACTOR UNDER GOLD COAST WATER SUPERVISION TO BREAK INTO EXISTING MANHOLE & MAKE GOOD. CONTRACTOR TO CONFIRM EXISTING I.L. PRIOR TO COMMENCEMENT OF EARTHWORKS. LIVE CONNECTION TO BE COMPLETED AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION.	150	06/01	A	B	ROAD RESERVE	35.829	-	32.542	3.307

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS

RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**

NORTH

0 2.5 5 7.5 10 12.5m  
 Scale 1:250 - A1 (1:500 - A3)

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

B	DATE	DESCRIPTION
B	02-10-19	SEWER INSPECTION OPENING, CONTOURS AND NOTE ADDED
A	26-08-19	COUNCIL ISSUE

PRE DATE AMENDMENT

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ASSOCIATED CONSULTANTS

**BIOME**  
 WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE  
**SEWER RETICULATION PLAN SHEET 01**

**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
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 Project Coordination

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DESIGNED	BY	DRAWN	BY
RB		EP	

APPROVED: [Signature] P/REP 4706 DATE 06-08-19

DRAWING NUMBER  
**36901-ALL-500**

AMEND.  
**B**

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SEWER STRUCTURE LIDS	
D	TRAFFICABLE LID
B	NON-TRAFFICABLE LID
M	'M' PREFIX DESIGNATES BOLT DOWN LID

RIGS STRUCTURE TYPES	
P(x)	PRECAST CONCRETE SEWER MAINTENANCE STRUCTURE REFER TO SEQ STD DWG SEQ-SEW-1300-1
A	TYPE 'A' 1050mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
B	TYPE 'B' 1200mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
C	TYPE 'C' 1500mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
J1	TYPE 'J1' MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1314-2
BND	BEND REFER TO SEQ STD DWGS SEQ-SEW-1314-3
RE	RODDING END MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1314-1
END	PROPRIETARY END CAP
PS	SEWER PUMP STATION REFER TO RELEVANT SEQ STD DWGS
RCM	RECEIVING MAINTENANCE STRUCTURE REFER TO RELEVANT SEQ STD SEWER PUMP STATION DWGS
G6	TYPE 'G6' TERMINAL MAINTENANCE SHAFT REFER TO SEQ STD DWGS SEQ-SEW-1314-1

RIGS STRUCTURE DROPS	
V	STRAIGHT THROUGH SEWER REFER TO SEQ STD DWG SEQ-SEW-1303-1
W	OBLIQUE BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1
X	INTERNAL BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1
Y	EXTERNAL BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1

RIGS STRUCTURE DROPS	
A	SEWER PROPERTY CONNECTION (STANDARD & EXTENDED) REFER TO SEQ STD DWGS SEQ-SEW-1104-1
B	SEWER PROPERTY CONNECTION (SLOPED CONNECTION) REFER TO SEQ STD DWGS SEQ-SEW-1104-1
D	SEWER PROPERTY CONNECTION (VERTICAL RISER) REFER TO SEQ STD DWG SEQ-SEW-1105-1
V	SEWER PROPERTY CONNECTION (STRAIGHT THROUGH SEWER) REFER TO SEQ STD DWG SEQ-SEW-1303-1
X	SEWER PROPERTY CONNECTION (INTERNAL BACKDROP) REFER TO SEQ STD DWG SEQ-SEW-1303-1
Z	RISER CONNECTION TO PORTION OF MAINTENANCE SHAFT



### STRUCTURE TYPE LID CLASS DROP TYPE

\* CONSTRUCT BRIDGING STRUCTURE SPANNING THE SEWER TRENCH REFER TYPICAL SECTIONS & DETAILS FOR BRIDGING STRUCTURE DETAILS

TRENCHSTOPS, BULKHEADS & CONCRETE ENCASUREMENTS TO BE INSTALLED IN ACCORDANCE WITH SEQ SEWER CODE

#### NOTES

- IF SHOWN, WATER AND ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE, SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDENTS INSTRUCTION
- ALL GRAVITY UPVC SEWER PIPE TO BE CLASS SN8 U.N.O.
- ALL PRESSURE MAIN UPVC SEWER PIPE TO BE CLASS SN16 U.N.O.
- ALL EMBEDMENT TYPE IS TO BE TYPE 3 U.N.O.
- ALL BENDS TO BE LONG RADIUS BEND, 3m RADIUS
- CONTRACTOR TO VERIFY DOWNSTREAM EXISTING PIPE LEVELS PRIOR TO COMMENCEMENT OF PIPEWORK
- PROTECTIVE COATING IS TO BE INSTALLED TO MAINTENANCE STRUCTURES (WHERE REQUIRED) IN ACCORDANCE WITH CLAUSE 4.7.2 OF SEQ SEWERAGE CODE.
- WHERE MANHOLE STRUCTURE DEPTHS ARE DEEPER THAN 6m OR ARE NOT COVERED BY THE SEQ WATER SUPPLY AND SEWERAGE DESIGN AND CONSTRUCTION CODE, THE CONTRACTOR IS TO PROVIDE STRUCTURAL DESIGN AND CERTIFICATION OF THESE STRUCTURES. THIS IS DEEMED TO BE INCLUDED WITHIN THE CONTRACTOR'S RATE FOR THESE STRUCTURES.
- LID LEVEL TO BE UNDEVELOPED AREA= +300mm LOTS, GRASS VERGE= +50mm ALL HARD SURFACES= FLUSH

PIPE DIAMETER (mm)

PIPE GRADE

DATUM R.L.

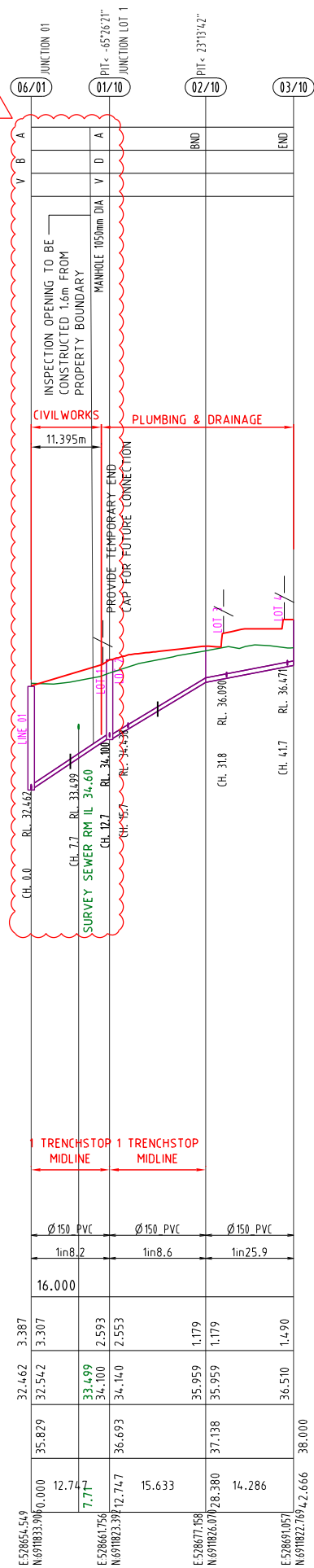
DEPTH TO INVERT

PIPE INVERT LEVELS

DESIGN SURFACE LEVELS

CHAINAGE

LINE NO.



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

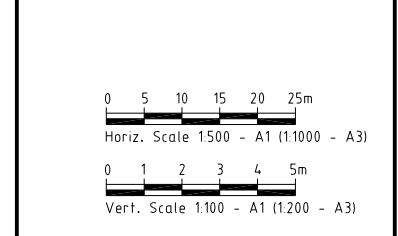
Application No: OPW/2019/1241

Dated: 28 October 2019

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	--

PRE DATE	AMENDMENT
B 02-10-19	SEWER PROFILE AMENDED
A 26-08-19	COUNCIL ISSUE

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DRAWING TITLE  
**SEWER RETICULATION PROFILES SHEET 01**

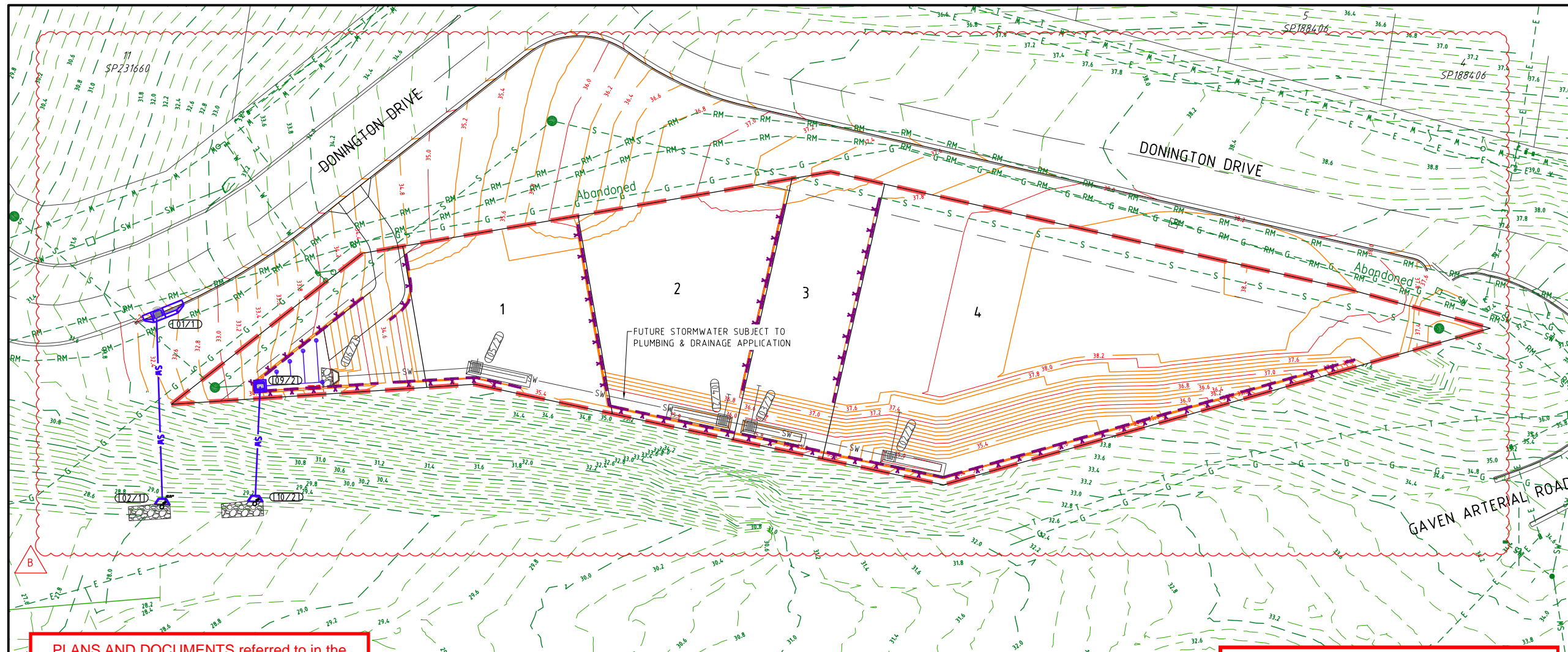
**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
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DESIGNED	RB	DRAWN	EP
APPROVED	<i>[Signature]</i>	DATE	06-08-19
DRAWING NUMBER	36901-ALL-530	AMEND.	B

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**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No: OPW/2019/1241

Dated: 28 October 2019

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

**STORMWATER MANAGEMENT DEVICES INCLUDING THE BIO BASIN IS CONSIDERED INTERNAL AND PRIVATE INFRASTRUCTURE AND IS TO BE OWNED AND MAINTAINED PRIVATELY.**

**VEHICULAR CROSSOVER (VXO)**  
The vehicular crossover (VXO) is not part of this assessment. Where a new VXO is required, or a change to the existing VXO is necessary, a Vehicular Crossing Permit must be obtained prior to the issuing of a development permit for building work, in accordance with the requirements of Local Law 11.

**STORMWATER**

- ALL FIELD GULLIES SHALL CONTAIN A 150mm DIA STUB 600mm BELOW GRADE LEVEL FOR FUTURE ROOFWATER DRAINAGE.
- MANHOLES TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DS-015, DS-018, DS-019, DS-020, DS-021 OR STRUCTURAL DRAWINGS (STRUCTURAL DRAWINGS TAKE PRECEDENCE).
- OUTLET HEADWALLS TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS.
- ALL HEADWALLS WITH A FALL GREATER THAN 900mm HIGH REQUIRE INSTALLATION OF PEDESTRIAN SAFETY FENCES.
- ALL PIPES 600mm DIA OR LESS TO BE SOCKETED CONCRETE PIPES WITH RUBBER RING JOINTS. PIPED GREATER THAN 600mm DIA SHALL BE BUTT OR FLUSH JOINTED.
- ALL ALLOTMENTS TO BE GRADED SUCH THAT FUTURE ROOFWATER DRAINAGE DISCHARGES TO KERB OR TO PIPED DRAINAGE SYSTEM.
- ALL PIPE 300mm DIA & GREATER SHALL BE CONSTRUCTED USING SRC OR FRC PIPES. CONTRACTOR MAY ELECT TO USE PVC PIPES WITHIN ALLOTMENTS FOR PIPES SMALLER THAN 300mm DIA.
- FOR SETOUT DETAILS REFER TO 640 SERIES DRAWINGS (PROFILES & PIT DETAILS).
- GULLY PITS TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DS-060, DS-061, DS-062, DS-063, WHERE PITS ARE CONSTRUCTED AS DRAINWAY PITS, TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWINGS No 05-068.
- LOTS WHICH CAN DRAIN OVERLAND FLOW TO THE STREET SWALE / DRAINAGE WITHOUT FLOWING THROUGH ADJOINING PROPERTIES NEED TO PROVIDE FOR Q100 OVERLAND FLOW TO THE ROAD
- LOT EARTHWORKS DURING BUILDING CONSTRUCTION MUST NOT CHANGE FLOW PATH DIRECTION UNLESS IT IS REPLACED WITH ANOTHER FLOW PATH DRAINING TO THE ROAD SWALE / DRAINAGE.
- THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR STORMWATER RATE.
- PIPE CLASS - PIPE CLASSES/TRENCH BEDDING SHOWN ON THE DRAWINGS ARE SUBJECT TO THE CONTRACTORS PREFERRED INSTALLATION METHOD. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE APPROPRIATE PIPE CLASSES & BEDDING, & CONSIDERING CONSTRUCTION LOADING.
- KERB ADAPTORS ARE TO BE INSTALLED TO AUTHORITIES REQUIREMENTS.
- ALL RCBC SLABS ARE TO BE CAST INSITU.

**LEGEND**

- EXISTING KERB (INVERT)
  - EXISTING KERB (LIP & BACK)
  - EXISTING PROPERTY LINE
  - EXISTING STORMWATER
  - EXISTING SEWER
  - EXISTING RISING MAIN
  - EXISTING WATER
  - EXISTING GAS
  - EXISTING UNDERGROUND ELECTRICITY
  - EXISTING OVERHEAD ELECTRICITY
  - EXISTING TELSTRA
  - EXISTING CONTOURS
  - SW — FUTURE STORMWATER
  - SITE BOUNDARY
  - CONTROL LINE / CENTER OF ROAD
  - PROPOSED KERB (INVERT)
  - PROPOSED KERB (LIP & BACK)
  - PROPOSED PROPERTY LINE
  - PROPOSED RETAINING WALL
  - 1.0 — DESIGN CONTOURS
  - SW — PROPOSED STORMWATER
- MANHOLE
  - FIELD INLET
  - ▭ KERB INLET (ON GRADE) PIT
  - ▭ KERB INLET (SAG) PIT
  - ▭ HEADWALL
  - ▭ SCOUR PROTECTION
  - (10/001) DRAINAGE PIT & LINE NO.



**REFERENCE POINT LOCATION FOR DRAINAGE STRUCTURES**

STRUCTURE TYPE	HORIZONTAL CONTROL (Reference Point Location)	VERTICAL CONTROL (Reference Level)
MANHOLE / GRATED PIT	CENTRE OF MANHOLE / PIT	FINISHED SURFACE LEVEL
GULLY PIT	LIP AT CENTRE OF PIT	FINISHED SURFACE LEVEL (LIP OF CHANNEL)
HEADWALL	INTERSECTION OF HEADWALL FACE & PIPE CENTRELINE	INVERT LEVEL

REFER TO DWG SERIES 640 FOR ALL DRAINAGE STRUCTURE SETOUT AND/OR CUSTOM DETAILS.

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



0 2.5 5 7.5 10 12.5m  
Scale 1:250 - A1 (1:500 - A3)

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
B 02-10-19	STORMWATER AND CONTOURS AMENDED
A 26-08-19	COUNCIL ISSUE

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ASSOCIATED CONSULTANTS



DRAWING TITLE

**STORMWATER DRAINAGE PLAN SHEET 01**



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Suite 9, 19 Short St  
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DESIGNED RB	DRAWN EP
APPROVED RB	PER 4706 DATE 06-08-19

DRAWING NUMBER	AMEND.
<b>36901-ALL-600</b>	<b>B</b>

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STRUCTURE NAME

STRUCTURE DESCRIPTION



NOTES

- 1. WHERE STRUCTURE DEPTHS ARE 0m TO 3m REFER TO IPWEA STANDARD DRAWINGS FOR STRUCTURE DETAILS. WHERE STRUCTURE DEPTHS ARE 3m TO 5m REFER TO TMR STANDARD DRAWINGS FOR STRUCTURE DETAILS. WHERE STRUCTURE DEPTHS EXCEED 5m STRUCTURES ARE NON-STANDARD AND STRUCTURAL DESIGN IS REQUIRED. 2. STRUCTURAL DESIGN IS NOT PROVIDED AS PART OF THE TENDER DOCUMENTS, THE CONTRACTOR SHALL INCLUDE IN THEIR PRICE THE STRUCTURAL DESIGN AND CERTIFICATION OF THESE STRUCTURES.

PIPE GRADE (%)

PIPE DIAMETER (mm)

VELOCITY (m/s)

PIPE FLOW (m3/s)

PIPE CLASS

DATUM R.L.

DEPTH TO INVERT

HYDRAULIC GRADE LINE

PIPE INVERT LEVELS

DESIGN SURFACE LEVELS

EXISTING SURFACE LEVELS

CHAINAGE

DRAINAGE LINE

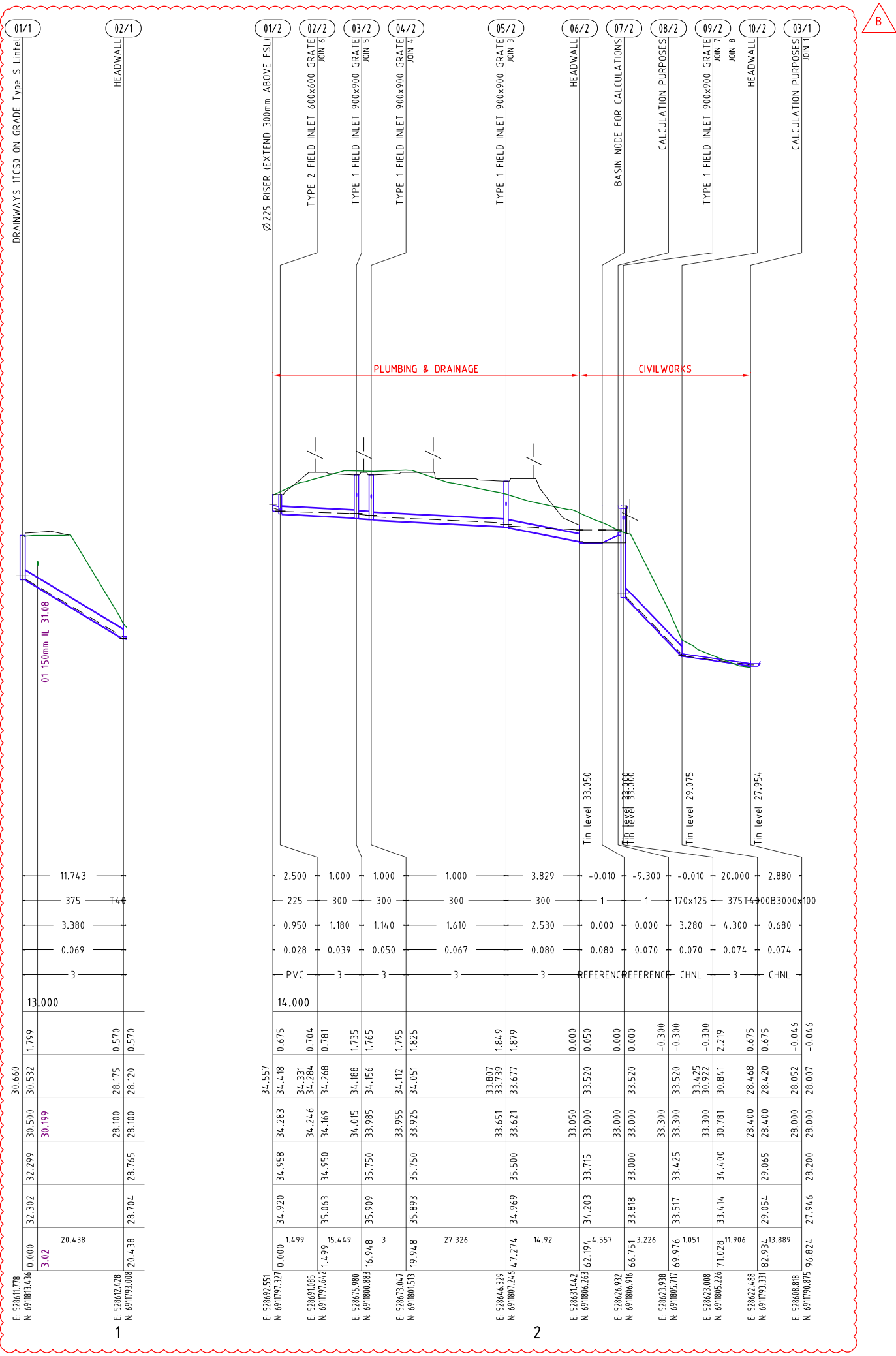
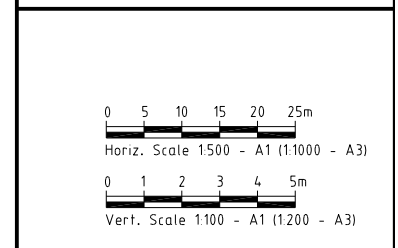


Table with 2 columns: Stationing (Easting/Northing) and Elevation/Depth. Includes values like 01/1, 02/1, 01/2, 02/2, 03/2, 04/2, 05/2, 06/2, 07/2, 08/2, 09/2, 10/2, 03/1.

Main data table with 10 columns: Stationing, Invert Level, Pipe Diameter, Velocity, Flow, Class, Datum R.L., Depth to Invert, Hydraulic Grade Line, Design Surface Level, Existing Surface Level, Chainage. Includes pipe grades like 2.500, 1.000, 1.000, 1.000, 3.829, -0.010, -9.300, -0.010, 20.000, 2.880.

PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES table with columns: ISSUES, DATE, TENDER, COUNCIL, CONSTRUCTION.

PRE DATE and AMENDMENT table with columns: PRE DATE, AMENDMENT.

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ASSOCIATED CONSULTANTS  
**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

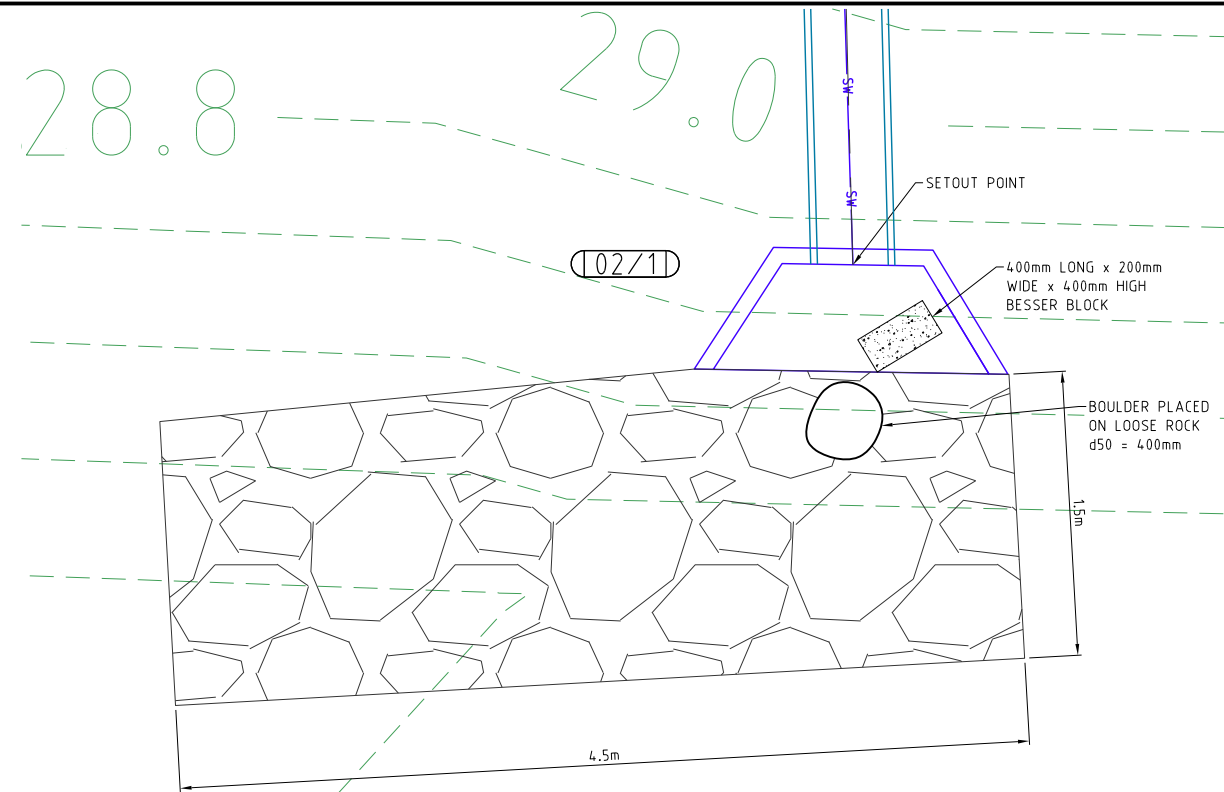
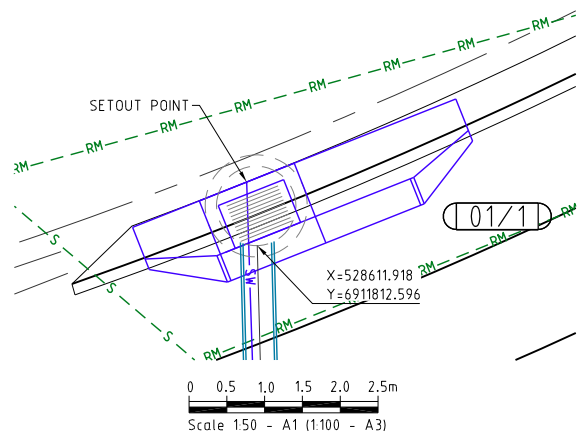
DRAWING TITLE  
**STORMWATER PROFILES SHEET 01**

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL  
Application No... OPW/2019/1241  
Dated: 28 October 2019  
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

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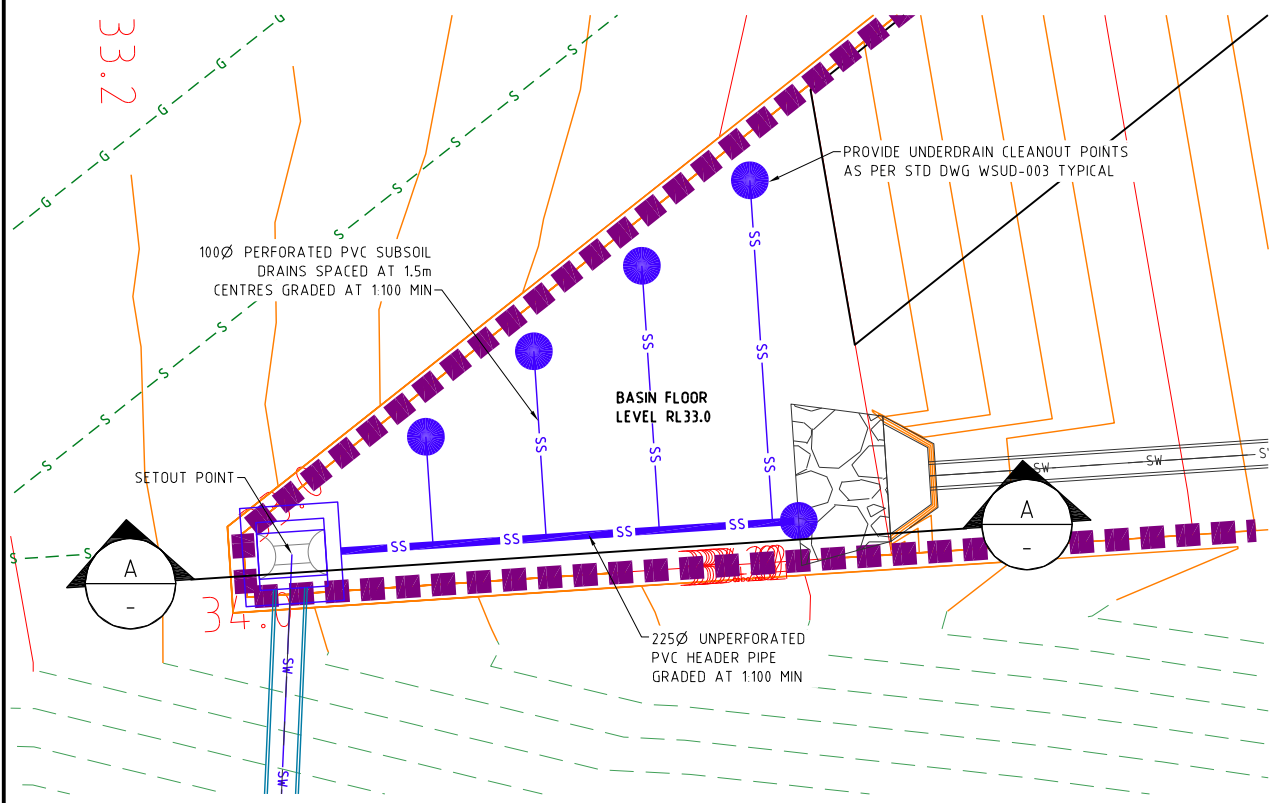
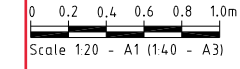
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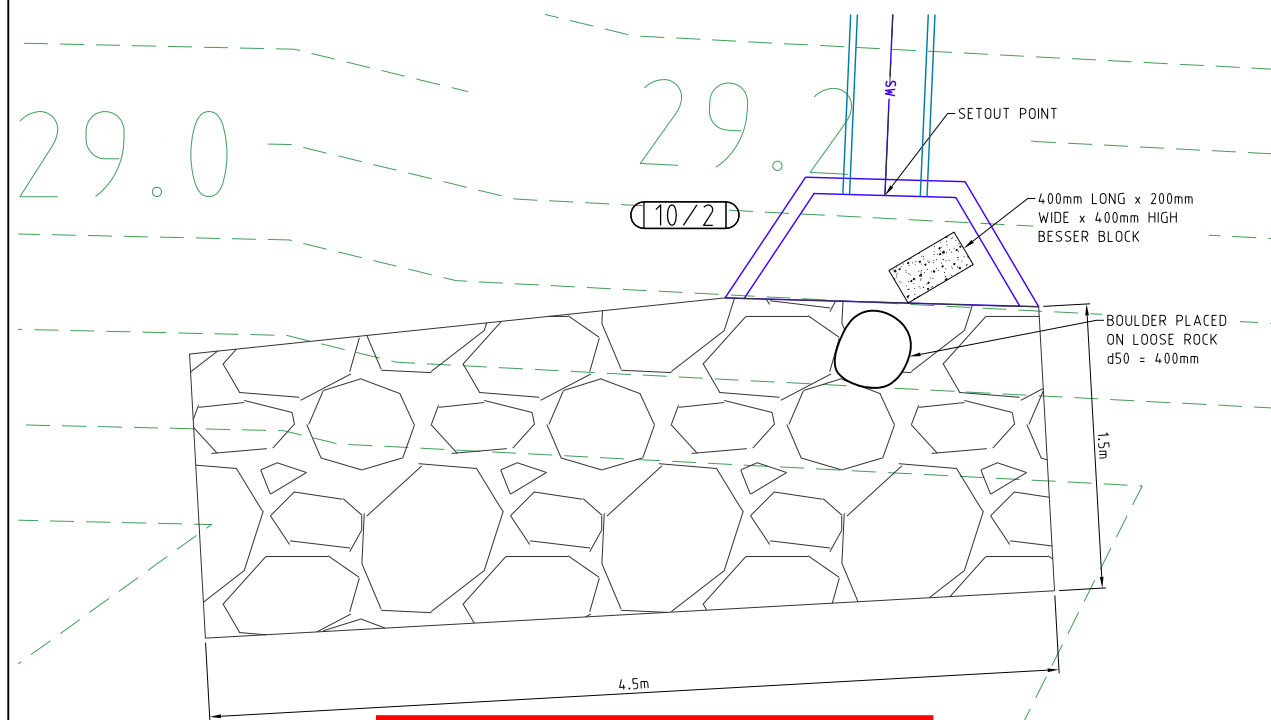


SCOUR PROTECTION DESIGN	
HW 02/1	SIZE 375mm
VELOCITY = 3.38m/s	
LENGTH = 4.5m d50 = 200mm	
SCOUR PROTECTION TYPE = LOOSE ROCK 300mm THICK	
CALCULATIONS UNDERTAKEN USING FIGURE 8.12 FROM QUDM 2016	

**STORMWATER MANAGEMENT DEVICES INCLUDING THE BIO BASIN IS CONSIDERED INTERNAL AND PRIVATE INFRASTRUCTURE AND IS TO BE OWNED AND MAINTAINED PRIVATELY.**



**BASIN DETAIL**  
SCALE 1:50 - A1 (1:100 - A3)



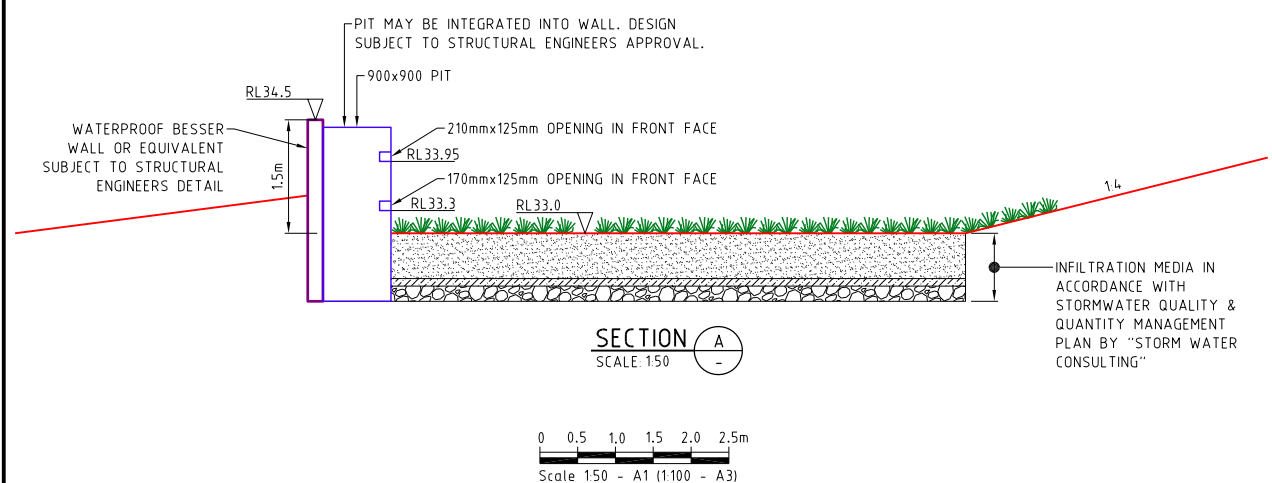
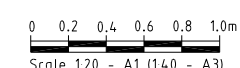
SCOUR PROTECTION DESIGN	
HW 10/2	SIZE 375mm
VELOCITY = 4.3m/s	
LENGTH = 4.5m d50 = 200mm	
SCOUR PROTECTION TYPE = LOOSE ROCK 300mm THICK	
CALCULATIONS UNDERTAKEN USING FIGURE 8.12 FROM QUDM 2016	

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

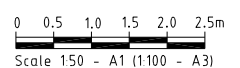
Application No: OPW/2019/1241

Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**



**SECTION A**  
SCALE 1:50



PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
CIVILWORKS  
RP DESCRIPTION  
Lot 3 on SP275769  
DONINGTON DRIVE  
LOCALITY OF OXFENFORD  
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
A	26-08-19 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS  
**BIOME**  
WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE  
**STORMWATER DETAILS SHEET 01**

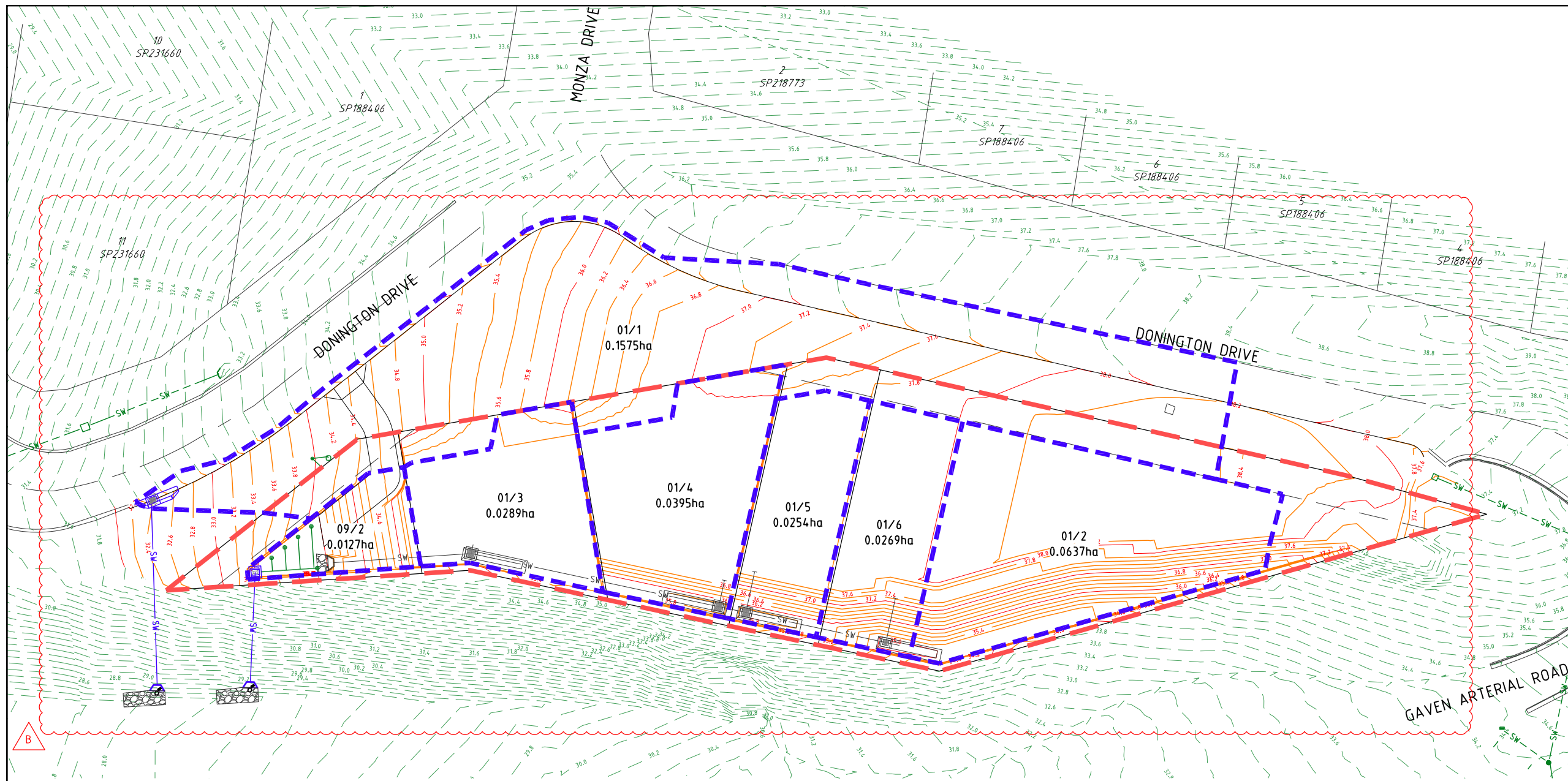
**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

MUS Pty Ltd T/As: Mortons-Urban Solutions  
ABN 39 116 375 065  
mortons@urbansolutions.net.au  
www.urbansolutions.net.au  
Tel 07 5571 1099

Postal Address: PO Box 2484 Southport QLD 4215  
Gold Coast Office: Suite 9, 19 Short St Southport QLD 4215

DESIGNED	RB	DRAWN	EP
APPROVED			
DRAWING NUMBER		AMEND.	
36901-ALL-640		A	

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PROJECT NAME  
**DONINGTON DRIVE RESIDENTIAL**  
 CIVILWORKS  
 RP DESCRIPTION  
 Lot 3 on SP275769  
 DONINGTON DRIVE  
 LOCALITY OF OXFENFORD  
 LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT  
**TELLURIUM GG Pty Ltd**



0 2.5 5 7.5 10 12.5m  
 Scale 1:250 - A1 (1:500 - A3)

ISSUES	DATE
TENDER	
COUNCIL	26-08-19
CONSTRUCTION	

PRE DATE	AMENDMENT
B 02-10-19	STORM AND CONTOURS AMENDED
A 26-08-19	COUNCIL ISSUE

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DRAWING TITLE  
**STORMWATER CATCHMENT PLAN SHEET 01**

MORTONS urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

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 ABN 39 116 375 065 Southport QLD 4215

mortons@urbansolutions.net.au Gold Coast Office  
 www.urbansolutions.net.au Suite 9, 19 Short St  
 Tel 07 5571 1099 Southport QLD 4215

DESIGNED RB	DRAWN EP
APPROVED <i>[Signature]</i>	PREP 4706 DATE 06-08-19
DRAWING NUMBER	AMEND.
<b>36901-ALL-670</b>	<b>B</b>

**LEGEND**

- EXISTING KERB (INVERT)
  - EXISTING PROPERTY LINE
  - SW — EXISTING STORMWATER
  - 1.0 - EXISTING CONTOURS
  - - - SITE BOUNDARY
  - - - PROPOSED KERB (INVERT)
  - - - PROPOSED PROPERTY LINE
  - 1.0 - DESIGN CONTOURS
  - - - CATCHMENT BOUNDARY
  - - - SW - PROPOSED STORMWATER
  - MANHOLE
  - ▭ KERB INLET (ON GRADE) PIT
  - ▭ KERB INLET (SAG) PIT
  - ▭ HEADWALL
  - ▭ SCOUR PROTECTION
- 01/015  
 0.2552ha CATCHMENT NUMBER & AREA

**STORMWATER MANAGEMENT DEVICES INCLUDING THE BIO BASIN IS CONSIDERED INTERNAL AND PRIVATE INFRASTRUCTURE AND IS TO BE OWNED AND MAINTAINED PRIVATELY.**

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No: OPW/2019/1241

Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

E:\autocad client\3691 - tellurium gg pty ltd\01 - donington drive residential\civil\engineering drawings\current\36901-ALL-670.dwg, PLAN SHEET 01, Thu Oct 10 15:48:38 2019, 1:2

CALCULATION TABLES-MINOR 2YR ARI

Table with columns: NODE, FROM, TO, NODE TYPE, CATCHMENT AREA, RAINFALL VOLUME, RAINFALL Intensity, CATCHMENT FLOW, APPROACH FLOW, FLOWAT PIT, GRADE, PIT, HGL, PIPE, HEADLOSSES, CAPACITY, VELOCITY, NODE. Includes notes on negative flow values and references to IFD tables.

CALCULATION TABLES-MAJOR 100YR ARI

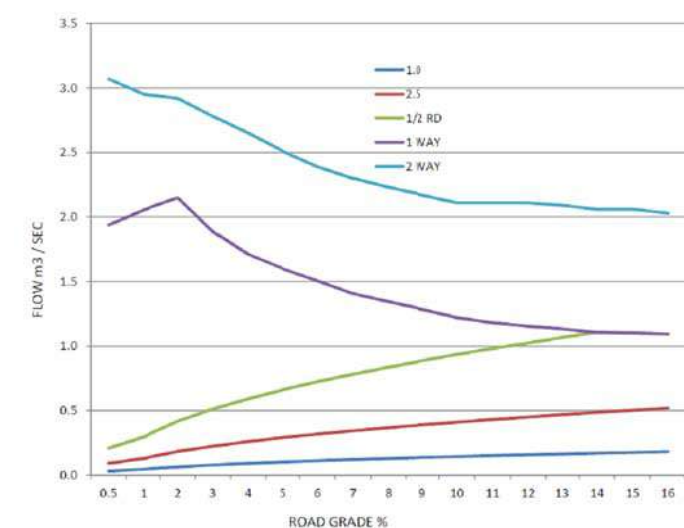
Table with columns: NODE, FROM, TO, NODE TYPE, CATCHMENT AREA, RAINFALL VOLUME, RAINFALL Intensity, CATCHMENT FLOW, APPROACH FLOW, FLOWAT PIT, GRADE, PIT, HGL, PIPE, HEADLOSSES, CAPACITY, VELOCITY, NODE. Includes notes on negative flow values and references to IFD tables.

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL
Application No: OPW/2019/1241
Dated: 28 October 2019
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

INTENSITY - FREQUENCY - DURATION (IFD) TABLE
Table with columns: DURATION, TREAT, 1, 2, 5, 10, 20, 50, 100. Includes note: DERIVED FROM BUREAU OF METEOROLOGY

NOTES:
1. THESE CALCULATIONS ARE BASED ON IISAX2 DYNAMIC DRAINAGE ANALYSIS USING 12D SOFTWARE ANALYSIS.
2. INDIVIDUAL TIMES OF CONCENTRATION ARE GENERATED FOR EACH NODE & CATCHMENT TYPE USING TEMPORAL PATTERNS DETERMINED FROM THE RELEVANT AUTHORITY.
3. "TREAT" IN THE IFD TABLE REFERS TO 0.5x1 YEAR ARI, USED TO DETERMINE WATER QUALITY TREATMENT FLOWS.
4. CATCHMENT 1 REFERS TO TYPICAL URBANISED CATCHMENTS WITH LOTS <1000m2. THE IMPERVIOUS PORTION OF THE CATCHMENT TIME OF CONCENTRATION (TC) IS TYPICALLY 5 MINUTES & THE PERVIOUS PORTION OF THE CATCHMENT TYPICALLY HAS AN 8 MINUTE TC.
5. CATCHMENT 2 IS TYPICALLY USED TO MODEL LOTS >1000m2, WITH INDIVIDUAL PERCENTAGES OF IMPERVIOUS SURFACE & TC'S.
6. CATCHMENT 3 IS TYPICALLY USED TO MODEL OPEN SPACE & RURAL CATCHMENTS WITH INDIVIDUAL PERCENTAGES OF IMPERVIOUS SURFACE & TC'S.

FLOW CAPACITY m3/s 7.5m RD (KERB AND CHANNEL)
Table with columns: MAX. WIDTH, MAX. AREA m2, Rd Grade %, KR, LANE, 1/2 RD, 1 WAY, 2 WAY. Includes notes on flow constrained to 0.4 Dv/s and capacity compound cross section.



PROJECT NAME
DONINGTON DRIVE RESIDENTIAL
CIVILWORKS
RP DESCRIPTION
Lot 3 on SP275769
DONINGTON DRIVE
LOCALITY OF OXFENFORD
LOCAL AUTHORITY - CITY OF GOLD COAST

CLIENT
TELLURIUM GG Pty Ltd

ISSUES table with columns: TENDER, COUNCIL, CONSTRUCTION, DATE.

B 03-10-19 TABLES AMENDED
A 26-08-19 COUNCIL ISSUE
PRE DATE AMENDMENT

ASSOCIATED CONSULTANTS
BIOME WATER AND ENVIRONMENTAL CONSULTING
MORTONS urban solutions Urban & Regional Planning Civil Engineering Project Coordination

DRAWING TITLE
STORMWATER CALCULATION TABLES MINOR & MAJOR STORM EVENT SHEET 01

MUS Pty Ltd T/As:
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ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
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Postal Address: PO Box 2484, Southport QLD 4215
Gold Coast Office: Suite 9, 19 Short St, Southport QLD 4215

DESIGNED RB, DRAWN EP, APPROVED, DRAWING NUMBER 36901-ALL-680, AMEND. B



**LEGEND**

— SITE BOUNDARY


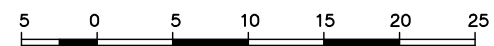

○ TREE LOCATION

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**




Application No: OPW/2019/1241

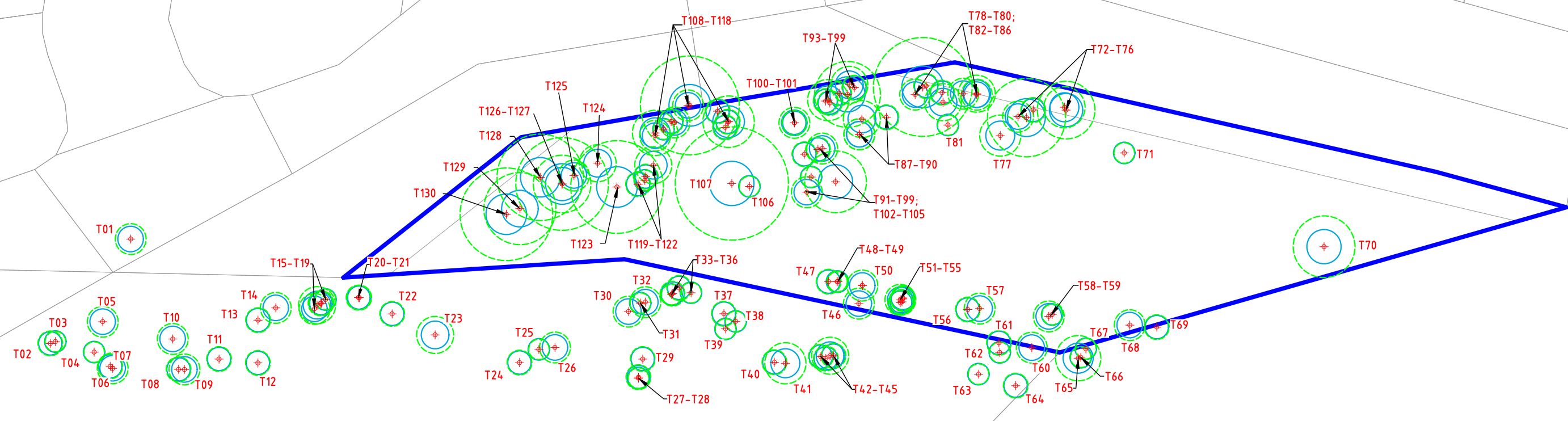
Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

<p>DATE <b>15.08.19</b></p> <p>PROJECT No. : <b>BC-19093</b></p> <p>DRAWING No. : <b>VMP-200</b></p> <p>REVISION No. : <b>A</b></p>	<p>PROJECT <b>VEGETATION MANAGEMENT AND TREE CLEARING PLAN</b></p> <p>DRAWING TITLE <b>TREE LOCATION PLAN</b></p> <p>CLIENT <b>TELLURIUM GC PTY LTD</b></p> <p>ADDRESS: <b>LOT 3 DONINGTON DRIVE, MAUDSLAND, GOLD COAST</b></p>	<p>APPROVED FOR AND ON BEHALF OF BIOME CONSULTING PTY LTD ACN 166 087 476 RPEQ No. :</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>VER.</th> <th>DESCRIPTION</th> <th>APPR.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ORIGINAL ISSUE</td> <td></td> <td>15.08.19</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	VER.	DESCRIPTION	APPR.	DATE	A	ORIGINAL ISSUE		15.08.19																					<p><b>COPYRIGHT</b> Designs and information presented on these drawings are copyright and the property of BIOME Consulting Pty Ltd and are not to be reproduced or used without permission from BIOME Consulting Pty Ltd.</p> <p>Drawings are only to be used for the purpose of which they were intended and BIOME Consulting will not accept liability for any unauthorised use or for any purpose by a third party for which they were not intended.</p> <p>Unless the checked section of the document are signed and approved the drawings are uncontrolled and issued for information purposes only. Drawings have been prepared of assessment purposes only and are not for construction purposes.</p>	 <p><b>BIOME</b> WATER AND ENVIRONMENTAL CONSULTING</p> <p>BIOME Consulting Pty Ltd PO Box 3469, Australia Fair, Southport M 0415 935 222 E <a href="mailto:brad@BIOMEconsulting.com.au">brad@BIOMEconsulting.com.au</a> ABN 86 166 087 476</p>	<p>ORIGINAL SCALE BEFORE REDUCTION</p>  <p>1 : 500 (FULL SIZE) (metres)</p> <p>CERTIFIED BY</p> 
VER.	DESCRIPTION	APPR.	DATE																														
A	ORIGINAL ISSUE		15.08.19																														
<p>DRAFTED BY : TP / LD</p>	<p>DESIGNED BY : NL</p>	<p>CHECKED BY : BC</p>	<p>PAPER SIZE : A3</p>	<p>SCALE : AS SHOWN</p>																													

**LEGEND**

-  SITE BOUNDARY
-  TREE PROTECTION ZONE (TPZ)
-  STRUCTURAL ROOT ZONE (SRZ)



**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No.: OPW/2019/1241

Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

DATE  
**15.08.19**

PROJECT No. :  
**BC-19093**

DRAWING No. :  
**VMP-300**

REVISION No. :  
**A**

PROJECT  
**VEGETATION MANAGEMENT AND TREE CLEARING PLAN**

DRAWING TITLE  
**CRITICAL TREE ZONE PLAN**

CLIENT  
**TELLURIUM GC PTY LTD**

ADDRESS:  
**LOT 3 DONINGTON DRIVE, MAUDSLAND, GOLD COAST**

DRAFTED BY : TP / LD	DESIGNED BY : NL	CHECKED BY : BC	PAPER SIZE : A3	SCALE : AS SHOWN
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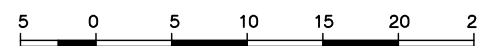
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ABN 86 166 087 476

ORIGINAL SCALE BEFORE REDUCTION








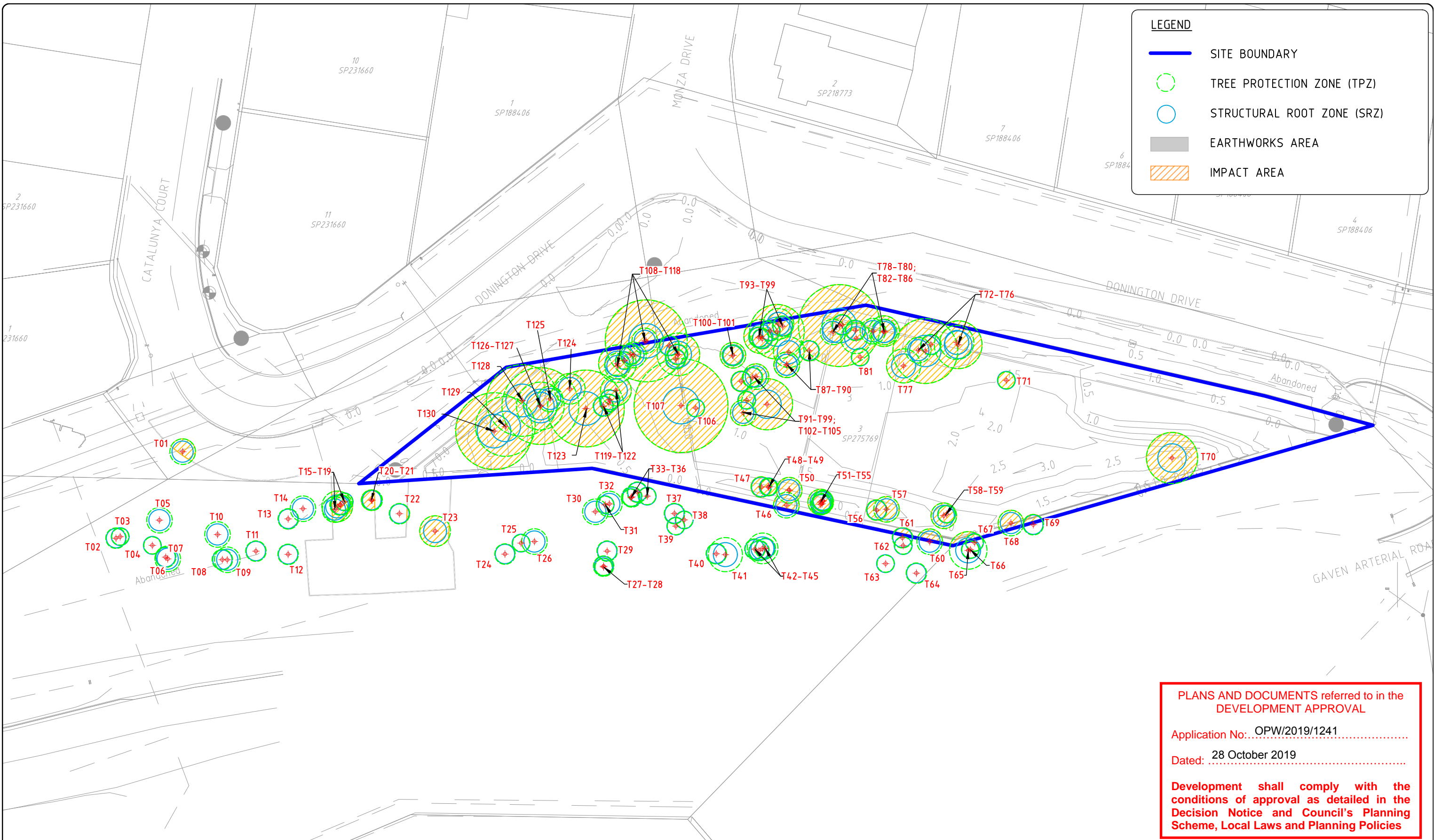
1 : 500 (FULL SIZE) (metres)

CERTIFIED BY



**LEGEND**

-  SITE BOUNDARY
-  TREE PROTECTION ZONE (TPZ)
-  STRUCTURAL ROOT ZONE (SRZ)
-  EARTHWORKS AREA
-  IMPACT AREA



**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No.: OPW/2019/1241

Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

DATE  
**15.08.19**

PROJECT No. :  
**BC-19093**

DRAWING No. :  
**VMP-400**

REVISION No. :  
**A**

PROJECT  
**VEGETATION MANAGEMENT AND TREE CLEARING PLAN**

DRAWING TITLE  
**DEVELOPMENT IMPACT PLAN**

CLIENT  
**TELLURIUM GC PTY LTD**

ADDRESS:  
**LOT 3 DONINGTON DRIVE, MAUDSLAND, GOLD COAST**

DRAFTED BY : TP / LD	DESIGNED BY : NL	CHECKED BY : BC	PAPER SIZE : A3	SCALE : AS SHOWN
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RPEQ No. :

VER.	DESCRIPTION	APPR.	DATE
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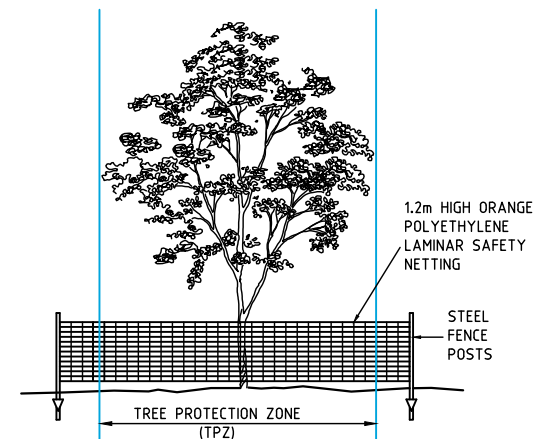
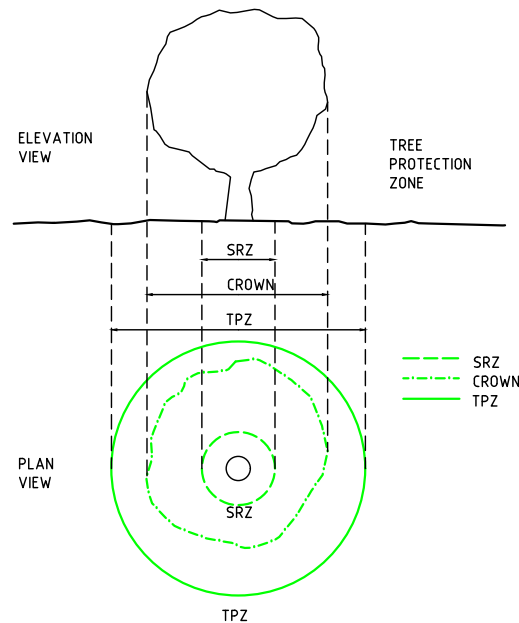
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1 : 500 (FULL SIZE) (metres)

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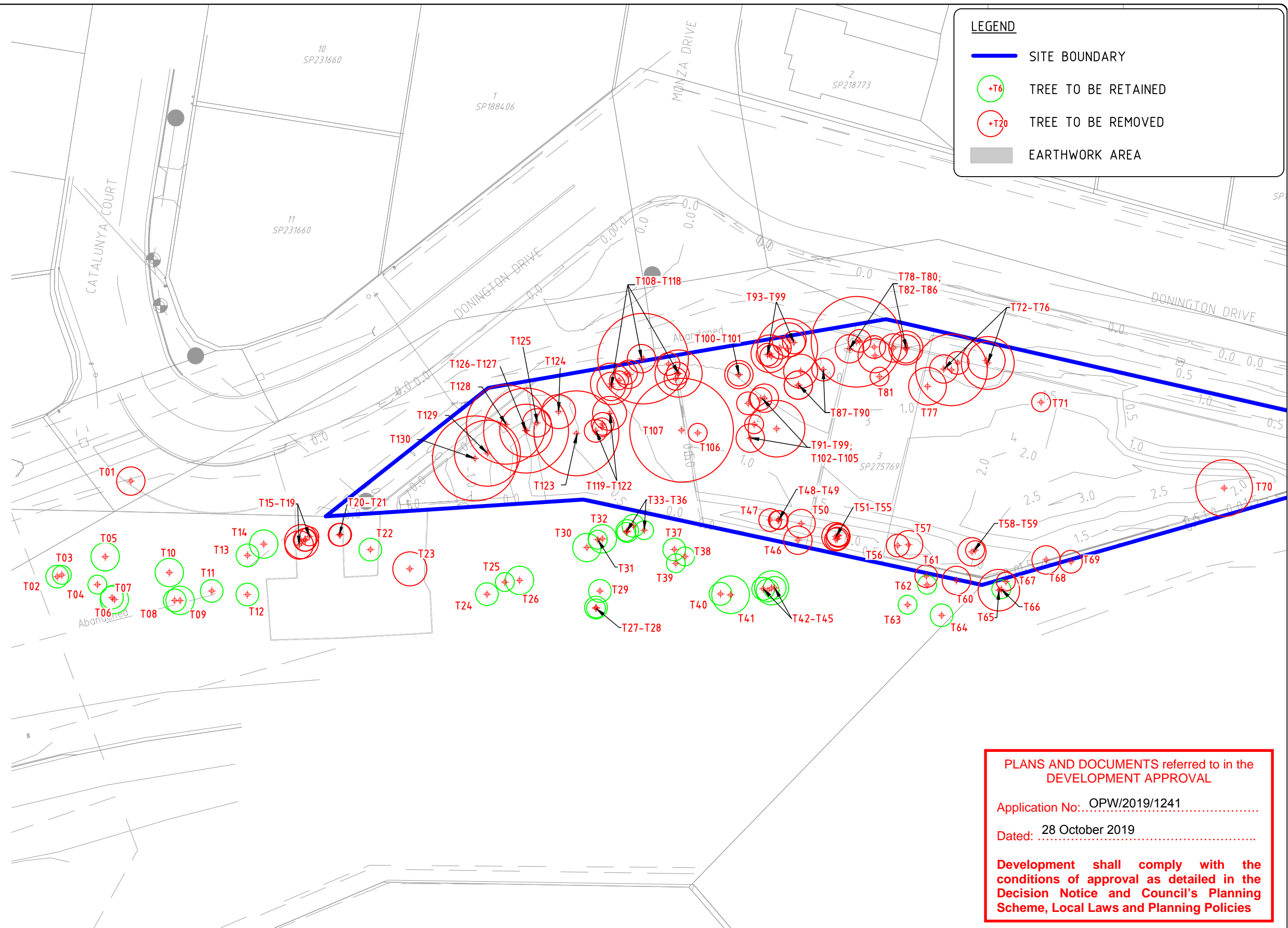




- The Tree Protection Zone (TPZ) should be secured to restrict access.
- Signage is to be erected to identify the TPZ.
- Fence posts and supports should have a diameter of greater than 20 mm and be located clear of roots.
- Fencing may consist of either steel mesh barrier fence, mesh barrier safety fence or bunting and clearly define the limits of vegetation clearing.
- Existing perimeter fencing, or other structures may be suitable as part of the protective fencing.

**LEGEND**

- SITE BOUNDARY
- ⊕ T6 TREE TO BE RETAINED
- ⊕ T20 TREE TO BE REMOVED
- EARTHWORK AREA



**PLANS AND DOCUMENTS** referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2019/1241

Dated: 28 October 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

DATE  
**15.08.19**

PROJECT No.:  
**BC-19093**

DRAWING No.:  
**VMP-500**

REVISION No.:  
**A**

PROJECT  
**VEGETATION MANAGEMENT AND TREE CLEARING PLAN**

DRAWING TITLE  
**VEGETATION CLEARING PLAN**

CLIENT  
**TELLURIUM GC PTY LTD**

ADDRESS:  
**LOT 3 DONINGTON DRIVE, MAUDSLAND, GOLD COAST**

DRAFTED BY: TP / LD    DESIGNED BY: NL    CHECKED BY: BC    PAPER SIZE: A3    SCALE: AS SHOWN

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ABN 86 166 087 476

ORIGINAL SCALE BEFORE REDUCTION

1 : 500 (FULL SIZE) (metres)

CERTIFIED BY



No.	Scientific	DHB(cm)	Height(m)	SRZ (m)	TPZ (m)	Tree Works
T1	Acacia disparrima	15	7	1.49	1.80	Removed - Impacted by earthworks
T2	Acacia disparrima	12	6	1.36	1.44	Retained
T3	Acacia disparrima	10	7	1.26	1.20	Retained
T4	Acacia disparrima	10	6	1.26	1.20	Retained
T5	Eucalyptus siderophloia	15	9	1.49	1.80	Retained
T6	Eucalyptus siderophloia	15	9	1.49	1.80	Retained
T7	Corymbia intermedia	12	9	1.36	1.44	Retained
T8	Allocasuarina littoralis	12	9	1.36	1.44	Retained
T9	Angophora leiocarpa	15	8	1.49	1.80	Retained
T10	Angophora leiocarpa	15	10	1.49	1.80	Retained
T11	Angophora leiocarpa	12	9	1.36	1.44	Retained
T12	Corymbia intermedia	12	9	1.36	1.44	Retained
T13	Allocasuarina littoralis	12	8	1.36	1.44	Retained
T14	Angophora leiocarpa	15	10	1.49	1.80	Retained
T15	Eucalyptus siderophloia	15	9	1.49	1.80	Removed - Impacted by earthworks
T16	Eucalyptus siderophloia	18	10	1.61	2.16	Removed - Impacted by earthworks
T17	Acacia disparrima	12	7	1.36	1.44	Removed - Impacted by earthworks
T18	Corymbia intermedia	12	9	1.36	1.44	Removed - Impacted by earthworks
T19	Corymbia intermedia	10	7	1.26	1.20	Removed - Impacted by earthworks
T20	Eucalyptus siderophloia	12	8	1.36	1.44	Removed - Impacted by earthworks
T21	Corymbia intermedia	12	8	1.36	1.44	Removed - Impacted by earthworks
T22	Eucalyptus siderophloia	12	8	1.36	1.44	Retained
T23	Eucalyptus siderophloia	18	11	1.61	2.16	Removed - Impacted by earthworks
T24	Corymbia intermedia	12	8	1.36	1.44	Retained
T25	Eucalyptus siderophloia	10	8	1.26	1.20	Retained
T26	Eucalyptus siderophloia	15	10	1.49	1.80	Retained
T27	Eucalyptus siderophloia	10	8	1.26	1.20	Retained
T28	Eucalyptus siderophloia	12	9	1.36	1.44	Retained
T29	Eucalyptus siderophloia	12	9	1.36	1.44	Retained
T30	Eucalyptus siderophloia	15	9	1.49	1.80	Retained
T31	Eucalyptus siderophloia	10	8	1.26	1.20	Retained
T32	Standing dead wood	15	10	1.49	1.80	Retained
T33	Acacia disparrima	10	8	1.26	1.20	Retained

No.	Scientific	DHB(cm)	Height(m)	SRZ (m)	TPZ (m)	Tree Works
T34	Eucalyptus siderophloia	12	9	1.36	1.44	Retained
T35	Eucalyptus siderophloia	12	9	1.36	1.44	Retained
T36	Eucalyptus acmenoides	10	8	1.26	1.20	Retained
T37	Corymbia intermedia	12	9	1.36	1.44	Retained
T38	Allocasuarina littoralis	10	8	1.26	1.20	Retained
T39	Acacia disparrima	10	8	1.26	1.20	Retained
T40	Allocasuarina littoralis	12	9	1.36	1.44	Retained
T41	Allocasuarina littoralis	20	9	1.68	2.40	Retained
T42	Allocasuarina littoralis	12	9	1.36	1.44	Retained
T43	Acacia disparrima	12	8	1.36	1.44	Retained
T44	Angophora leiocarpa	18	11	1.61	2.16	Retained
T45	Acacia disparrima	12	9	1.36	1.44	Retained
T46	Angophora leiocarpa	15	10	1.49	1.80	Removed - Impacted by earthworks
T47	Allocasuarina littoralis	12	7	1.36	1.44	Removed - Impacted by earthworks
T48	Eucalyptus acmenoides	10	8	1.26	1.20	Removed - Impacted by earthworks
T49	Eucalyptus acmenoides	10	8	1.26	1.20	Removed - Impacted by earthworks
T50	Acacia disparrima	15	8	1.49	1.80	Removed - Impacted by earthworks
T51	Allocasuarina littoralis	12	7	1.36	1.44	Removed - Impacted by earthworks
T52	Allocasuarina littoralis	12	7	1.36	1.44	Removed - Impacted by earthworks
T53	Allocasuarina littoralis	15	8	1.49	1.80	Removed - Impacted by earthworks
T54	Allocasuarina littoralis	12	8	1.36	1.44	Removed - Impacted by earthworks
T55	Acacia disparrima	12	8	1.36	1.44	Removed - Impacted by earthworks
T56	Allocasuarina littoralis	12	8	1.36	1.44	Removed - Impacted by earthworks
T57	Allocasuarina littoralis	15	7	1.49	1.80	Removed - Impacted by earthworks
T58	Allocasuarina littoralis	10	8	1.26	1.20	Removed - Impacted by earthworks
T59	Allocasuarina littoralis	15	9	1.49	1.80	Removed - Impacted by earthworks
T60	Corymbia intermedia	15	9	1.49	1.80	Removed - Impacted by earthworks
T61	Allocasuarina littoralis	12	7	1.36	1.44	Removed - Impacted by earthworks
T62	Corymbia intermedia	10	8	1.26	1.20	Retained
T63	Allocasuarina littoralis	10	7	1.26	1.20	Retained
T64	Acacia disparrima	12	7	1.36	1.44	Retained
T65	Eucalyptus siderophloia	22	11	1.75	2.64	Removed - Impacted by earthworks
T66	Acacia melanoxylon	10	7	1.26	1.20	Retained

DATE  
**15.08.19**

PROJECT No. :  
**BC-19093**

DRAWING No. :  
**VMP-600**

REVISION No. :  
**A**

PROJECT  
**VEGETATION MANAGEMENT AND TREE CLEARING PLAN**

DRAWING TITLE  
**TREE INFORMATION TABLE - 1**

CLIENT  
**TELLURIUM GC PTY LTD**

ADDRESS:  
**LOT 3 DONINGTON DRIVE, MAUDSLAND, GOLD COAST**

DRAFTED BY :  
TP / LD

DESIGNED BY :  
NL

CHECKED BY :  
BC

PAPER SIZE :  
A3

SCALE :  
AS SHOWN

APPROVED FOR AND ON BEHALF OF BIOME CONSULTING PTY LTD  
ACN 166 087 476  
RPEQ No. :

VER.	DESCRIPTION	APPR.	DATE
A	ORIGINAL ISSUE		15.08.19

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BIOME Consulting Pty Ltd  
PO Box 3469, Australia Fair, Southport  
M 0415 935 222  
E [brad@BIOMEconsulting.com.au](mailto:brad@BIOMEconsulting.com.au)  
ABN 86 166 087 476

**PLANS AND DOCUMENTS** referred to in the **DEVELOPMENT APPROVAL**

Application No.: **OPW/2019/1241**

Dated: **28 October 2019**

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

No.	Scientific	DHB(cm)	Height(m)	SRZ (m)	TPZ (m)	Tree Works
T67	Allocasuarina littoralis	10	8	1.26	1.20	Removed - Impacted by earthworks
T68	Angophora leiocarpa	15	11	1.49	1.80	Removed - Impacted by earthworks
T69	Acacia disparrima	12	7	1.36	1.44	Removed - Impacted by earthworks
T70	Eucalyptus siderophloia	30	12	2.00	3.60	Removed - Impacted by earthworks
T71	Eucalyptus siderophloia	10	8	1.26	1.20	Removed - Impacted by earthworks
T72	Angophora leiocarpa	28	12	1.94	3.36	Removed - Impacted by earthworks
T73	Angophora leiocarpa	20	12	1.68	2.40	Removed - Impacted by earthworks
T74	Corymbia intermedia	12	9	1.36	1.44	Removed - Impacted by earthworks
T75	Angophora leiocarpa	38	14	2.20	4.56	Removed - Impacted by earthworks
T76	Eucalyptus siderophloia	15	10	1.49	1.80	Removed - Impacted by earthworks
T77	Corymbia intermedia	20	11	1.68	2.40	Removed - Impacted by earthworks
T78	Acacia disparrima	18	7	1.61	2.16	Removed - Impacted by earthworks
T79	Eucalyptus acmenoides	15	8	1.49	1.80	Removed - Impacted by earthworks
T80	Corymbia intermedia	15	10	1.49	1.80	Removed - Impacted by earthworks
T81	Corymbia intermedia	10	8	1.26	1.20	Removed - Impacted by earthworks
T82	Eucalyptus acmenoides	18	9	1.61	2.16	Removed - Impacted by earthworks
T83	Acacia disparrima	12	7	1.36	1.44	Removed - Impacted by earthworks
T84	Angophora leiocarpa	12	6	1.36	1.44	Removed - Impacted by earthworks
T85	Angophora leiocarpa	48	15	2.43	5.76	Removed - Impacted by earthworks
T86	Acacia disparrima	15	8	1.49	1.80	Removed - Impacted by earthworks
T87	Standing dead wood	12	7	1.36	1.44	Removed - Impacted by earthworks
T88	Eucalyptus acmenoides	18	10	1.61	2.16	Removed - Impacted by earthworks
T89	Corymbia intermedia	15	7	1.49	1.80	Removed - Impacted by earthworks
T90	Corymbia intermedia	15	9	1.49	1.80	Removed - Impacted by earthworks
T91	Eucalyptus siderophloia	30	14	2.00	3.60	Removed - Impacted by earthworks
T92	Acacia disparrima	15	8	1.49	1.80	Removed - Impacted by earthworks
T93	Eucalyptus acmenoides	12	6	1.36	1.44	Removed - Impacted by earthworks
T94	Eucalyptus acmenoides	18	9	1.61	2.16	Removed - Impacted by earthworks
T95	Corymbia intermedia	32	13	2.05	3.84	Removed - Impacted by earthworks
T96	Eucalyptus acmenoides	12	9	1.36	1.44	Removed - Impacted by earthworks
T97	Eucalyptus acmenoides	12	9	1.36	1.44	Removed - Impacted by earthworks
T98	Eucalyptus acmenoides	12	9	1.36	1.44	Removed - Impacted by earthworks

No.	Scientific	DHB(cm)	Height(m)	SRZ (m)	TPZ (m)	Tree Works
T99	Eucalyptus acmenoides	20	10	1.68	2.40	Removed - Impacted by earthworks
T100	Acacia disparrima	15	8	1.49	1.80	Removed - Impacted by earthworks
T101	Acacia disparrima	12	10	1.36	1.44	Removed - Impacted by earthworks
T102	Acacia disparrima	12	9	1.36	1.44	Removed - Impacted by earthworks
T103	Acacia disparrima	12	10	1.36	1.44	Removed - Impacted by earthworks
T104	Allocasuarina littoralis	10	8	1.26	1.20	Removed - Impacted by earthworks
T105	Corymbia intermedia	15	9	1.49	1.80	Removed - Impacted by earthworks
T106	Corymbia intermedia	10	7	1.26	1.20	Removed - Impacted by earthworks
T107	Eucalyptus acmenoides	55	15	2.57	6.60	Removed - Impacted by earthworks
T108	Acacia disparrima	12	8	1.36	1.44	Removed - Impacted by earthworks
T109	Acacia disparrima	12	8	1.36	1.44	Removed - Impacted by earthworks
T110	Angophora leiocarpa	25	12	1.85	3.00	Removed - Impacted by earthworks
T111	Eucalyptus acmenoides	12	8	1.36	1.44	Removed - Impacted by earthworks
T112	Eucalyptus siderophloia	15	10	1.49	1.80	Removed - Impacted by earthworks
T113	Angophora leiocarpa	48	16	2.43	5.76	Removed - Impacted by earthworks
T114	Angophora leiocarpa	12	7	1.36	1.44	Removed - Impacted by earthworks
T115	Corymbia intermedia	15	10	1.49	1.80	Removed - Impacted by earthworks
T116	Corymbia intermedia	10	6	1.26	1.20	Removed - Impacted by earthworks
T117	Corymbia intermedia	22	11	1.75	2.64	Removed - Impacted by earthworks
T118	Eucalyptus acmenoides	15	10	1.49	1.80	Removed - Impacted by earthworks
T119	Angophora leiocarpa	18	10	1.61	2.16	Removed - Impacted by earthworks
T120	Eucalyptus acmenoides	12	8	1.36	1.44	Removed - Impacted by earthworks
T121	Eucalyptus acmenoides	10	7	1.26	1.20	Removed - Impacted by earthworks
T122	Corymbia intermedia	12	8	1.36	1.44	Removed - Impacted by earthworks
T123	Eucalyptus acmenoides	45	10	2.37	5.40	Removed - Impacted by earthworks
T124	Corymbia intermedia	18	11	1.61	2.16	Removed - Impacted by earthworks
T125	Corymbia intermedia	15	10	1.49	1.80	Removed - Impacted by earthworks
T126	Eucalyptus siderophloia	28	18	1.94	3.36	Removed - Impacted by earthworks
T127	Eucalyptus acmenoides	45	9	2.37	5.40	Removed - Impacted by earthworks
T128	Eucalyptus siderophloia	42	18	2.30	5.04	Removed - Impacted by earthworks
T129	Corymbia intermedia	35	12	2.13	4.20	Removed - Impacted by earthworks
T130	Eucalyptus acmenoides	45	14	2.37	5.40	Removed - Impacted by earthworks

DATE  
**15.08.19**

PROJECT No. :  
**BC-19093**

DRAWING No. :  
**VMP-601**

REVISION No. :  
**A**

PROJECT  
**VEGETATION MANAGEMENT AND TREE CLEARING PLAN**

DRAWING TITLE  
**TREE INFORMATION TABLE - 2**

CLIENT  
**TELLURIUM GC PTY LTD**

ADDRESS:  
**LOT 3 DONINGTON DRIVE, MAUDSLAND, GOLD COAST**

DRAFTED BY :  
TP / LD

DESIGNED BY :  
NL

CHECKED BY :  
BC

PAPER SIZE :  
A3

SCALE :  
AS SHOWN

APPROVED FOR AND ON BEHALF OF BIOME CONSULTING PTY LTD  
ACN 166 087 476  
RPEQ No. :

VER.	DESCRIPTION	APPR.	DATE
A	ORIGINAL ISSUE		15.08.19

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M 0415 935 222  
E [brad@BIOMEconsulting.com.au](mailto:brad@BIOMEconsulting.com.au)  
ABN 86 166 087 476

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**

Application No.: **OPW/2019/1241**

Dated: **28 October 2019**

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

Date: 12 November 2019  
Contact: Craig Morse  
Location: City Development  
Telephone: 07 5582 8866  
Your reference:  
Our reference: OPW/2019/1257

Robin Russell & Associates Pty. Ltd.  
C/- Tania Deller  
UNIT 204 / 6 Babarra St  
STAFFORD QLD 4053

Dear Sir/Madam

### Decision Notice

<b>Property description</b>	Lot 3 SP275769
<b>Property location</b>	Lot 3 Gaven Arterial Road, MAUDSLAND QLD 4210
<b>Application details</b>	Operational Works

Please find enclosed the decision notice for the proposed development identified above.

For further information regarding the assessment of this application, access the Planning and Development page on City of Gold Coast's website [cityofgoldcoast.com.au](http://cityofgoldcoast.com.au) and reference application number OPW/2019/1257.

If you are unable to access the website, please email your query to [mail@goldcoast.qld.gov.au](mailto:mail@goldcoast.qld.gov.au) and reference your application number.

### Contacting us

Should you wish to clarify any issues contained in this letter, please do not hesitate to contact Planning Assessment on 07 5582 8866.

Yours sincerely

City Development Branch  
Planning & Environment Directorate  
*For the Chief Executive Officer*  
Council of the City of Gold Coast

Our reference: OPW/2019/1257

**Decision notice— approval (with conditions)**

(Given under section 63(2) of the *Planning Act 2016*)

**Date of decision notice:** 11 November 2019

**Applicant details**

---

Applicant name: Robin Russell & Associates Pty. Ltd.

Applicant contact details: C/- Tania Deller  
UNIT 204 / 6 Babarra St  
STAFFORD QLD 4053

**Application details**

---

Application number: OPW/2019/1257

Approval sought: Development permit for Operational work

Details of proposed development: Operational work for Electrical Reticulation

**Location details**

---

Street address: Lot 3 Gaven Arterial Road, Maudsland Qld 4210

Real property description: Lot 3 SP275769

**Decision**

---

Date of decision 11 November 2019

Decision details: Under Delegated Authority, the Executive Coordinator for Engineering and Environmental Assessment has resolved to approve the development application in full with conditions.

**Referral agency(s) for the application**

---

Not applicable – no part of the application required referral.

**Details of the approval**

---

Development permit Operational work for Electrical Reticulation

**Conditions**

---

The conditions that have been imposed by Council, as Assessment manager, are enclosed.

**Properly made submissions**

---

Not applicable—No part of the application required public notification.

**Currency period for the approval (section 85 of the *Planning Act 2016*)**

---

In accordance with section 85 of the *Planning Act 2016*, this approval has a currency period of two years.

**Approved plans and drawings**

---

Approved plans and drawings are attached and are identified in the conditions imposed by Council as the Assessment manager.

## Appeal rights

---

Applicant	<p>You have appeal rights in relation to this decision. An appeal may be made against, as applicable:</p> <ul style="list-style-type: none"><li>• the refusal of part of the development application; or</li><li>• a provision of the development approval; or</li><li>• if a development permit was applied for, the decision to give a preliminary approval.</li></ul> <p>An appeal must be started within 20 business days after this notice is given to you.</p> <p>An appeal may be made to the Planning and Environment Court or, for certain matters which are identified in section 1(2) of Schedule 1 of the <i>Planning Act 2016</i>, to a development tribunal.</p> <p>An appeal is started by lodging a notice of appeal with the registrar of the Planning and Environment Court or a development tribunal, as applicable. The notice of appeal must be in the approved form, succinctly state the grounds of the appeal and be accompanied by the required fee.</p> <p>An appellant to the Planning and Environment Court must give a copy of the notice of appeal, within 10 business days after the appeal is started, to the persons identified in section 230(3) of the <i>Planning Act 2016</i>. A person who is appealing to the Planning and Environment Court must comply with the rules of the court that apply to the appeal.</p> <p>An extract of Chapter 6, Part 1 and Schedule 1 of the <i>Planning Act 2016</i> is attached to this notice, which sets out further information about the appeal rights.</p>
-----------	---

For further information please contact Craig Morse, Civil Engineer on p: 07 5582 8866 or via email [mail@goldcoast.qld.gov.au](mailto:mail@goldcoast.qld.gov.au) who will be pleased to assist.

### AUTHORISED BY



Sam Hartley

**Executive Coordinator Engineering & Environmental Assessment**

*For the Chief Executive Officer*

Council of the City of Gold Coast

Enc:

Conditions imposed by Council as Assessment manager

Attach:

Stamped approved plans and drawings

Appeal rights extract

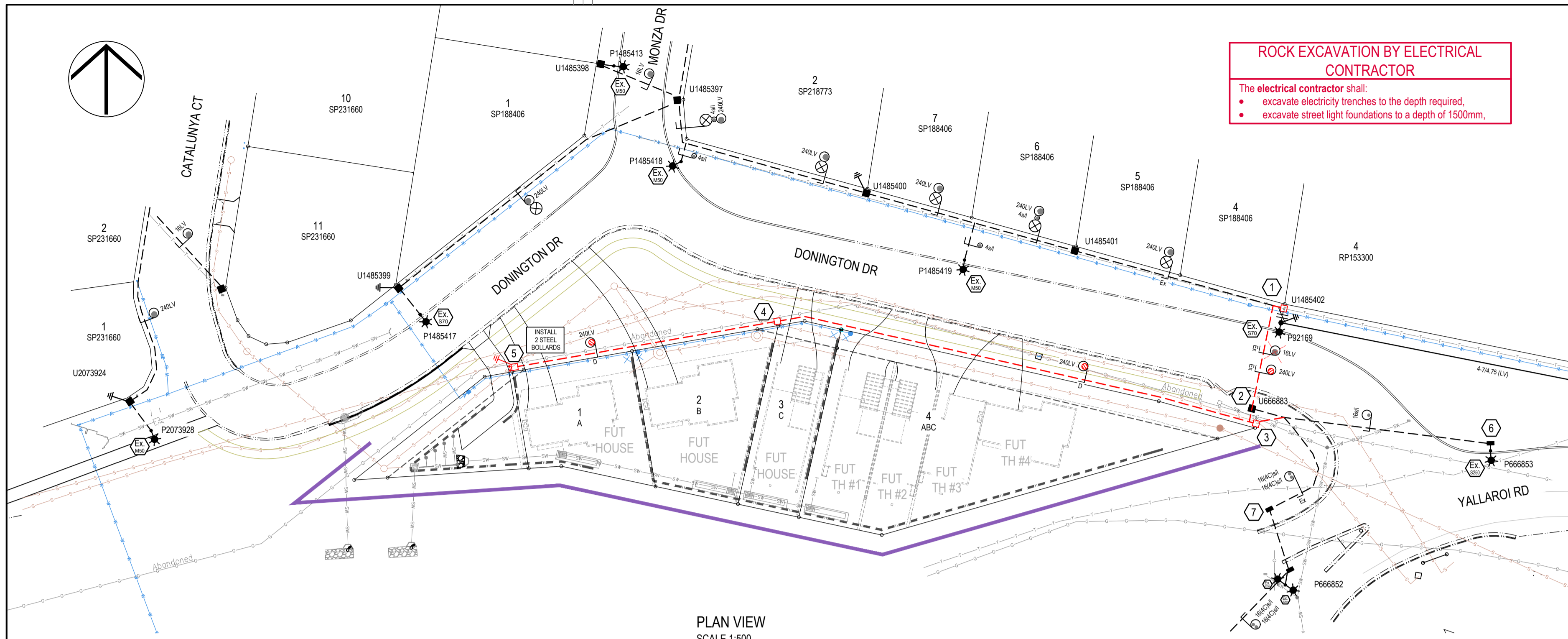
**Conditions imposed by Council as Assessment Manager**

<b>General</b>																								
<b>1.</b>	<p><b>Timing</b> All conditions of this development approval must be complied with at no cost to Council at all times unless otherwise stated in another condition.</p>																							
<b>2.</b>	<p><b>Approved drawings</b> Undertake and maintain the development generally in accordance with the following drawings including as amended in red by the Council:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="5"><b>Operational Works</b></th> </tr> <tr> <th style="text-align: left;">Drawing Title</th> <th style="text-align: left;">Author</th> <th style="text-align: left;">Date</th> <th style="text-align: left;">Drawing No.</th> <th style="text-align: left;">Ver</th> </tr> </thead> <tbody> <tr> <td>Electricity Reticulation – Community titles</td> <td>Robin Russell</td> <td>28/08/19</td> <td>D134-01A – 1</td> <td>A</td> </tr> <tr> <td>Electricity Reticulation – Community titles</td> <td>Robin Russell</td> <td>28/08/19</td> <td>D134-01A – 2</td> <td>A</td> </tr> </tbody> </table> <p>The conditions of this approval are to be read in conjunction with the attached stamped approved drawings. Where a conflict occurs between the conditions of this approval and the stamped approved drawings, the conditions of this approval shall take precedence.</p>				<b>Operational Works</b>					Drawing Title	Author	Date	Drawing No.	Ver	Electricity Reticulation – Community titles	Robin Russell	28/08/19	D134-01A – 1	A	Electricity Reticulation – Community titles	Robin Russell	28/08/19	D134-01A – 2	A
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<b>Engineering</b>																								
<b>3.</b>	<p><b>Rectification of Council's infrastructure</b> Rectify any damage caused to Council infrastructure (including kerb, channelling, service pits, footpaths and water and sewer reticulation networks) at all times, at no cost to Council.</p>																							
<b>Electrical Reticulation</b>																								
<b>4.</b>	<p><b>Construction of electrical and lighting reticulation</b></p> <ol style="list-style-type: none"> <li>a. All existing underground services are to be located prior to the commencement of construction.</li> <li>b. If no conduits exist, road crossings are to be bored.</li> <li>c. In accordance with section 6.11 of City Plan Policy – Land Development Guidelines, Standard Specifications and Drawings conflict between water service points and electrical distribution pillars at a common boundary is not permitted. Prior to the installation of electrical distribution pillars, a comparison with proposed water service connection points must be made to ensure that no conflict at a common boundary occurs. Council will not issue a compliance certificate for the subdivision plan until any conflicts are rectified.</li> <li>d. Roads and verge areas are to be reinstated to the satisfaction of the Chief Executive Officer, at no cost to Council.</li> </ol>																							
<b>5.</b>	<p><b>Approval required from electricity supplier</b></p> <ol style="list-style-type: none"> <li>a. The applicant must obtain approval from an authorised electricity supplier (eg. ENERGEX) for the electrical reticulation. In seeking that approval, the applicant must submit to the electricity supplier a copy of this decision notice, together with the stamped approved plans/drawings.</li> </ol>																							
<b>6.</b>	<p><b>Electricity supply</b></p> <ol style="list-style-type: none"> <li>a. In supplying power to the site, no additional poles and/or pole-mounted transformers are to be erected.</li> <li>b. Prior to Council's compliance assessment of subdivision plans, submit to Council a copy of the 'Certificate of Supply' from an authorised electricity supplier (e.g. ENERGEX) as evidence that underground electricity supply is available to all proposed lots.</li> </ol>																							

<b>Advice Notes</b>	
<b>A.</b>	<p><b>Consistency with other related approvals</b></p> <p>The assessment and approval of the operational work the subject of this permit, has been attended to having regard to the conditions of MCU/2017/1129 PN349822/12/DA1 dated 1 May 2018. Should any change to any of these approvals be sought and achieved, consideration by the applicant should also be had to the consequences on the related approvals (and the potential need to make subsequent changes to these related approvals).</p>
<b>B.</b>	<p><b>Compliance with conditions</b></p> <p>Once this development approval takes effect, the conditions attach to the land and are applicable in perpetuity. It is a development offence to contravene a development approval, including any of its conditions.</p>
<b>C.</b>	<p><b>Development infrastructure</b></p> <p>Development infrastructure required to be provided in implementing this development approval is non-trunk development infrastructure unless otherwise stated in a condition of the approval.</p>
<b>D.</b>	<p><b>Encroachment of works</b></p> <p>If any operational works, the subject of this approval encroaches on adjoining land, a letter from the adjoining owner must be submitted to Council consenting to the carrying out of these works.</p>
<b>E.</b>	<p><b>Fire ant control</b></p> <p>Northern suburbs of the Gold Coast are within Fire Ant Biosecurity zone 2 and must remain vigilant for the presence of fire ants. Under the Biosecurity Act 2014 individuals and organisations whose activities involve the movement or storage of fire ant carriers have a general biosecurity obligation to take all reasonable steps to ensure they do not spread fire ants. Movement of a fire ant carrier from within the fire ant biosecurity zone may need a biosecurity instrument permit. More information is available on the Department of Agriculture and Fisheries website <a href="http://www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants">www.daf.qld.gov.au/plants/weeds-pest-animals-ants/invasive-ants/fire-ants</a>.</p>
<b>F.</b>	<p><b>Connections to, alteration or realignment of Council infrastructure</b></p> <p>Where development works require the connection to, alteration, removal or realignment of Council infrastructure or impact on other public utility infrastructure (e.g. telecommunications, electricity and gas), the applicant must obtain the necessary approvals from the relevant public utility authority prior to works commencing.</p> <p>Connection to, alteration, removal or realignment of Council infrastructure includes (but is not limited to) fire hydrants, water service meters, sewer maintenance hole covers, stormwater drainage infrastructure, reinstatement of maintenance hole covers, stormwater drainage infrastructure, crossovers, footpaths, road pavement, kerb and channel, kerb ramps, medians, traffic islands, road furniture, signage and line-marking.</p>
<b>G.</b>	<p><b>Applicant responsibilities</b></p> <p>The applicant is responsible for securing all necessary approvals and tenure, providing statutory notifications and complying with all relevant laws.</p> <p>Nothing in this decision notice alleviates the need for the applicant to comply with all relevant local, State and Commonwealth laws and to ensure appropriate tenure arrangements have been made where the use of/reliance upon land other than that owned by the applicant is involved. Without limiting this obligation, the applicant is responsible for:</p> <ol style="list-style-type: none"> <li>a. Obtaining all other/further necessary approvals, licences, permits, resource entitlements etc by whatever name called required by law before the development the subject of this approval can be lawfully commenced and to carry out the activity for its duration;</li> <li>b. Providing any notifications required by law (by way of example only, to notify the administering authority pursuant to the <i>Environment Protection Act 1994</i> of environmental harm being caused/threatened by the activity, and upon becoming aware the premises is being used for a 'notifiable activity');</li> </ol>

- |  |  |
|--|--|
|  | <ul style="list-style-type: none"><li>c. Securing tenure/permission from the relevant owner to use private or public land not owned by the applicant (including for access required by conditions of approval);</li><li>d. Ensuring the correcting siting of structures on the land. An identification survey demonstrating correct siting and setbacks of structures may be requested of the applicant to ensure compliance with this decision notice and applicable codes;</li><li>e. Providing Council with proof of payment of the Portable Long Service Leave building construction levy (or proof of appropriate exemption) where the value of the Operational Works exceed \$150,000. Acceptable proof of payment is a Q.Leave –Notification and Payment Form approved by the Authority. Proof of payment must be provided before Council can issue a development permit for the Operational works. This is a requirement of section 77(1) of the Building and Construction Industry (Portable Long Service Leave) Act 1991; and</li><li>f. Making payment of any outstanding Council rates and charges applicable to the development site prior to the lodgement of subdivision plans.</li></ul> |
|--|--|

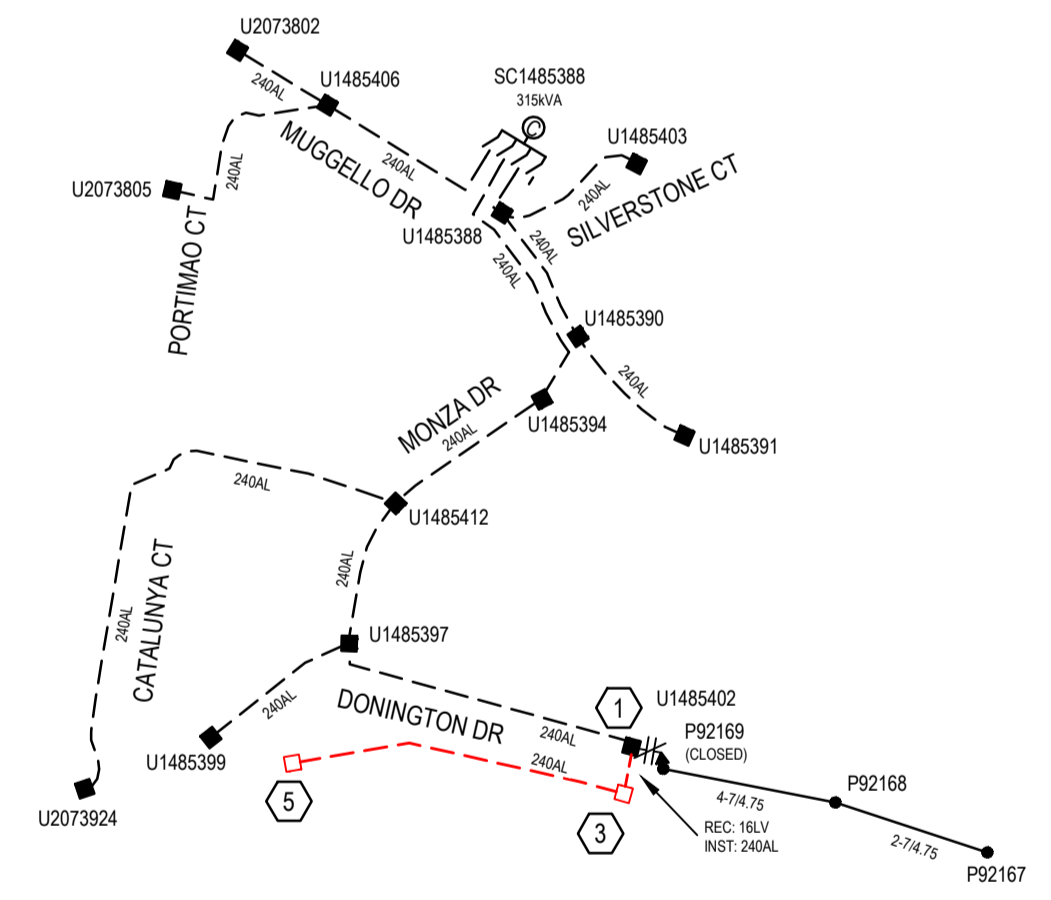




PLAN VIEW  
SCALE 1:500

**LABELS**  
The contractor shall check label details against existing labels on site. Report any discrepancies immediately to the Contract Superintendent.

LV SWITCHBOARD LABELS AT MUGGELLO DR SC1485388				
CIRCUIT No.	LABEL SIZE	LABEL COLOUR	LETTER SIZE	LABEL INFORMATION
TRANSF ISOLATOR	80x35	WB	6	TRANSFORMER ISOLATOR
1	80x35	WB	5	[EXIST]
2	80x35	WB	5	TO MONZA DR U1485394 DIRECT, THEN DONINGTON DR P92169 & SERVICES
3	80x35	WB	5	[EXIST]
4	80x35	WB	5	[EXIST]



EXISTING & PROPOSED  
LV SCHEMATIC  
SCALE 1:2500

**PROPOSED COMMISSIONING PLAN**  
Tentative only; subject to amendment by ENERGEX outage coordinator.  
LV Switching x 1  
Description of switching:  
RECOVER 16LV (STN 1-2)  
INSTALL 240LV (STN 1-3)  
BRIDGE IN & COMMISSION LV CABLE AT STN 1 U1485402  
Where interruptions to existing consumers are required, they shall be notified in line with ENERGEX policies.

**GENERAL NOTES**

In the event of conflict between this works plan and drawings and specifications of the relevant future asset owner, i.e. Energex, Ergon, local authority, Department of Transport & Main Roads, NBN™, etc., the drawings and specifications of the future asset owner shall take precedence. Exceptions apply where RRA design documentation specify clearances, depths & separations greater than the minimum required by the authorities.  
The contractor shall not accept a verbal instruction from any person to depart from the requirements of this works plan or RRA General Specification. Any departure from the works plan or specification must first be authorised in writing by the Contract Superintendent.  
**ELECTRICAL CONTRACTOR**  
The works detailed on this drawing shall be constructed in accordance with Robin Russell & Associates' General Specification for Installation of Electricity Reticulation and Street Lighting - Issue 'AA'.  
**CIVIL CONTRACTOR**  
The installation of all electrical conduits shall be supervised by the holder of an electrical work licence - Electrical Safety Act 2002.  
Energex conduits and transformer site retaining walls shall be installed strictly in accordance with Energex's specifications (see below). They will be inspected for compliance upon completion.  
Where road-crossing conduits are installed deeper than usual (under culverts or pipes) they must rise to a depth of not more than 1200mm at each end. If uncertain, seek advice from RRA Construction Coordinator.  
The civil contractor shall install enveloping conduits under retaining walls behind pillars - two 100mm conduits into each lot (one for Electricity, one for Communications), 500mm deep behind the pillar, near ground level inside the lot.  
Relevant specifications in Energex's Underground Distribution Construction Manual are found at -  
Section C1: Conduits  
Section C2: Excavation  
Section C3: Transformer Sites  
These sections of the manual can be downloaded from the following Energex web site:  
[https://swp.energex.com.au/service\\_providers/technical\\_docs/asp/technical\\_documents.asp](https://swp.energex.com.au/service_providers/technical_docs/asp/technical_documents.asp)  
Civil engineers who have registered for access to the following RRA website may download extracts from Energex's manual at:  
<http://www.robrus.com.au>  
The civil contractor shall ensure that all conduits have been installed before constructing retaining walls, paths, driveways & water services. The civil contractor shall please inform the electrical contractor of any 'as constructed' departures from the civil design.

Care! Lighting of new or altered existing roads might not comply with specified standards until new road lighting has been commissioned. The civil contractor shall ensure that necessary warning signs are installed and speed restrictions are applied if necessary.

**ON-SITE SERVICES CHECKS**  
Robin Russell & Associates gives no warranty regarding the presence or location of buried services, including newly-installed services. "As Constructed" locations may differ from what is drawn on this works plan. Contractors shall be responsible to identify and locate all buried services. Initial identification can be obtained from:  
**Dial Before You Dig Service**  
Telephone 1100  
Fax 1300 652 077  
On-line enquiries can be made at:  
<http://www.1100.com.au>  
Having determined which services may be present, on-site locations should then be arranged with relevant service authorities.  
Sewerage and water plans for the subdivision may be obtained on request from the Superintendent.

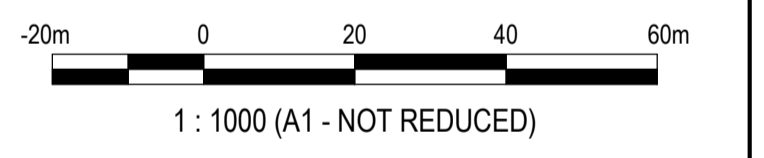
**INSTALLATION OF RRA DESIGNED TELECOMMUNICATIONS CONDUITS**  
Telecoms conduits and pits shall be supplied and installed by the civil and electrical contractors as specified on the associated RRA works plan.  
In residential subdivisions, Telecommunications conduits shall be installed generally in shared trenches, directly above the electrical conduits.  
In commercial subdivisions or other situations where this is not possible, Telecommunications conduits shall be installed in a separate trench on the specified communications alignment.

**PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL**  
Application No.: OPW/2019/1257  
Dated: 11 November 2019

**Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies**

**LEGEND: ELECTRICAL**

- EXISTING UNDERGROUND CABLE
- - - PROPOSED UNDERGROUND CABLE
- FUTURE UNDERGROUND CABLE
- BORED CONDUIT
- GAS IN SHARED TRENCH
- 12 110 STATION NUMBERS
- ⊙/⊙/⊙ PADMOUNT TRANSFORMER, EXISTING / PROPOSED / FUTURE
- ⊙/⊙/⊙ RING MAIN UNIT, EXISTING / PROPOSED / FUTURE
- ⊙/⊙/⊙ POLE TRANSFORMER, EXISTING / PROPOSED / FUTURE
- CABLE FAULT INDICATOR
- ⊙/⊙/⊙ SERVICE PILLAR, EXISTING / PROPOSED / FUTURE
- ⊙/⊙/⊙ LINK PILLAR, EXISTING / PROPOSED / FUTURE
- ⊙/⊙/⊙ LV LINKS (OPEN), EXISTING / PROPOSED / FUTURE
- ⊙/⊙/⊙ LV LINKS (CLOSED), EXISTING / PROPOSED / FUTURE
- EXISTING OVERHEAD ELECTRICITY MAINS
- PROPOSED OVERHEAD ELECTRICITY MAINS
- FUTURE OVERHEAD ELECTRICITY MAINS
- /○/○ HV POLE, EXISTING / PROPOSED / FUTURE
- /●/● HV + LV POLE, EXISTING / PROPOSED / FUTURE
- /●/● LV POLE, EXISTING / PROPOSED / FUTURE
- ⊕/⊕/⊕ EARTH, EXISTING / PROPOSED / FUTURE
- ⊙/⊙/⊙ STREET LIGHT, EXISTING / PROPOSED / FUTURE
- EXISTING RATE 3 STREETLIGHT CABLE
- PROPOSED RATE 3 STREETLIGHT CABLE
- FUTURE RATE 3 STREETLIGHT CABLE
- ⊙/⊙/⊙ RATE 3 STREET LIGHT, EXISTING / PROPOSED / FUTURE
- ⊙/⊙/⊙ RATE 3 SWITCHBOARD, EXISTING / PROPOSED
- EXISTING CONSUMERS UNDERGROUND CABLE
- PROPOSED CONSUMERS UNDERGROUND CABLE
- ⊕ TO BE RECOVERED
- /●/● CABLE, EXISTING / PROPOSED
- 32/40mm HD CONDUIT
- 80/100mm LD CONDUIT
- ⊙ 100mm WHITE ENERGEX COMMS. CONDUIT
- ⊙ 125mm LD CONDUIT
- △ "ENERGEX ELECTRIC CABLE" MARKER PLATE



**"AS CONSTRUCTED" DOCUMENTS**  
The electrical contractor shall email the "as constructed" drawing, test results & closure documents to:  
• [subdivision@energex.com.au](mailto:subdivision@energex.com.au)  
• [as.constructed@robrus.com.au](mailto:as.constructed@robrus.com.au)

**UNDERGROUND CABLE CERTIFICATION**  
All cables detailed on this drawing have been checked using the cable locator described below and are, according to measurements taken, on the correct alignment and at correct depths below the finished level, except as marked up. Alignments are subject to the accuracy of survey pegs present at the time of measurement.  
Make: \_\_\_\_\_ Model: \_\_\_\_\_  
Serial No.: \_\_\_\_\_ Date Cables Checked: \_\_\_\_/\_\_\_\_/\_\_\_\_  
Name of Person Who Conducted Checks: \_\_\_\_\_  
Certified (signature of checker): \_\_\_\_\_  
Phone No. of checker: \_\_\_\_\_

**TELECOMMUNICATIONS INFRASTRUCTURE**  
CONDUITS & PITS to be designed by: Robin Russell & Associates  
to be installed by: civil & electrical contractors  
to be owned by: \_\_\_\_\_  
TELECOMMUNICATIONS INFRASTRUCTURE to be provided by: **NBNCo Limited**

**SOURCE DOCUMENTS**

CREATOR	DRAWING	DWG. NO.	REV. NO.	DATE
MORTONS URBAN SOLUTIONS	CIVIL BASE	36901-ALL.zip	-	15/8/2019
ENERGEX	MAINS MAP	Drawing2.dwg	-	16/8/2019

**SITE INFORMATION**  
TOTAL NUMBER OF LOTS  
4  
PROPERTY DESCRIPTION  
PROPOSED LOTS 1-4 CANCELLED LOTS 3 on SP275769

**CONSTRUCTION CONTACTS**  
**ELECTRICAL ENGINEER**  
ROBIN RUSSELL & ASSOCIATES PTY LTD  
DESIGNER  
WILLIAM SCHARDT ph: 0419 778 552  
CONSTRUCTION COORDINATOR  
BERNIE RUSSELL ph: 0413 598 560  
**CIVIL ENGINEER**  
MORTONS-URBAN SOLUTIONS  
KEVIN FOX ph: 5571 1099  
**SURVEYOR**  
CAD CON SURVEYING & TOWN PLANNING  
JOHN GILLESPIE ph: 5479 5311

DATE	REV	REVISION	APP.	DATE	REV	REVISION	APP.	CURRENT REVISION CHANGES:
28/8/2019	A	PRELIMINARY ISSUE	RR					

**Robin Russell & Associates Pty. Ltd.**  
CONSULTING ENGINEERS - ELECTRICAL  
20/45 Sebring Street, Stafford, QLD 4053  
Tel: (07) 3872 5556  
Fax: (07) 3872 5566  
Email: [info@robrus.com.au](mailto:info@robrus.com.au)  
[www.robrus.com.au](http://www.robrus.com.au)  
A.B.N. 78 010 589 661

ENERGEX SPECIFICATION	WCS47.1	DESIGNED	W.Schardt
COUNCIL	GOLD COAST CITY	DRAWN	The Drafting Room
COUNCIL REF	PN349822/12/DA1	APPROVED BY	ROBIN RUSSELL RPEQ 1546
UBD REF	Map GC 16	SIGNED	<i>Robin Russell</i>
DWT REV	V47 - 20190715	DATE	28/8/2019

DESCRIPTION  
**ELECTRICITY RETICULATION - COMMUNITY TITLES**  
CLIENT  
TELLURIUM GG Pty Ltd

LOCATION  
**DONINGTON DRIVE SUBDIVISION DONINGTON DR MAUDSLAND**  
THIS DOCUMENT IS COPYRIGHT AND THE PROPERTY OF ROBIN RUSSELL & ASSOCIATES PTY LTD AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT AUTHORITY.

DRAWING No.  
**D134-01A**  
ENERGEX PROJECT No.  
**S0106748**  
SHEET No.  
**1 OF 2**



## **MATTHEW FRITZSCHE**

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## **DAX ROEP**

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E [dax.roep@raywhite.com](mailto:dax.roep@raywhite.com)

**RAY WHITE SPECIAL PROJECTS QLD**