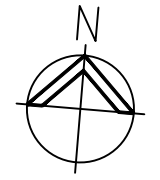
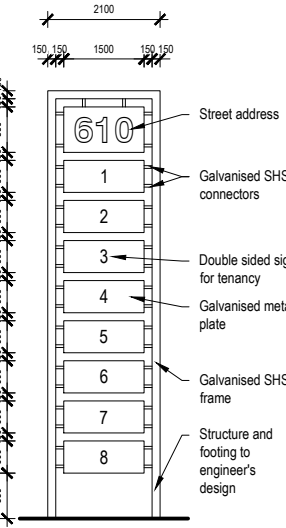
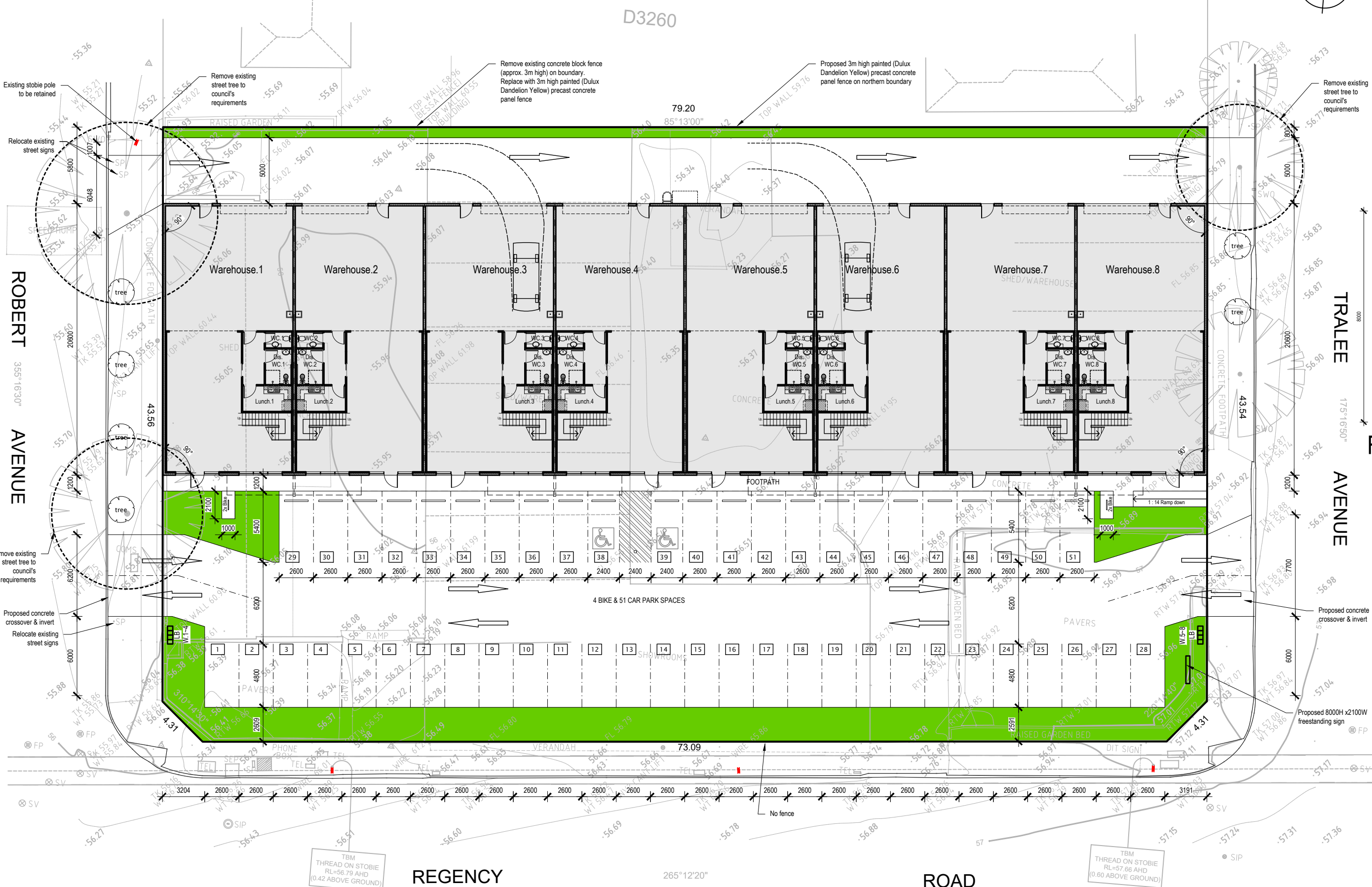


Proposed Site Plan



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Note: Sign to comply to DPTI conditions
 Any illuminated signage to be limited to a low level of illumination ($\leq 200\text{cd/m}^2$)
 Sign shall not contain any element that flashes, scrolls, moves or changes
 Sign shall be finished in a material of low reflectivity to minimise the risk of sun and headlamp glare.
 The utilization of trailer mounted variable message displays for advertising purposes is not permitted on or adjacent to the subject land

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zummo design
 building designers
 32a Mary St (cnr Park Toe) Salisbury SA 5108
 ph: 8250 0066
 mob: 0411 411 492
 fax: 8285 6987
 email: andrew@zummodesign.com

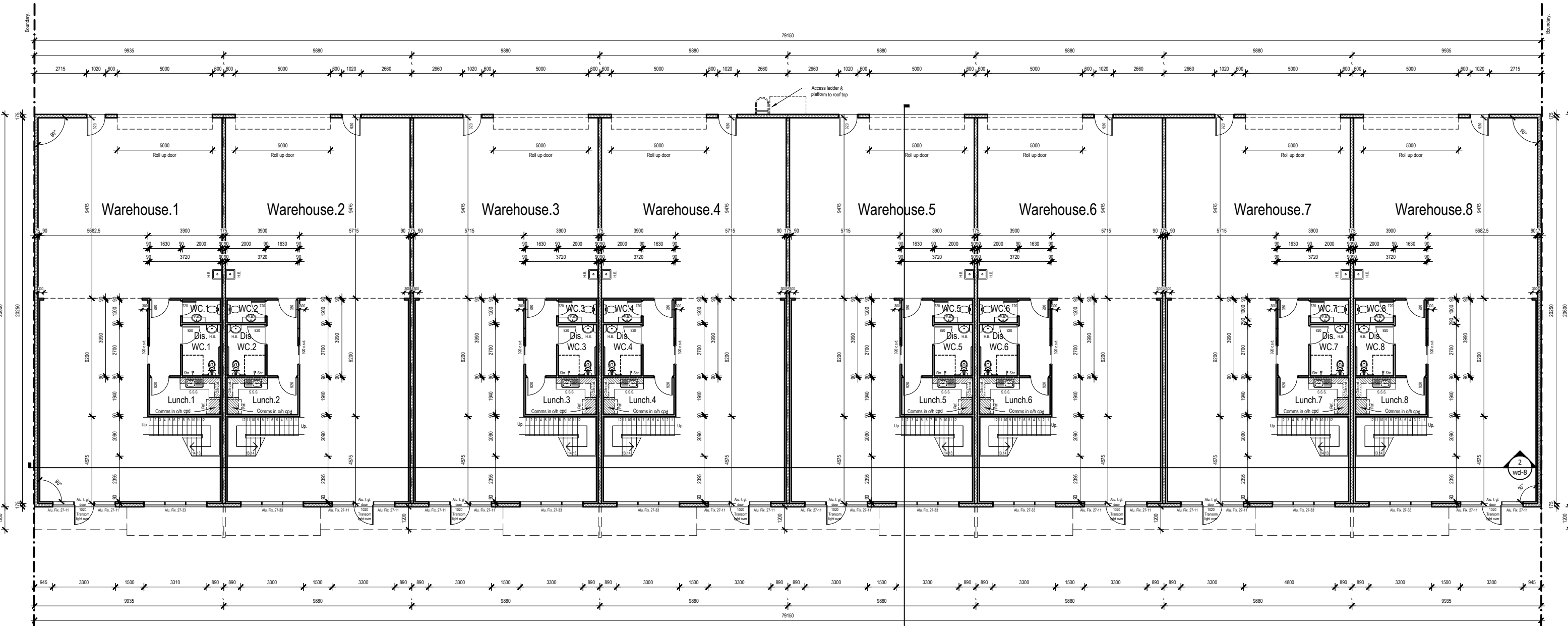
PROPOSED WAREHOUSES
 client: 610 Regency Pty Ltd
 site: no.610 Regency Road Broadview

SITE COVERAGE		
Total Land	3681.26 m ²	100%
Building	1630.49 m ²	44.3%
Landscape	358.34 m ²	9.7%
Car parks	51	
Bike parks	4	

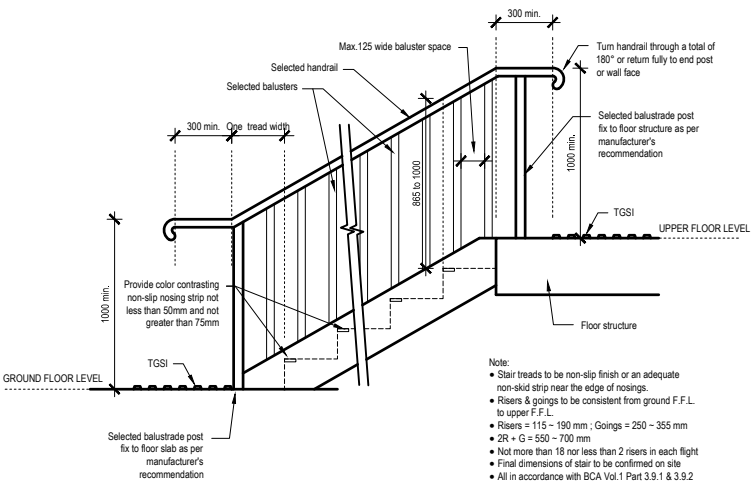
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scale:	1:200	date: 18-Feb-22
paper size:	A2	

SITE PLAN

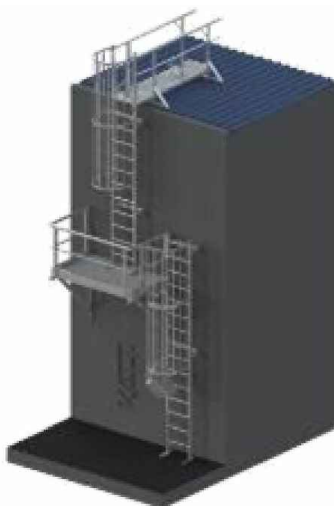
LB Grouped letter boxes complete with number



GROUND FLOOR PLAN



TYPICAL STAIR DETAILS



ACCESS LADDER & PLATFORM TO ROOF TOP



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 Within dimensions take precedence over scale.
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AREAS		AREAS		AREAS	
Ground floor.1	204.66 m ²	Total Tenant.1	203.53 m ²	Ground floor.7	203.53 m ²
First floor.1	116.42 m ²	First floor.4	115.82 m ²	Total Tenant.7	319.35 m ²
Ground floor.2	203.53 m ²	Total Tenant.2	203.53 m ²	Ground floor.8	204.66 m ²
First floor.2	115.82 m ²	First floor.5	115.82 m ²	First floor.8	116.42 m ²
Ground floor.3	203.53 m ²	Total Tenant.3	203.53 m ²	Total Tenant.8	321.08 m ²
First floor.3	115.82 m ²	First floor.6	115.82 m ²	TOTAL	2558.26 m ²
		Total Tenant.4	319.35 m ²	Total Ground Floor	1630.49 m ²

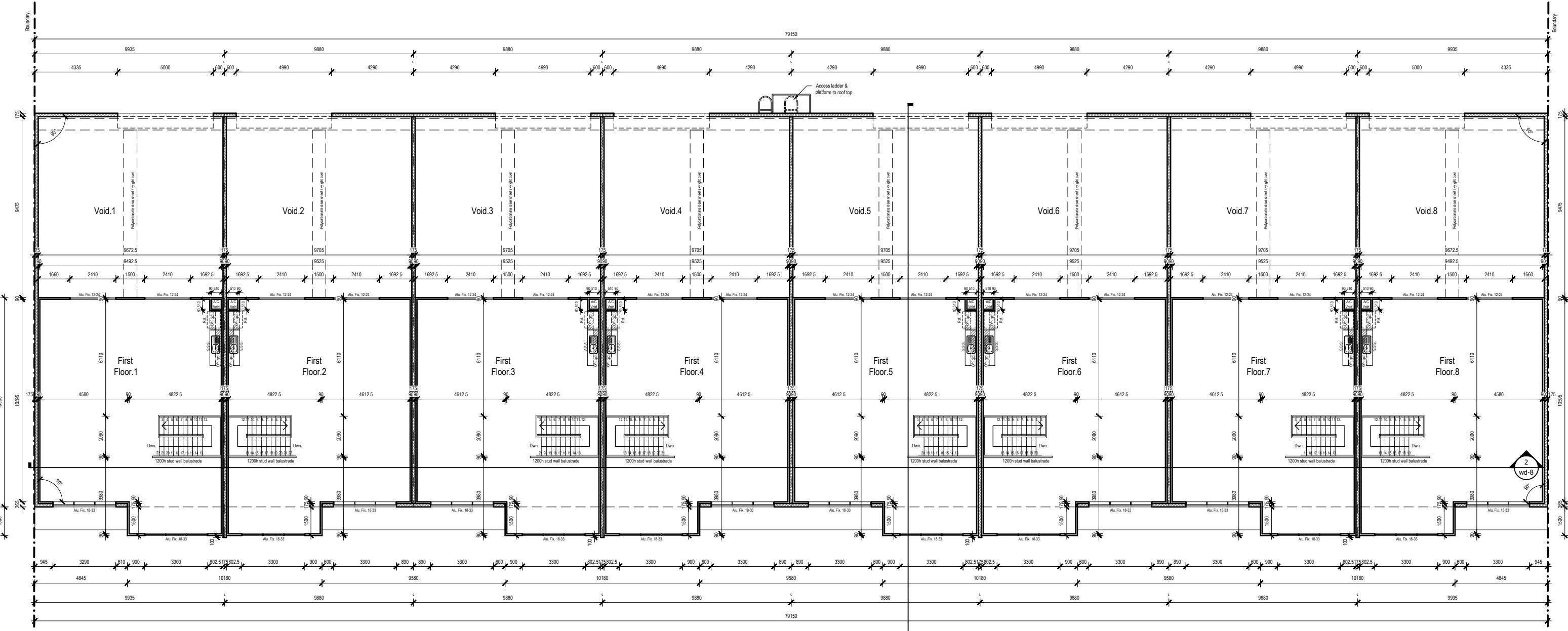
© copyright



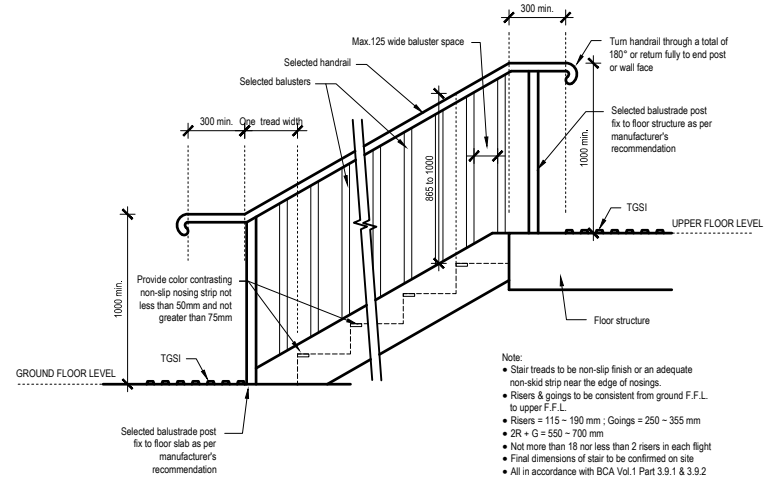
PROPOSED WAREHOUSES
 client:
 610 Regency Pty Ltd
 at: no 610
 Regency Road
 Broadview

2714/04/21	wd - 2
Proposed Ground Floor Plan	
scale:	date:
1 : 100	18-Feb-22
sheet:	size:
A 1	A 1

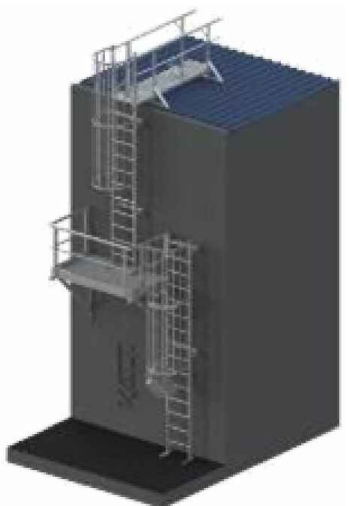
- GENERAL NOTES**
- Rockwool insulation to all the office external walls and ceilings.
 - Provide draft seal to all the external office swing doors.
 - Gas HWS to comply with clause 8 of AS3500.4
 - Air relief grill to all internal office doors to allow return air to central passage.
 - Provide clear and legible signs incorporating international symbol of access or deafness in accordance with B.C.A. D3.6 & AS 1428.1
 - All exit doors to be minimum 850 wide clear opening, to be provided with door hardware to comply with B.C.A. D.2.19 - D.2.23 requirements
 - All door 2040 high unless otherwise noted
 - Glazing assemblies and glazing must comply with AS 2047 and AS 1288
 - Switchboard to be non-combustible construction and fitted with smoke seals if in a path of travel



FIRST FLOOR PLAN



TYPICAL STAIR DETAILS



ACCESS LADDER & PLATFORM TO ROOF TOP

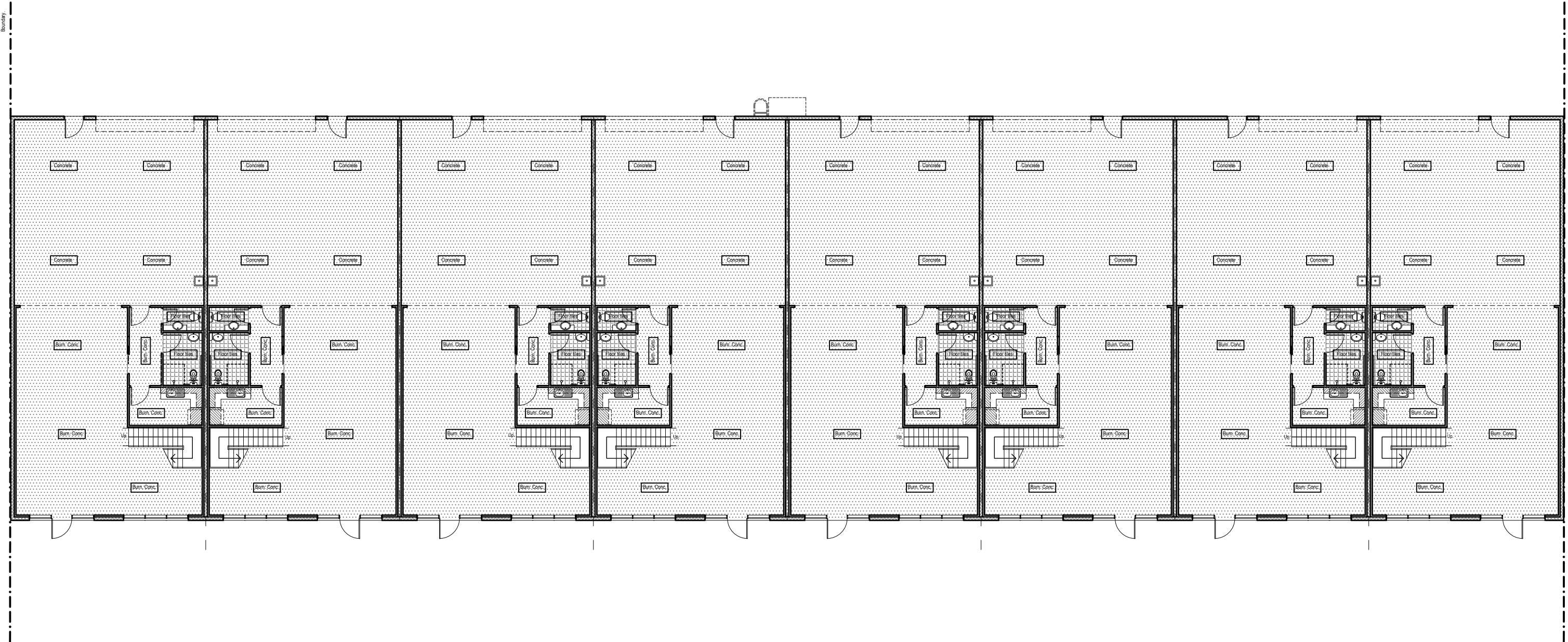
1 wd-8

Contractor Notes: c.o.s. = confirm on site
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

- GENERAL NOTES**
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 - Provide draft seal to all the external office swing doors.
 - Gas HWS to comply with clause 8 of AS3500.4
 - Air relief grill to all internal office doors to allow return air to central passage.
 - Provide clear and legible signs incorporating international symbol of access or deafness in accordance with B.C.A. D3.6 & AS 1428.1
 - All exit doors to be minimum 850 wide clear opening, to be provided with door hardware to comply with B.C.A. D.2.19 - D.23 requirements
 - All door 2040 high unless otherwise noted
 - Glazing assemblies and glazing must comply with AS 2047 and AS 1288
 - Switchboard to be non-combustible construction and fitted with smoke seals if in a path of travel

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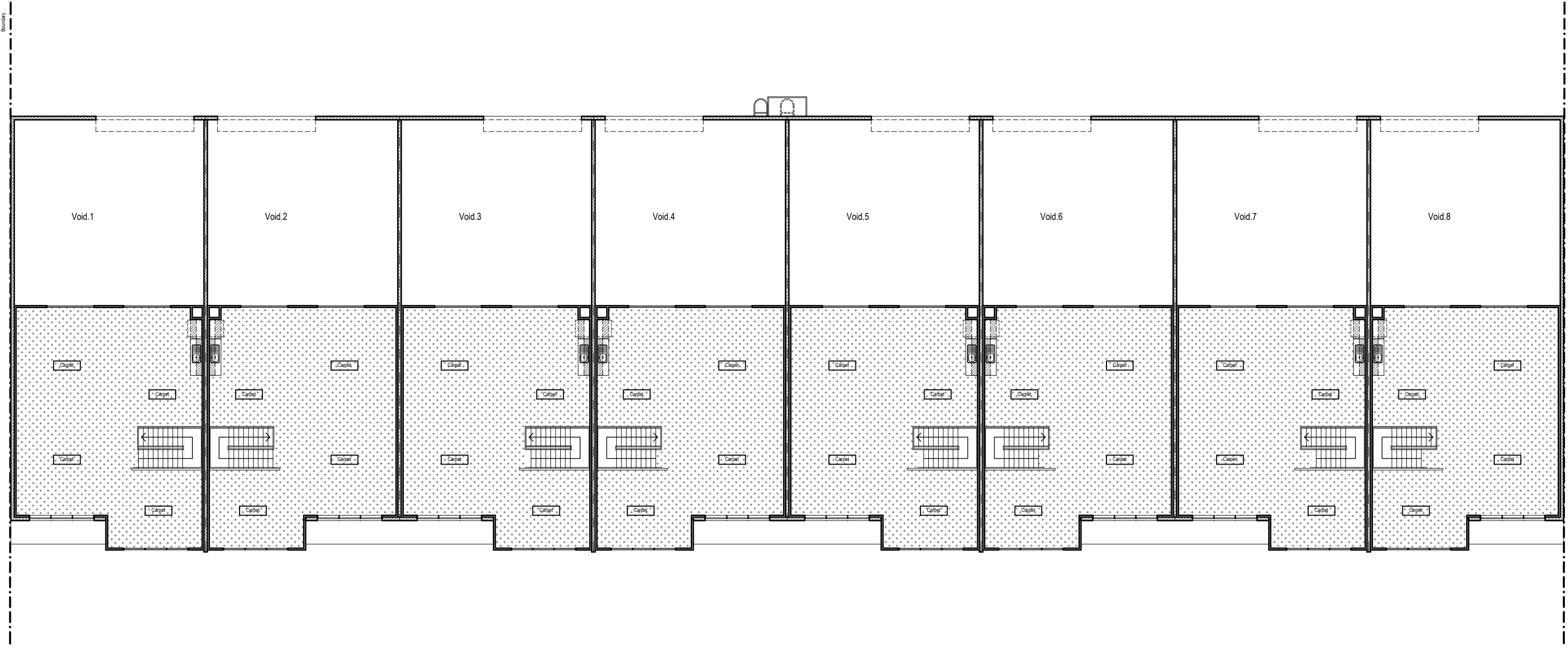
<p>32a Mary St (Opp Park Top) Salisbury SA 5108 ph : 8250 0066 mob : 0411 411 492 fax : 8250 0067 email : andrew@zunimodesign.com</p>	<p>PROPOSED WAREHOUSES client: 610 Regency Pty Ltd at: no.610 Regency Road Broadview</p>	<p>2714/04/21 wd-3 Proposed First Floor Plan</p>
	<p>Working drawing</p>	<p>scale: 1:100 date: 18-Feb-22 paper size: A1</p>



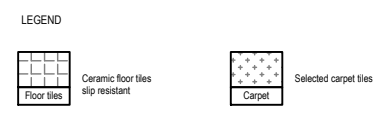
GROUND FLOOR COVERING PLAN

- LEGEND
-  Ceramic floor tiles slip resistant
 -  Burnished concrete / sealed

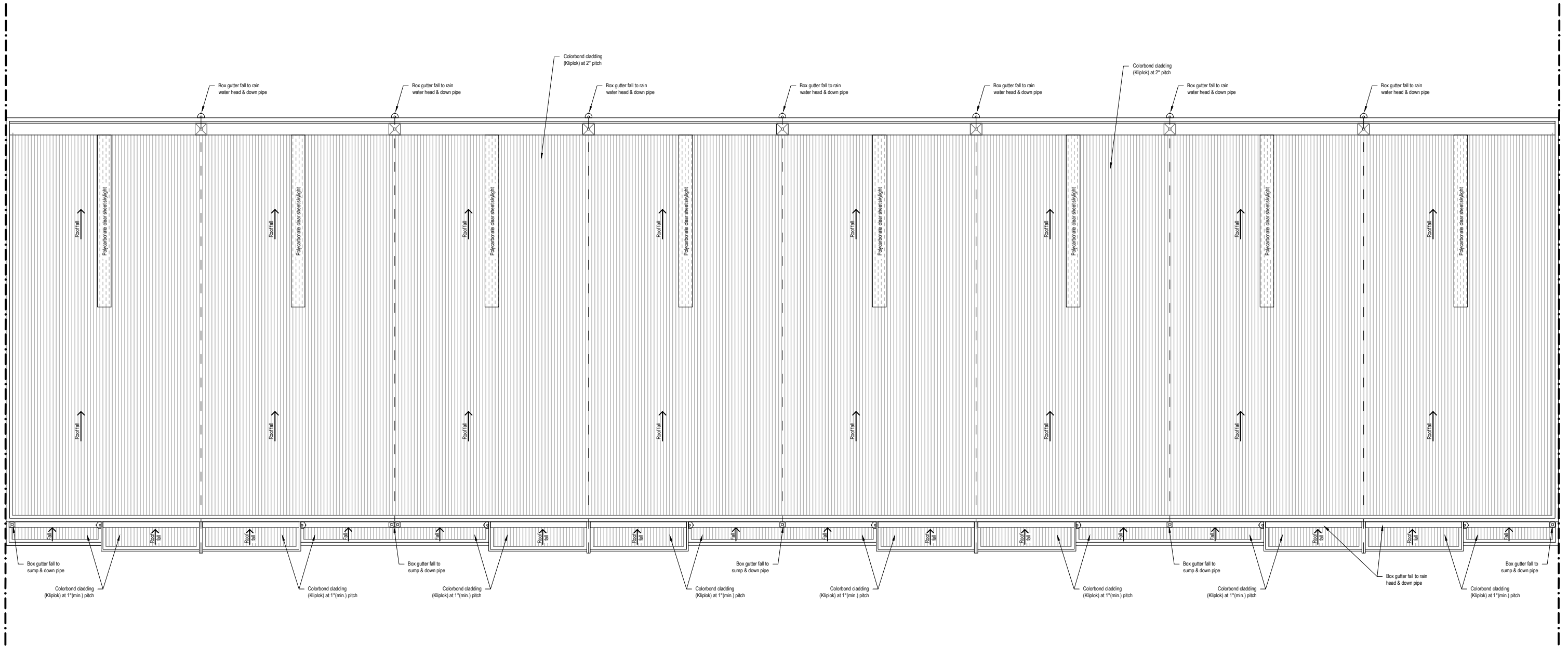
<p>Contractor Notes: c.o.s. = confirm on site All boundary lengths & locations to be confirmed on site by a licensed surveyor before commencing any works. All dimensions are nominal. Contractor to check & verify all dimensions on site & adjust as required to suit specific requirements. Check all dimensions & levels before commencing any works. Written dimensions take precedence over scale. All details & dimensions to be checked & verified on site by builder.</p>	 <p>32a Mary St Gowrie NSW 2568 ph : 8250 0066 mob : 0411 411 492 fax : 8250 0067 email : andrew@zummodesign.com</p>	PROPOSED WAREHOUSES client: 610 Regency Pty Ltd at: no.610 Regency Road Broadview	2714/04/21 wd 4 Proposed Ground Floor Covering Plan scale: 1 : 100 date: 18-Feb-22 paper: A 1
		A22 Working drawing © copyright	



FIRST FLOOR COVERING PLAN

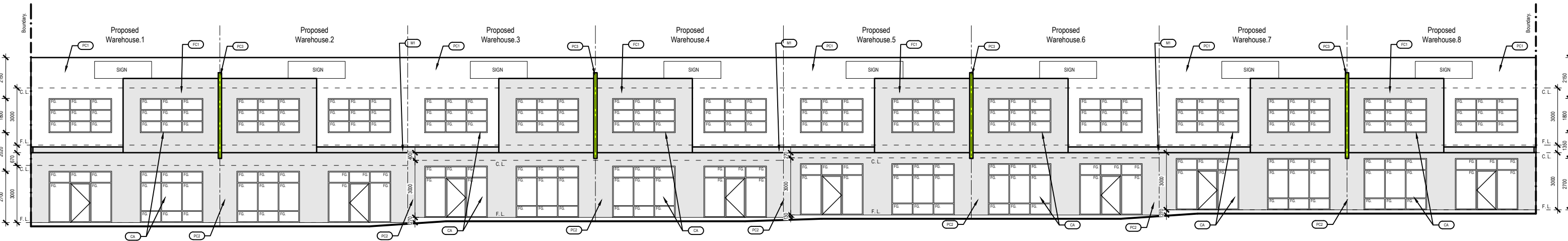


<p>Contractor Notes: c.o.s. = confirm on site All boundary lengths & locations to be confirmed on site by a licensed surveyor before commencing any works. All dimensions are nominal. Contractor to check & verify all dimensions on site & adjust as required to suit specific requirements. Check all dimensions & levels before commencing any works. Written dimensions take precedence over scale. All details & dimensions to be checked & verified on site by builder.</p>	<p>zuno design BUILDING DESIGNERS 32a Mary St (Opp Park Top) Salisbury SA 5108 ph : 8250 0066 mob : 0411 411 492 fax : 8250 0067 email : andrew@zunodesign.com</p>	<p>PROPOSED WAREHOUSES client: 610 Regency Pty Ltd at: no.610 Regency Road Broadview</p>	<p>2714/04/21 wd 5 Proposed First Floor Covering Plan</p>
		<p>A22 Working drawing</p>	<p>© copyright</p>

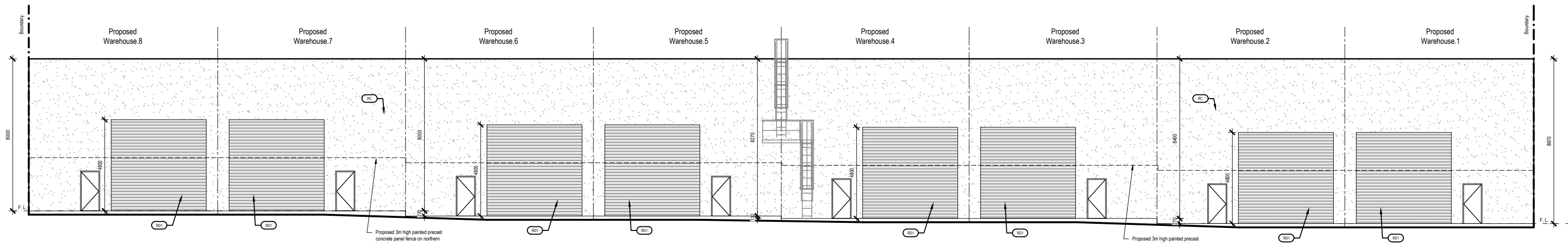


ROOF PLAN

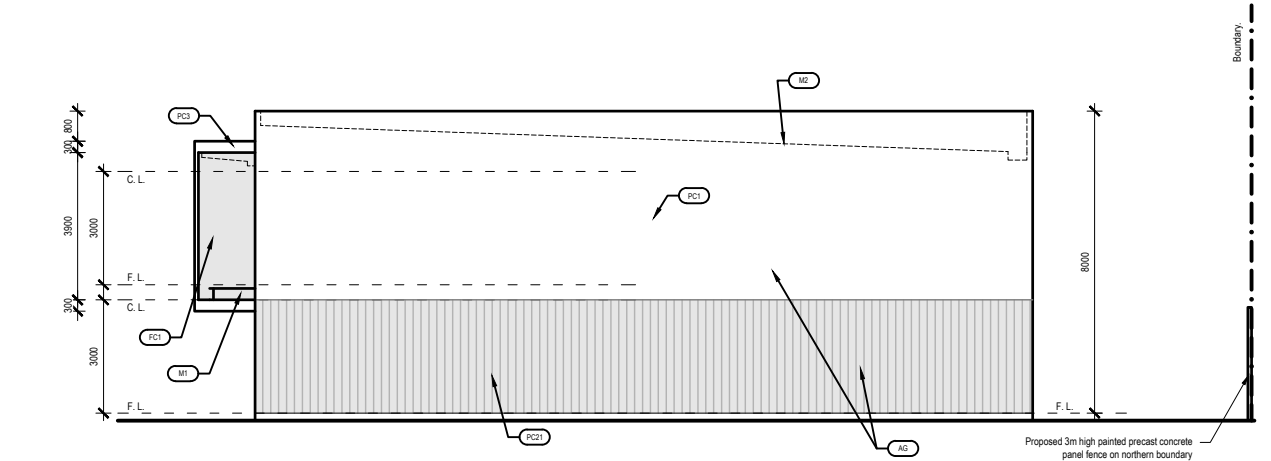
Contractor Notes: c.o.s. = confirm on site All boundary lengths & locations to be confirmed on site by a licensed surveyor before commencing any works. All dimensions are nominal. Contractor to check & verify all dimensions on site & adjust as required to suit specific requirements. Check all dimensions & levels before commencing any works. Written dimensions take precedence over scale. All details & dimensions to be checked & verified on site by builder.	A22	Working drawing	 Building Designers 32a Mary St Gowrie NSW 2588 ph : 8250 0066 mob : 0411 411 492 fax : 8250 0067 email : andrew@zunmodesign.com	PROPOSED WAREHOUSES	2714/04/21 wd 6
				client: 610 Regency Pty Ltd at: no.610 Regency Road Broadview	Proposed Roof Plan scale: 1:100 date: 18-Feb-22 paper size: A1



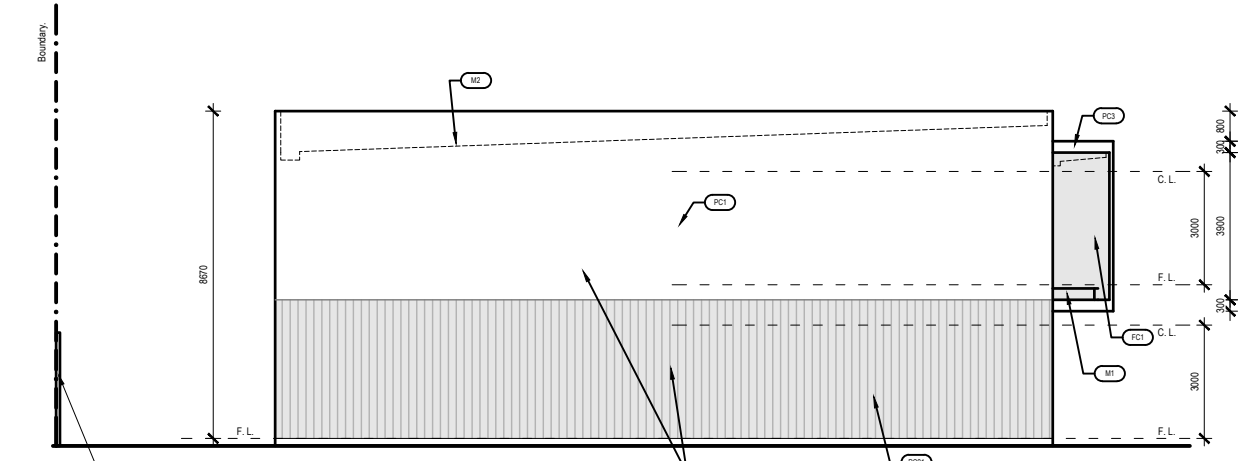
SOUTH ELEVATION



NORTH ELEVATION



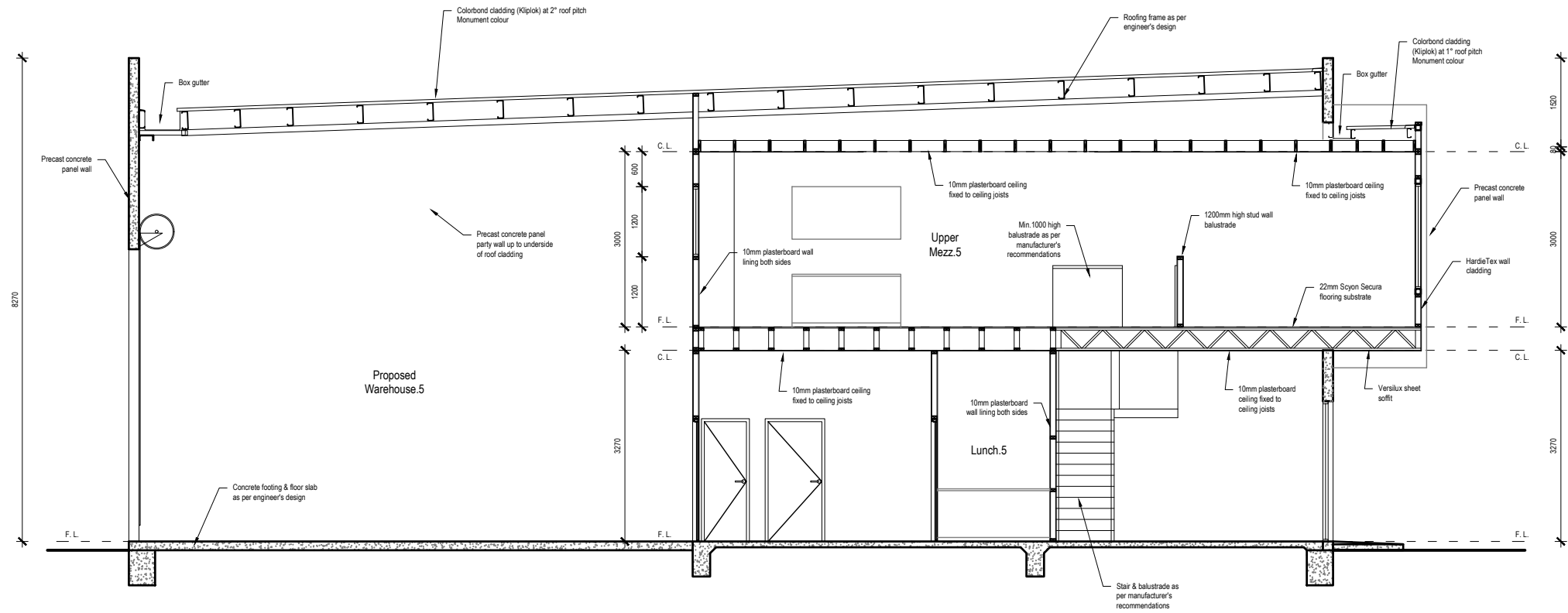
EAST ELEVATION



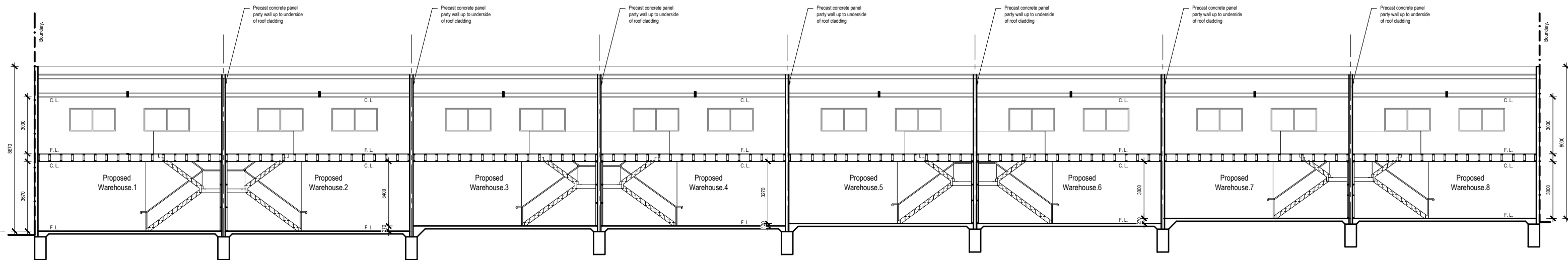
WEST ELEVATION

Exterior Finish & Colour Schedule	
Type Mark	Description
AG	Anti-graffiti coating to side wall facing street
CA	Commercial aluminium, Black powder coat frame, Grey laminated glass to code, U Value 5.8, SHGC 0.61
FC1	HardTex cladding - Unitek coating - Monument
M1	Exposed 300PFC perimeter beam - Painted finish - Dulux Monument
M2	Colorbond Kliplok roof cladding - Monument (2° roof pitch)
PC	Precast concrete panel - Natural finish
PC1	Precast concrete panel - Painted finish - Dulux Surfmat
PC2	Precast concrete panel - Painted finish - Dulux Monument
PC3	Precast concrete panel - Painted finish - Dulux Dandelion Yellow
PC21	Precast concrete panel c/w vertical grooves / fake joints at 200mm ctrs. Painted finish - Dulux Monument
RD1	Roll up door - Monument powder coated

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		<p>© copyright</p>	<p>Working drawing</p>



1 SECTION - 1
Scale 1:50



2 SECTION - 2
Scale 1:100

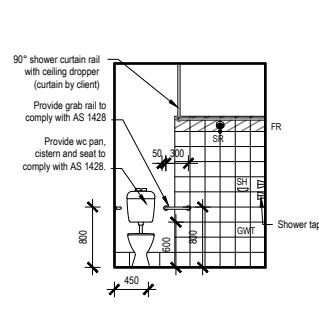
<p>Contractor Notes: c.o.s. = confirm on site All boundary lengths & locations to be confirmed on site by a licensed surveyor before commencing any works. All dimensions are nominal. Contractor to check & verify all dimensions on site & adjust as required to suit specific requirements. Check all dimensions & levels before commencing any works. Written dimensions take precedence over scale. All details & dimensions to be checked & verified on site by builder.</p>	<p>zumbo design BUILDING DESIGNERS 32a Mary St (Opp Park Top) Salisbury SA 5108 ph : 8250 0066 mob : 0411 411 492 fax : 8250 0067 email : andrew@zumbodesign.com</p>	<p>PROPOSED WAREHOUSES</p>	<p>2714/04/21 wd 8</p>
		<p>client: no.610 Regency Road Broadview</p>	<p>Proposed Sections</p>
<p>A22 Working drawing</p>	<p>© copyright</p>	<p>scale: 1:50</p>	<p>date: 18-Feb-22</p>

Proposed Disabled WC & Wall Details

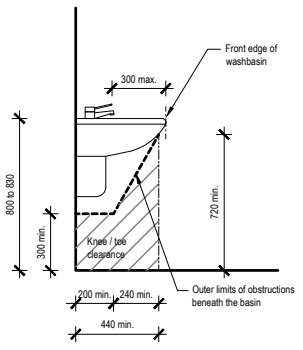
Contractors Note :
 c.o.s. = confirm on site
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LEGEND

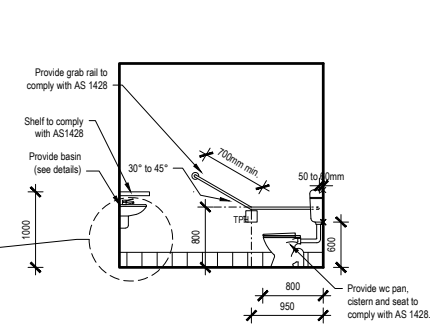
FR	Frieze tile
FT	Floor trap
GWT	Glazed wall tiles
HB	Ceramic hand basin
SCR	Shower curtain rail
SH	Soap holder
SR	Shower rose
TPH	Toilet paper holder
TR	Towel rail



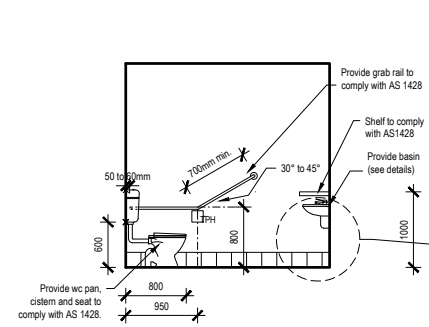
Disabled W.C.1, 3, 5, 7 View 1



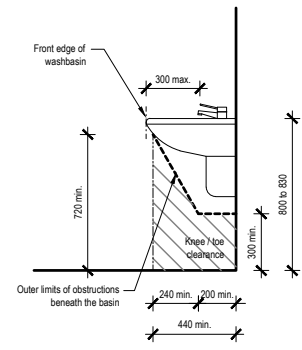
Basin Detail



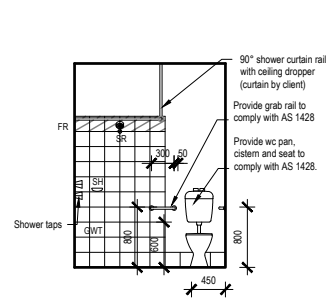
Disabled W.C.1, 3, 5, 7 View 2



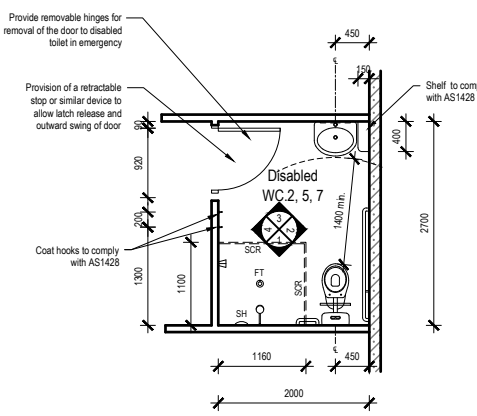
Disabled W.C.2, 4, 6, 8 View 1



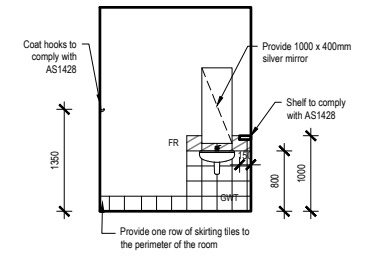
Basin Detail



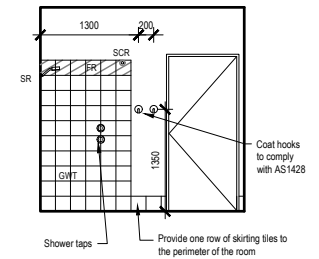
Disabled W.C.2, 4, 6, 8 View 2



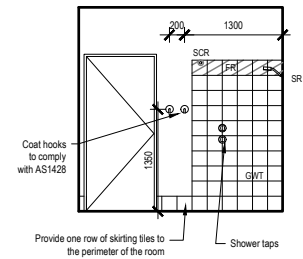
Disabled W.C.1, 3, 5, 7 Floor Plan



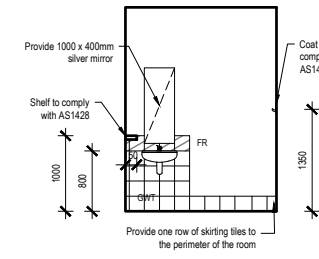
Disabled W.C.1, 3, 5, 7 View 3



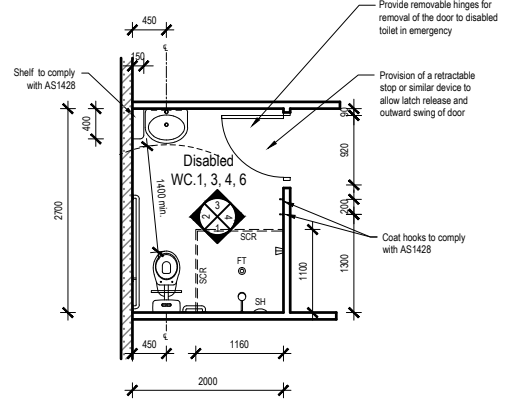
Disabled W.C.1, 3, 5, 7 View 4



Disabled W.C.2, 4, 6, 8 View 3

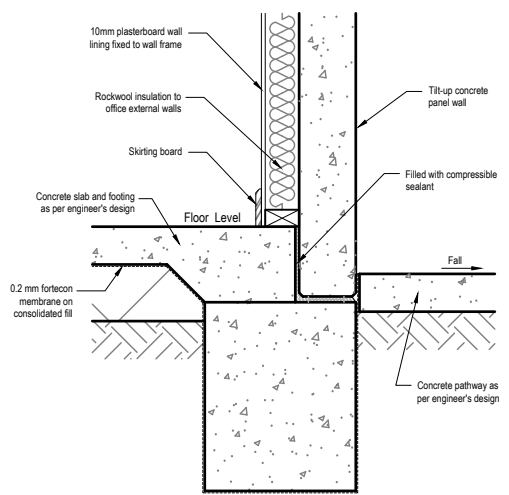


Disabled W.C.2, 4, 6, 8 View 4

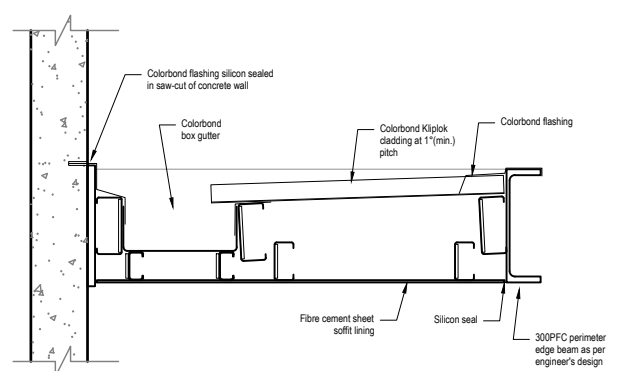


Disabled W.C.2, 4, 6, 8 Floor Plan

NOTE : Disabled water closet to be in accordance with Australian Standards AS 1428.1 -2009
NOTE : Provide clear and legible signs incorporating the international symbol of access or deafness in accordance with BCA-D3.6



Wall Detail
 Scale 1:10



Canopy Detail
 Scale 1:10