



YERTCHUK AVENUE STREET VIEW

Drawing list_TP

Number	Name	Revision
TP 0.01	Site Analysis	A
TP 0.02	Design Response	A
TP 0.03	Existing Site Images	A
TP 0.04	Shadow Diagrams	A
TP 1.01	Floor Plans	B
TP 1.11	North & West Elevations	B
TP 1.12	South & East Elevations	A
TP 1.21	Section A-A	A
TP 9.01	Finished Materials	A

- SUMMARY OF ESD REQUIREMENTS**
- Building Fabric**
- External walls from conditioned spaces (retail and apartment) to have minimum R2.5 insulation added.
 - Roof areas from conditioned spaces to have minimum R3.5 insulation added (including where balconies above).
 - Floor between ground car park and Level 1 to have a minimum R1.0 insulation added.
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 - Ground floor retail glazing to achieve U=3.5 (or lower), SHGC=0.5 (+/-10%) including frame.
 - Apartment glazing to achieve U=4.0 (or lower), SHGC=0.6 (+/-5%) including frame.
 - All glazing to have a Visible Light Transmittance (VLT) of at least 60%.
 - Exhaust fans to have self-closing dampers.
 - Downlights to have insulated over or covers that allow insulation to pass unbroken over.
- Energy**
- Hot water assumed to be gas instantaneous with minimum 5 star rating.
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 - Heating and cooling assumed to be reverse cycle split systems with minimum 3 star heating and cooling efficiency.
 - Dryers to be minimum 2 stars.
 - All lighting (apartment, retail and common areas) to be at least 20% lower than the maximum BCA illumination power density (W/m²).
- Water**
- Rainwater tank to be installed, collecting water from minimum 100m². Tank to be minimum 5,000litres and supply at a minimum level 1 toilets.
 - Showerheads to be minimum 3 star WELS with <7.5l/min.
 - All taps to be minimum 5 star WELS.
 - All toilets to be minimum 4 star WELS.
 - All urinals to be minimum 4 star WELS.
 - Dishwashers to be minimum 4 star WELS rated if installed by developer. If installed, retail urinal be minimum 5 star WELS rated.
- Waste**
- Recycling facilities to be at least as convenient as facilities for general waste.

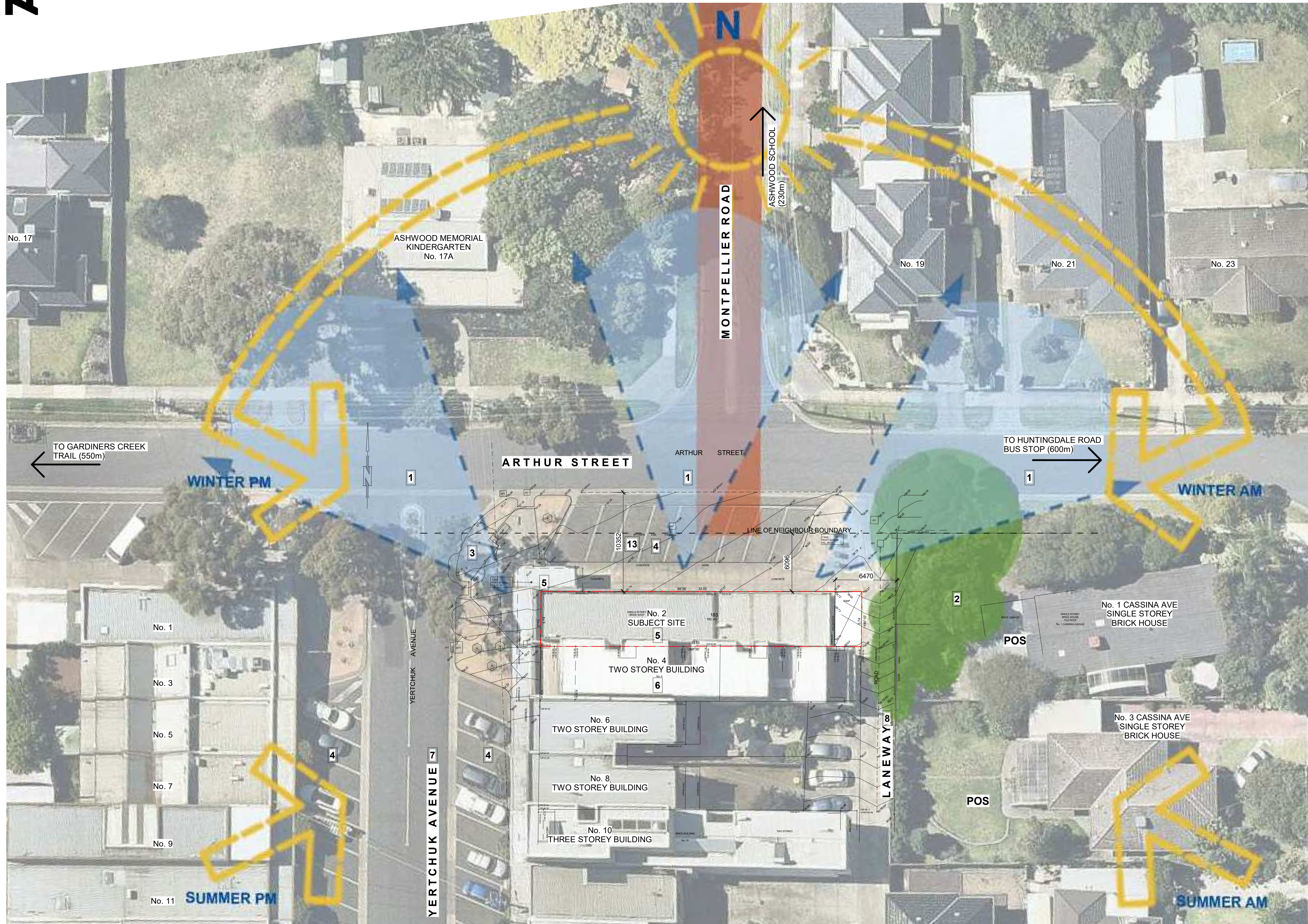
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Project
Ashwood Apartments - A+
2 Yertchuk Ave, Ashwood, VIC 3147

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Client / Project	Project North	Drawing Title
		Cover
Scale: @A1	Checked: PK	Date: 30/04/2018
Project Number	Series/Package	Drawing
17-039		TP 0.00
		Revision
		A
		Status



SITE ANALYSIS

1. NORTHERN FRONTAGE - POTENTIAL OPPORTUNITIES TO MAXIMIZE DAYLIGHT INCOMING AND VIEWS TO ARTHUR STREET
2. SIGNIFICANT VEGETATION BUFFER TO EASTERN NEIGHBOUR PROPERTIES
3. IMPORTANT COMMERCIAL CORNER ADDRESS - GATEWAY TO COMMERCIAL PRECINCT - POTENTIAL OPPORTUNITIES FOR DIFFERENT ACCESSES TO PROPOSED GROUND FLOOR RETAIL AND UPPER LEVEL APARTMENTS
4. PUBLIC CARPARKS WITH RESTRICTED HOURS
5. SUBJECT SITE: EXISTING SINGLE LEVEL RETAIL WITH POORLY PRESENTED WEST FACADE AND UN-USED NORTHERN FRONTAGE
6. No. 4 YERTCHUK - NEIGHBOUR PROPERTY - UNDER CONSTRUCTION 2 STOREY BUILDING WITH HEIGHT OF 3 STOREY
7. EXISTING STRUGGLING RETAIL STRIP
8. EXISTING REAR LANEWAY - POTENTIAL OPPORTUNITY FOR APARTMENT GARAGE ACCESS
9. BUS STOP ON HUNTINGDALE ROAD (600m EAST)
10. TO GARDINERS CREEK TRAIL (550m WEST)
11. TO ASHWOOD SCHOOL (230m NORTH)
12. TO JORDANVILLE RAILWAY STATION (1.9km SOUTH)
13. SUBJECT SITE IS SET WELL BACK FROM ARTHUR STREET

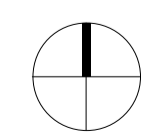
DRAWINGS UNDER DEVELOPMENT
SCHEMATIC DESIGN

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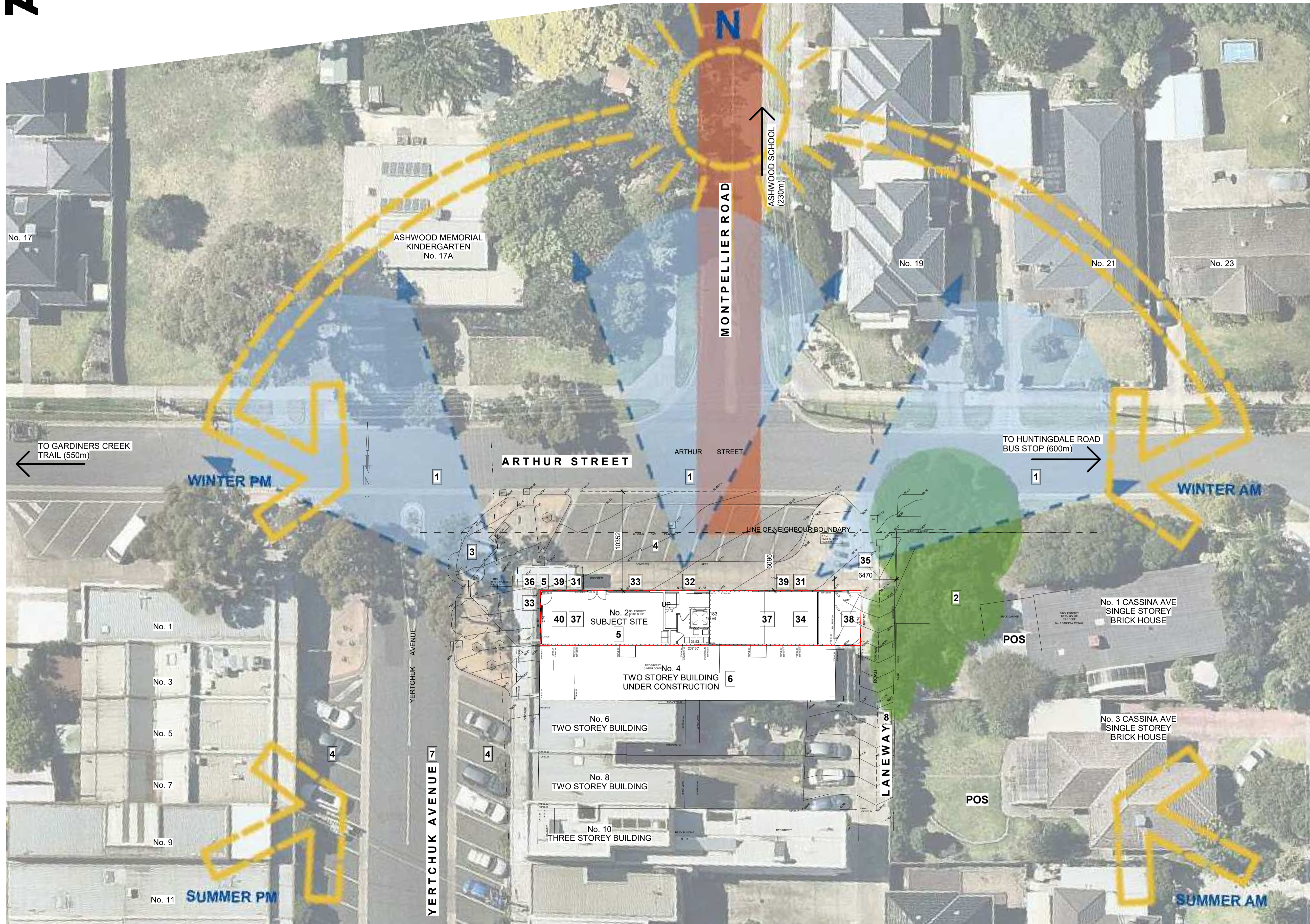
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Scale Bar



Site Analysis

Scale: 1 : 200@A1	Checked: PK	Date: 30/04/2018		
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17-039		TP 0.01	A	



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 - TO ASHWOOD SCHOOL (230m NORTH)
 - TO JORDANVILLE RAILWAY STATION (1.9km SOUTH)
- DESIGN RESPONSES**
- NORTH FACING BEDROOMS, LIVING ROOMS AND EXTERNAL DECKS TAKE MAXIMUM ADVANTAGE OF SUNLIGHT AND NORTHERN ASPECTS
 - RESIDENT ENTRY FACING MONTEPELLIER ROAD AND SEPERATED TO RETAIL TENANCY
 - ATTRACTIVE RETAIL FRONTAGES (WEST & NORTH SIDES) TO MAXIMISE EXPOSURE TO YERTCHUK AVENUE AND ARTHUR STREET
 - 8 CARSPACES PROVIDED BY CAR-STACKER SYSTEM TO CATER PARKING REQUIREMENTS (WITH 1 VISITOR PARKING LOT INCLUDED)
 - GROUND LEVEL EASTERN FACADE SET BACK FROM SITE BOUNDARY TO ALLOW 6.4m CLEARANCE TO EXISTING REAR LANEWAY TO ACT AS GARAGE ACCESS.
 - ATTRACTIVE AND ARTICULATED FACADES (NORTH, EAST & WEST) TO PROVIDE INTEREST TO THE INTERSECTION OF ARTHUR STREET AND YERTCHUK AVENUE AND TO RESPOND TO THE NEIGHBOURING BUILDING
 - PRIVATED TOP DECKS TO RETURN GREENERY PRIVATE OPEN SPACES TO APARTMENT RESIDENTS
 - FROSTED SMALL SIZE WINDOWS OPEN TO EAST FACADE TO PREVENT OVERLOOKING TO NEIGHBOUR POS
 - NORTH FACING GOOD SIZE BALCONIES TO EACH APARTMENT TO TAKE ADVANTAGE OF OUTDOOR SPACES
 - ENHANCED FLEXIBLE GROUND FLOOR RETAIL SPACE

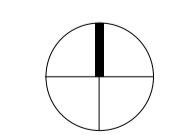
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Scale Bar



Design Response

Scale: 1 : 200@A1	Checked: PK	Date: 30/04/2018		
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17-039		TP 0.02	A	



YERTCHUK AVE - VIEW TO SUBJECT SITE



ASHWOOD MEMORIAL KINDERGARTEN

ARTHUR STREET - VIEW FROM SUBJECT SITE



VIEW FROM SUBJECT SITE TO MONTPELLIER RD



YERTCHUK AVE - VIEW FROM SUBJECT SITE



VIEW TO LANEWAY AT REAR END

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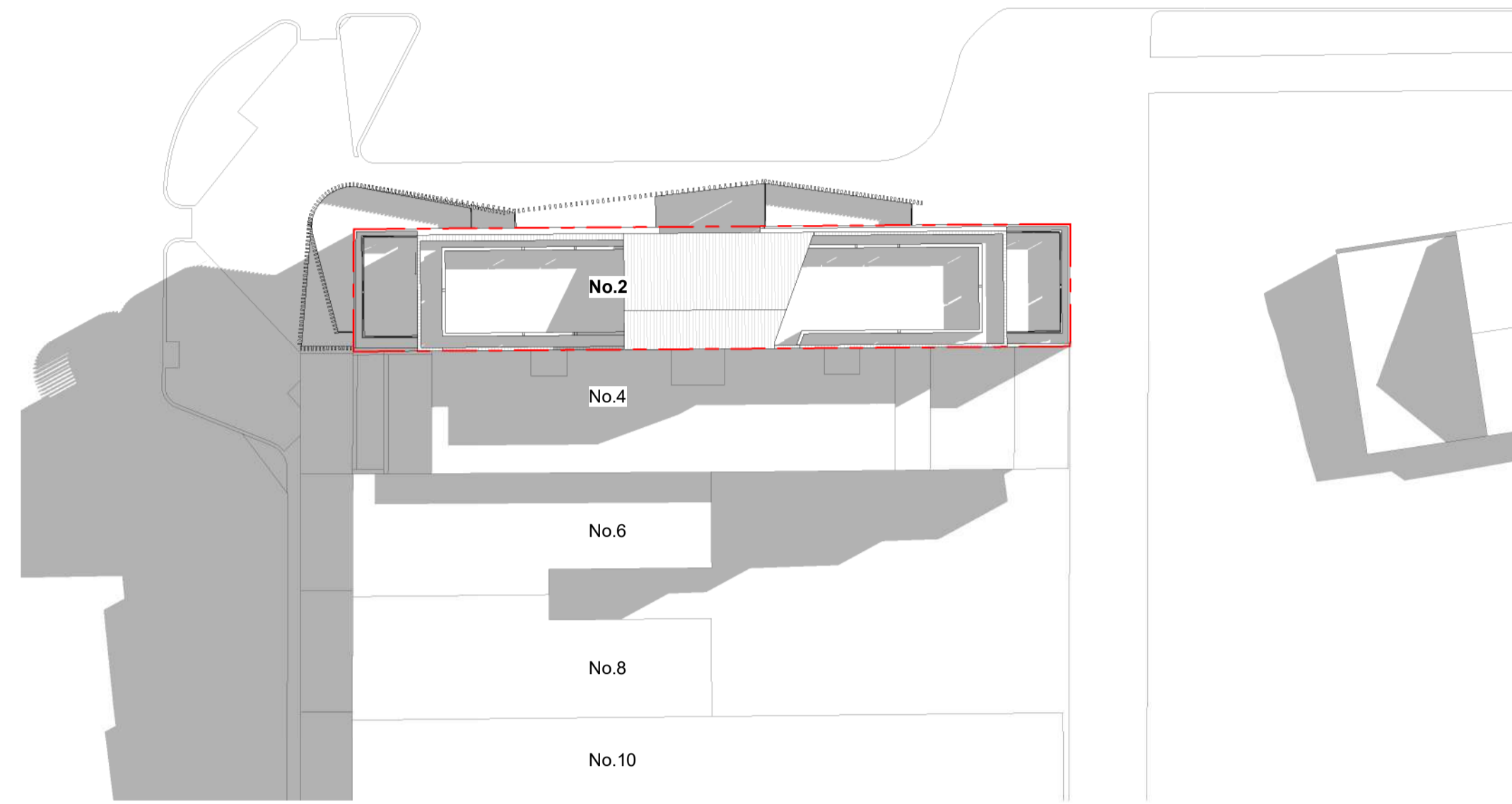
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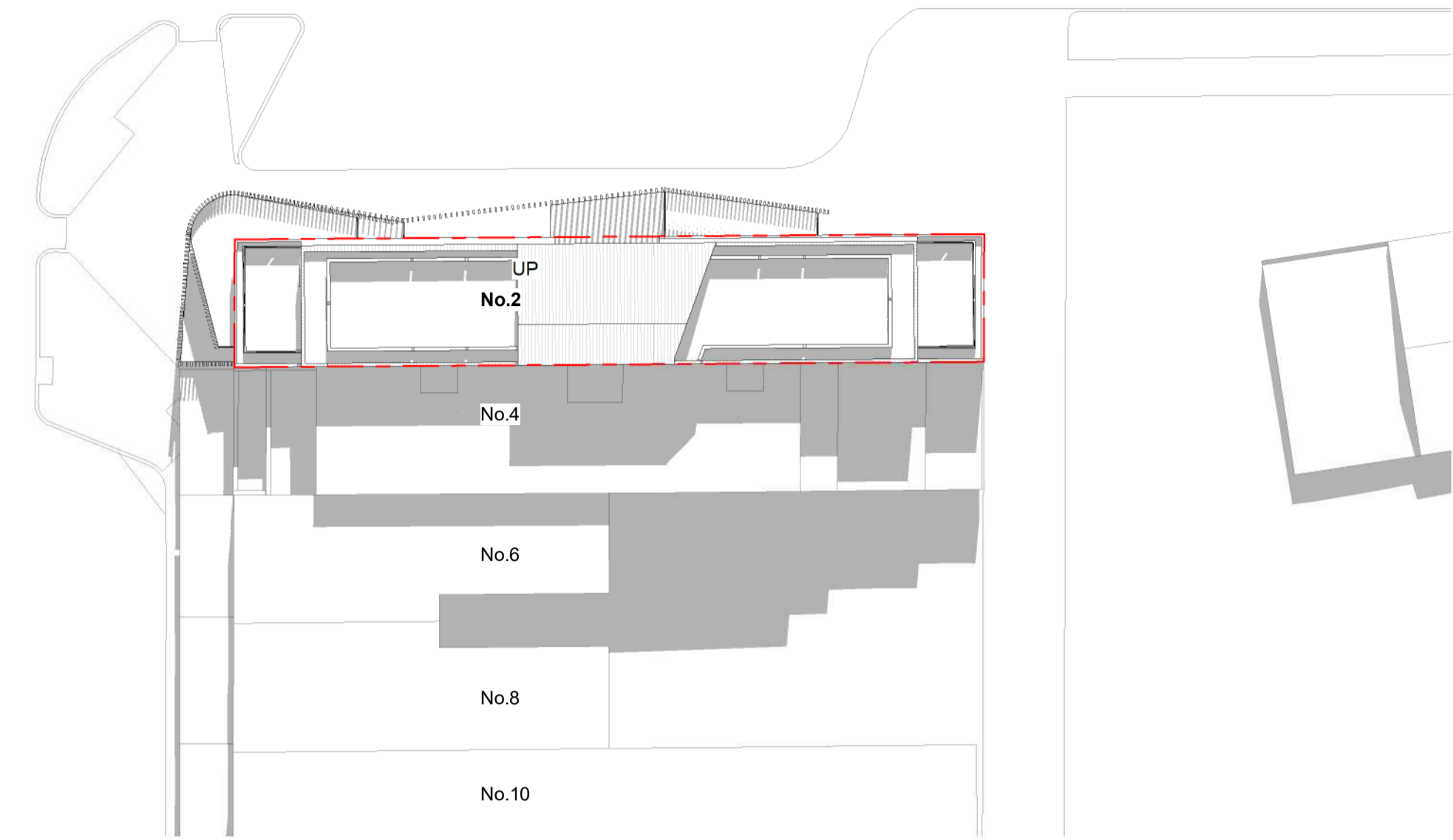
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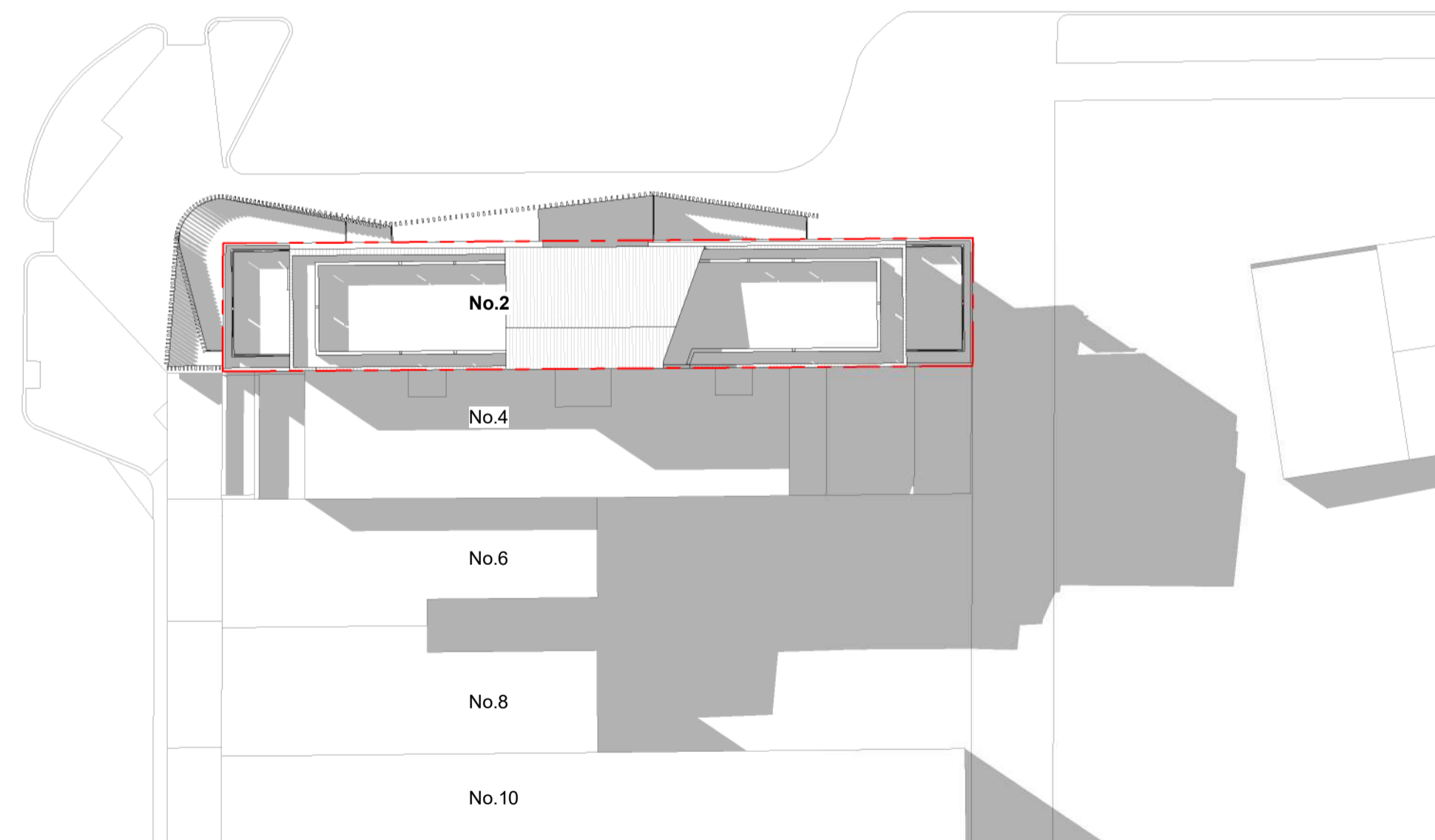
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Project Number	Series/Package	Drawing	Revision	Status	
17-039		TP 0.03	A		



① 9am Shadow Diagram - September Equinox



② 12pm Shadow Diagram - September Equinox

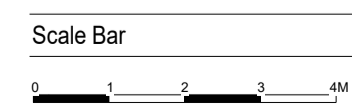


③ 3pm Shadow Diagram - September Equinox

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Project North		Drawing Title	
Project Number	Series/Package	Drawing	Revision
17-039	TP 0.04		A



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Building Fabric

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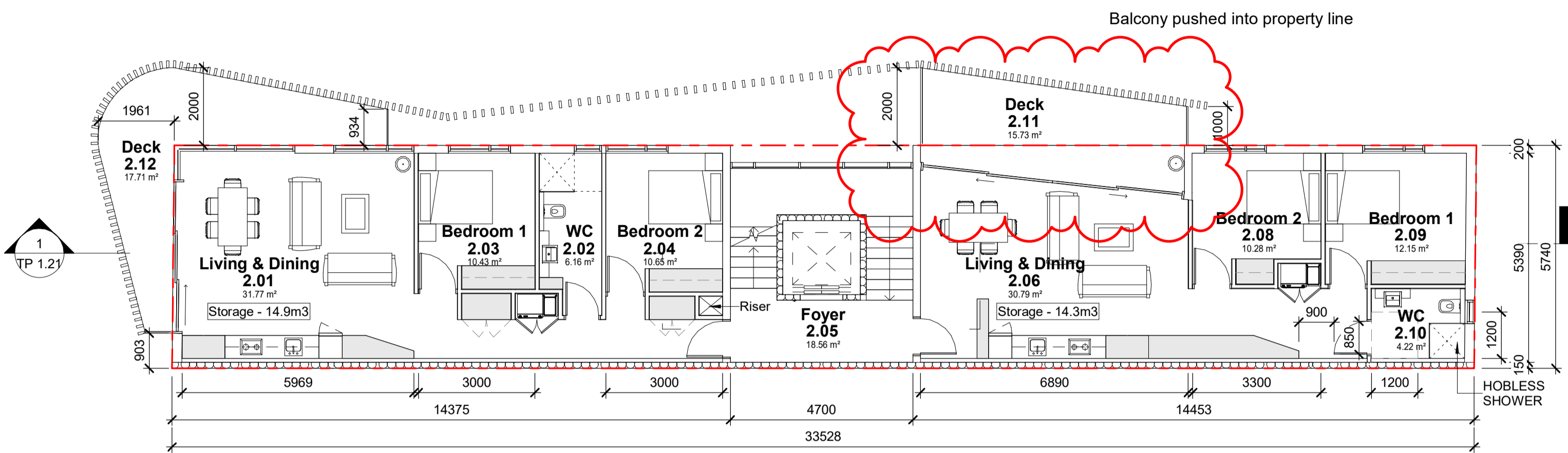
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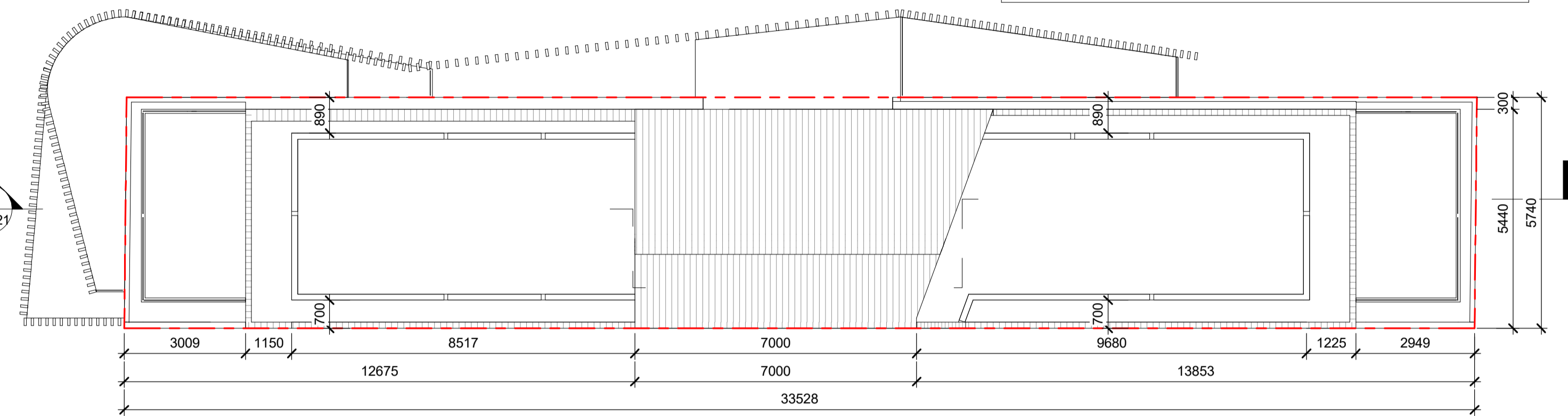
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- Recycling facilities to be at least as convenient as facilities for general waste.

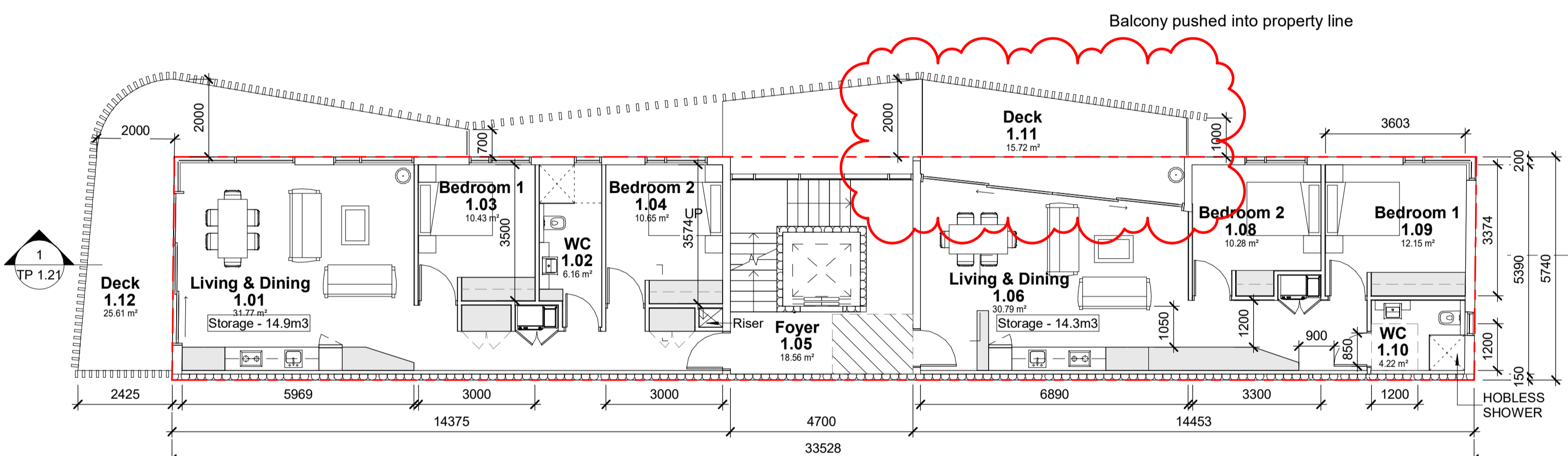
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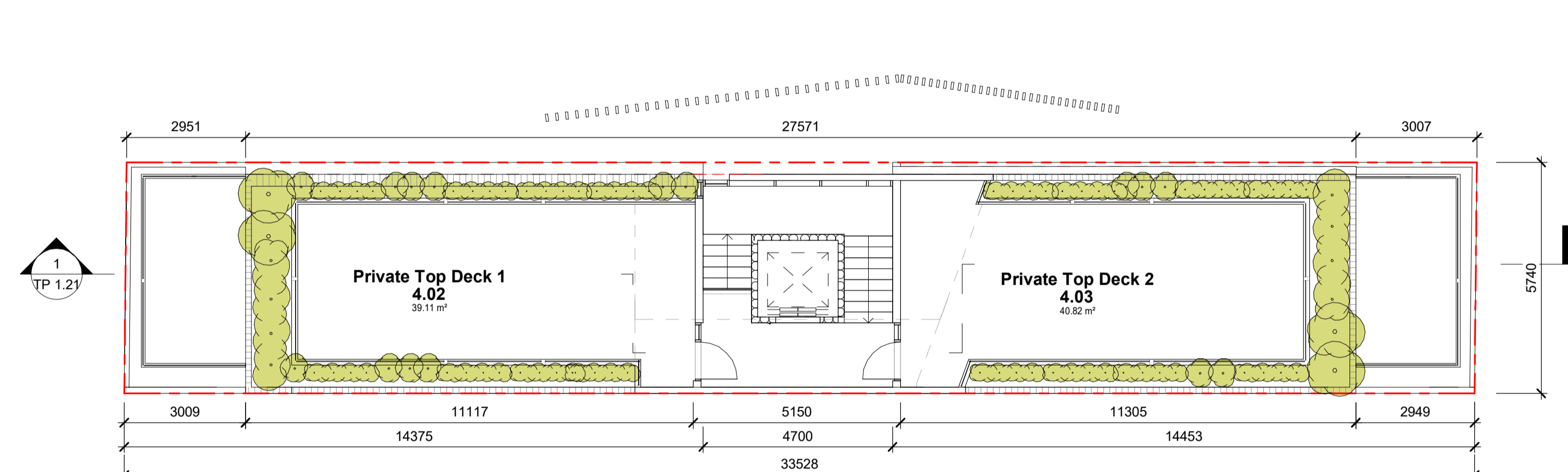
3 TP_Level 2 Plan



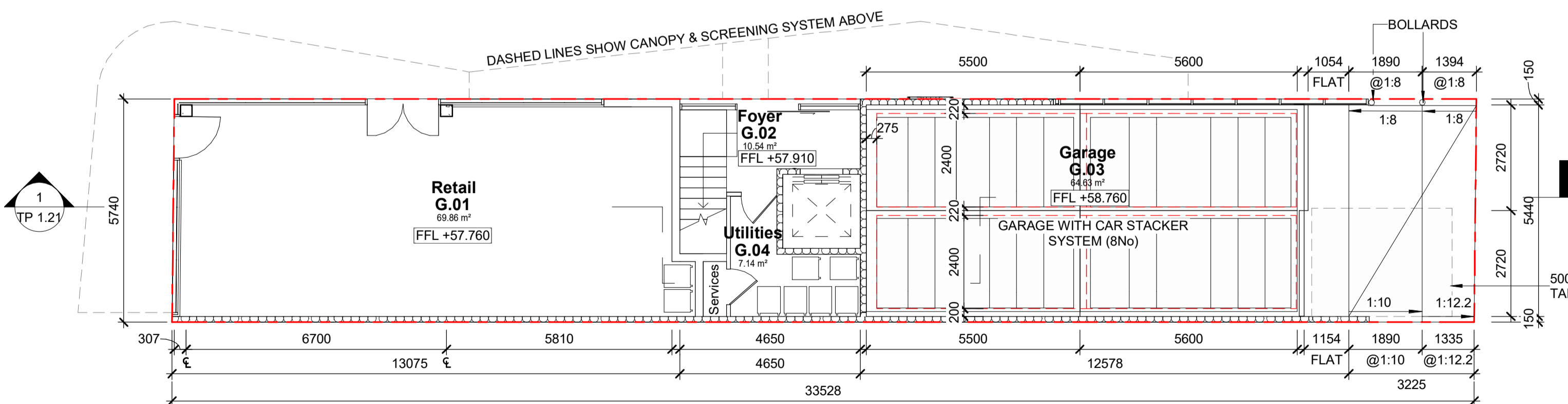
6 TP_Roof Plan



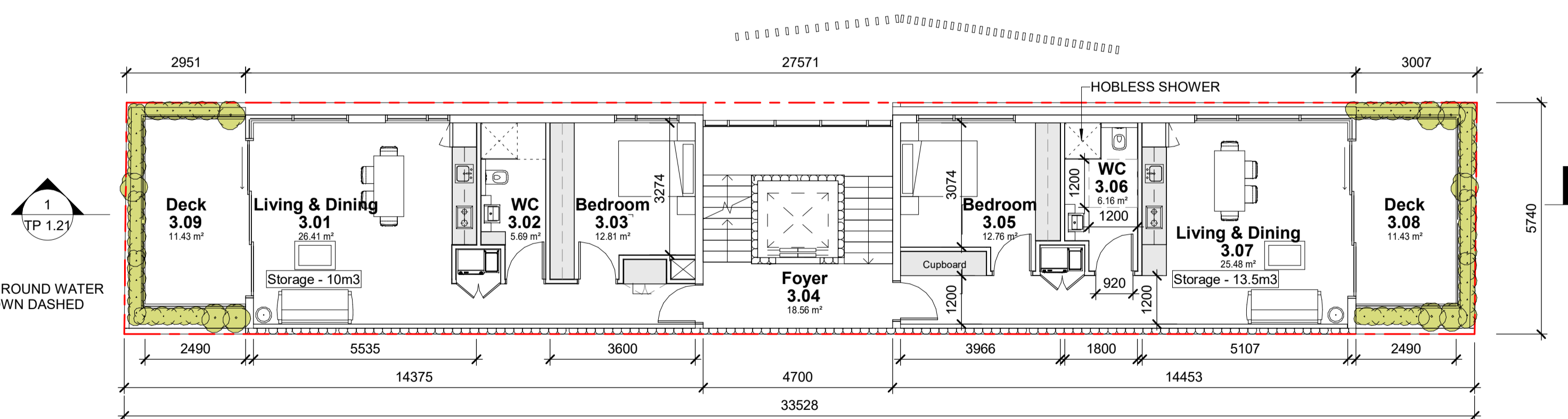
2 TP_Level 1 Plan



5 TP_Top Deck



1 TP_Level Ground Plan



4 TP_Level 3 Plan

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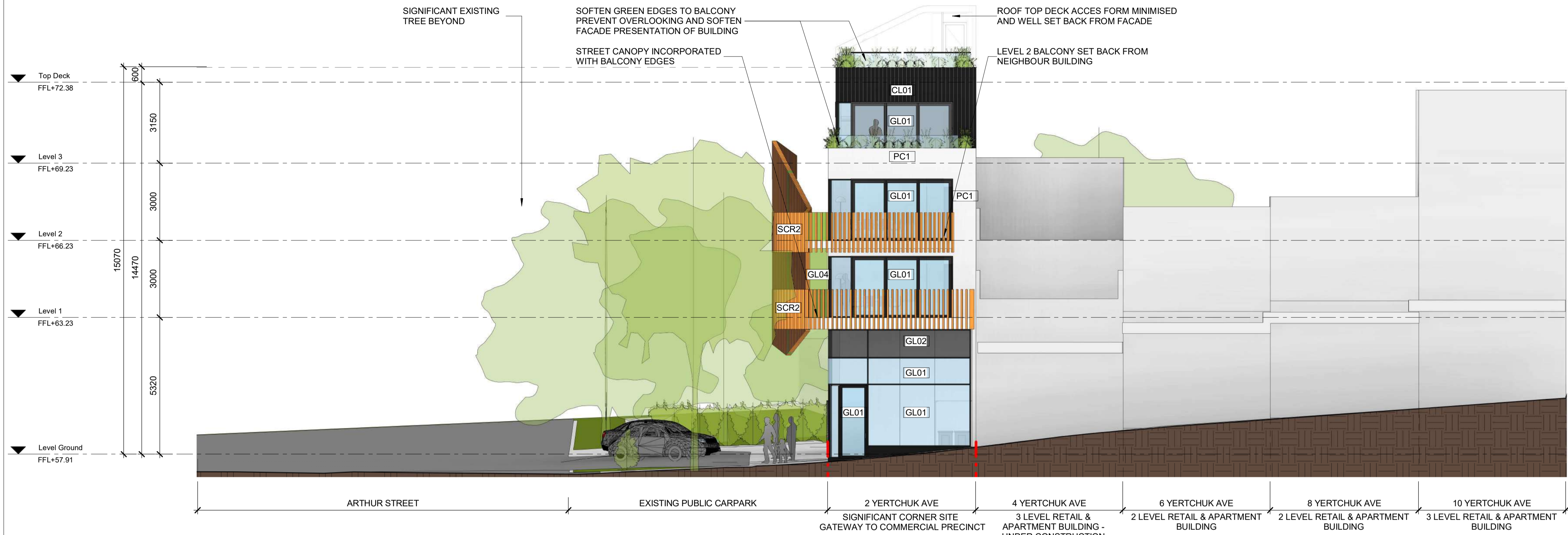
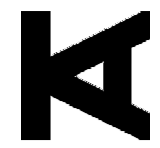
Client / Project: _____
 Project North:

Drawing Title: **Floor Plans**

Scale: 1:100@A1
 Checked: PK
 Date: 30/04/2018

Drawing Number: 17-039
 Project Number: 17-039
 Series/Package: TP 1.01
 Drawing: TP 1.01
 Revision: B
 Status: _____

Scale Bar: 0 1 2 3 4m



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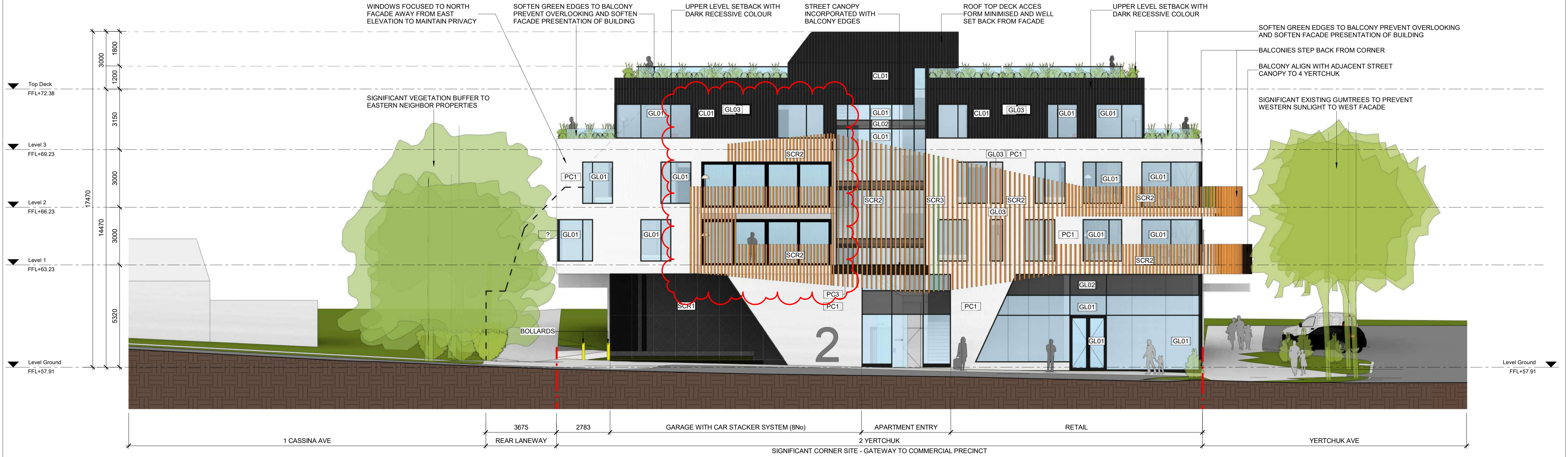
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Waste

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1 TP_West Elevation



2 TP_North Elevation

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Project North	Drawing Title
17-039	TP 1.11

North & West Elevations

Scale	Checked	Date		
Scale 1:100@A1	Checked: PK	Date: 30/04/2018		
Drawing Number	Series/Package	Drawing	Revision	Status
17-039		TP 1.11	B	



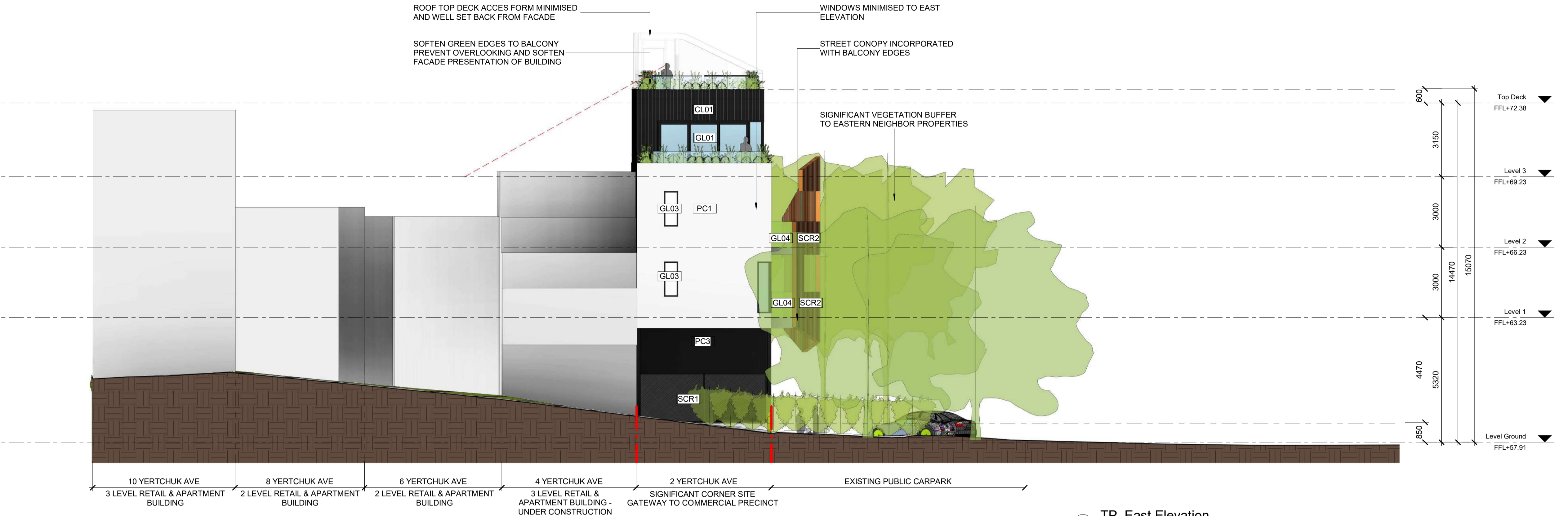
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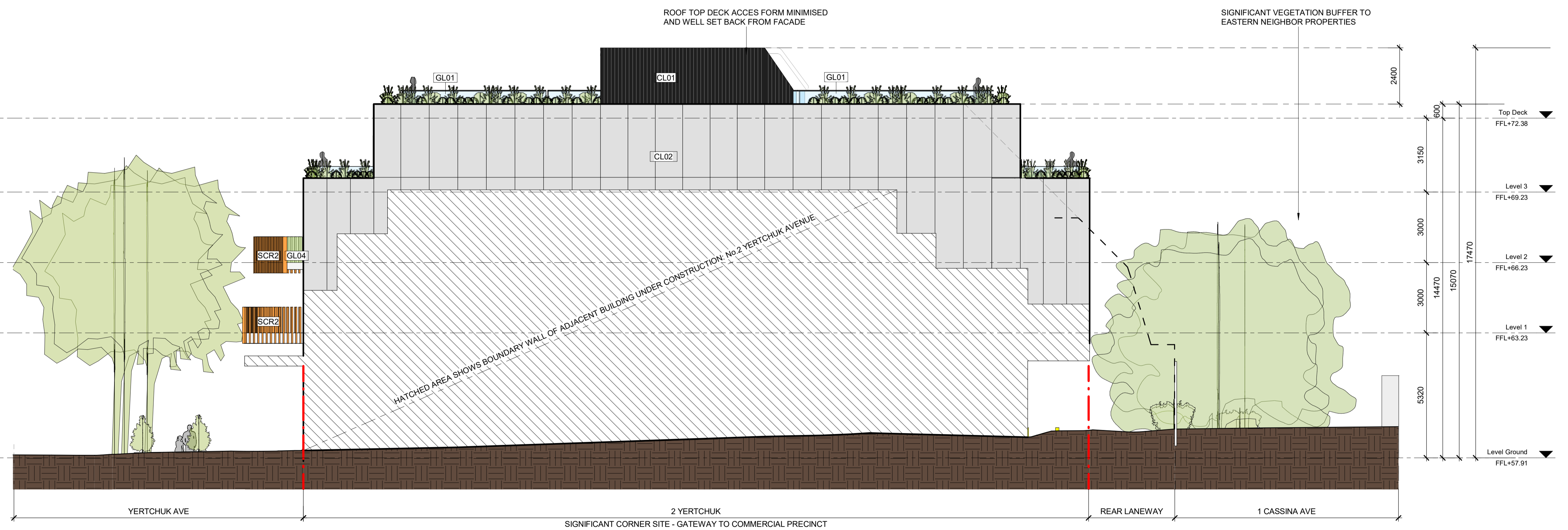
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2 TP_East Elevation



1 TP_South Elevation

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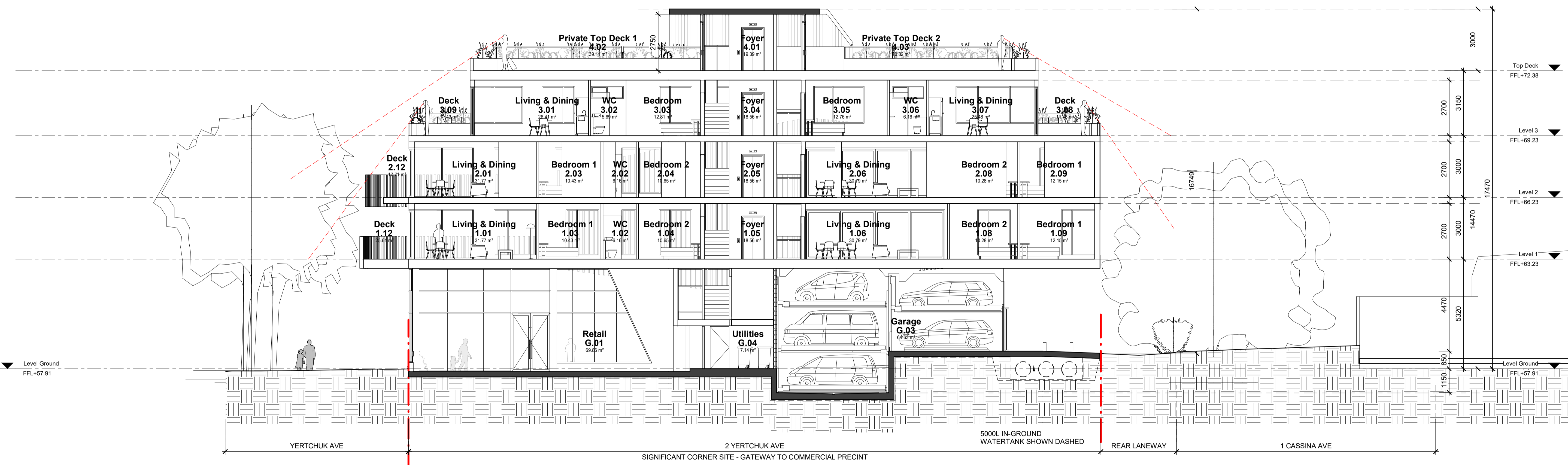
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 Drawing: A
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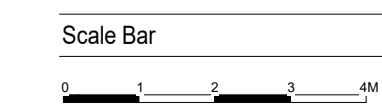
Client / Project

Project North

Drawing Title
Section A-A

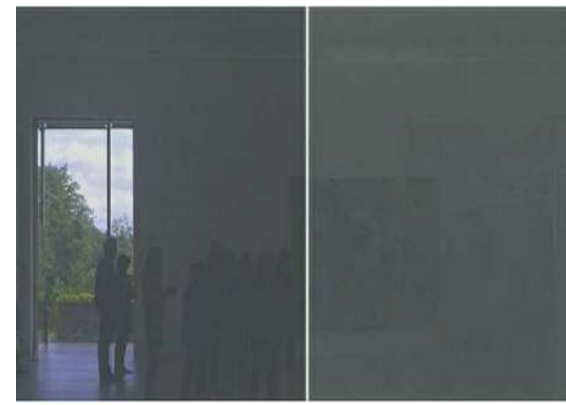
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Checked: PK
Date: 30/04/2018

Project Number	Series/Package	Drawing	Revision	Status
17-039		TP 1.21	A	





CL01 - EXTERNAL VERTICALLY GROOVED PRE-FINISHED ARCHITECTURAL CLADDING PANEL



GL02 - SPANREL TINTED GLASS WITH PK1 FRAMES



GL03 - FROSTED PRIVACY EXTERNAL GLASS



GL01 - NON REFLECTIVE CLEAR GLASS BALUSTRADE WITH PK1 HANDRAIL AT 1100mm MIN. ABOVE FINISHED FLOOR LEVEL



SCR2 - EXTERNAL METAL BATTEN SYSTEM WITH POWDERCOAT FINISH COLOUR 2



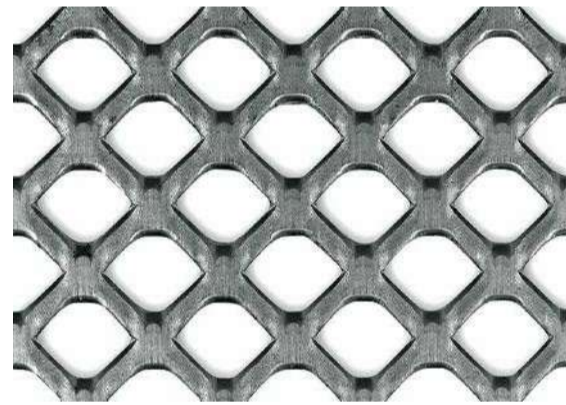
SCR3 - EXTERNAL METAL BATTEN SYSTEM WITH POWDERCOAT FINISH COLOUR 3



PK1 - EXTERNAL BLACK POWDERCOAT ALUMINUM TO EXTERNAL WINDOW & DOOR FRAMES



GL04 - NON REFLECTIVE COLOUR GLASS BALUSTRADE WITH PK1 HANDRAIL AT 1100mm MIN. ABOVE FINISHED FLOOR LEVEL



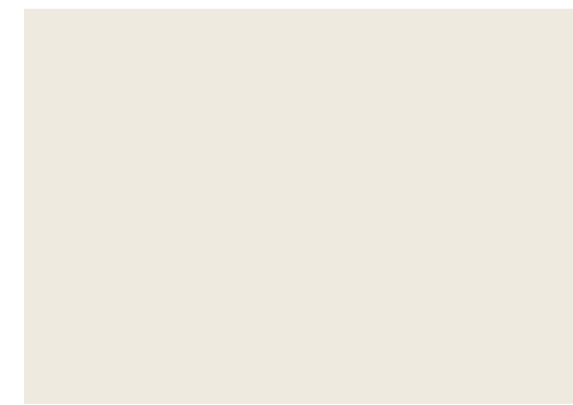
SCR1 - PERFORATED METAL SCREENING



CL02 - PRE-FABRICATED EXTERNAL CLADDING PANEL WITH CONCRETE RENDER FINISH



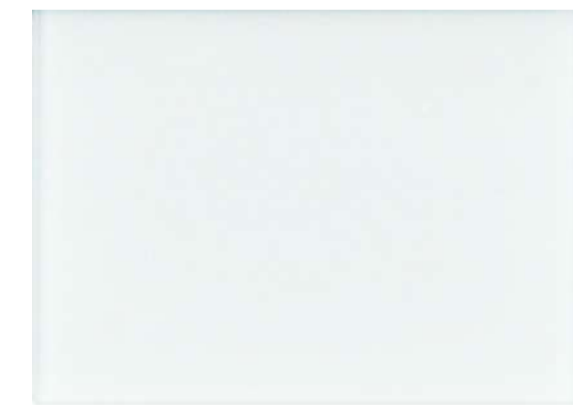
PC1 - EXTERNAL RENDER MASONRY WALL WITH DULUX PAINT FINISH - COLOUR 1



PC3 - EXTERNAL RENDER MASONRY WALL WITH DULUX PAINT FINISH - COLOUR 3



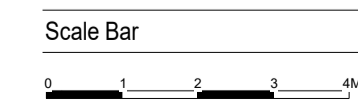
GL01 - NON REFLECTIVE CLEAR GLASS WITH PK1 FRAMES



Revision History		Project	
Date	Revision	Revision Description	AA No. Date: Revision Revision Description: AA No.:
30/04/2018	A	Issued for Town Planning Submission	

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Finished Materials

Scale: 1 : 1 @A1	Checked: PK	Date: 30/04/2018
Project Number	Series/Package	Revision
17-039	TP 9.01	A