



CBRE



RayWhite

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INFORMATION MEMORANDUM

"300 LAVARACK"

A 20 UNIT BUSINESS PARK | EAGLE FARM PRECINCT

300 Lavarack Avenue, Pinkenba QLD 4008
Prepared by Ray White Commercial (QLD)
March 2019

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INTRODUCTION

Ray White Commercial Qld and CBRE are delighted to present to the market "300 Lavarack". A brand new architecturally designed complex comprising 20 business units, ranging in area from 70m²* - 203m²*.

Construction is commencing early 2019 and the project is perfect for: Trades, Service Industries, Self Storage, Entry Level Investors and Self-Managed Super Funds.

Superbly located in the Eagle Farm Precinct, at 300 Lavarack Avenue. The site offers Purchasers the many benefits of owning real estate in the tightly held "Australia TradeCoast Precinct".

Please contact the undersigned for further information and/or inspections.

Assuring you of quality service at all times.

Sincerely,



AARON ALECKSON
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*approximately



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KEY FEATURES

Superbly positioned business units

Size ranging from 70m²* - 203m²*

Competitively priced

High quality finishes

Architecturally designed

Mezzanine for extra floor space

Open plan office

Concrete tilt panel construction

Access via container height roller shutters

High bay warehousing

Significant, exclusive and central car parking

TradeCoast location

*approximately



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UNIT DETAILS

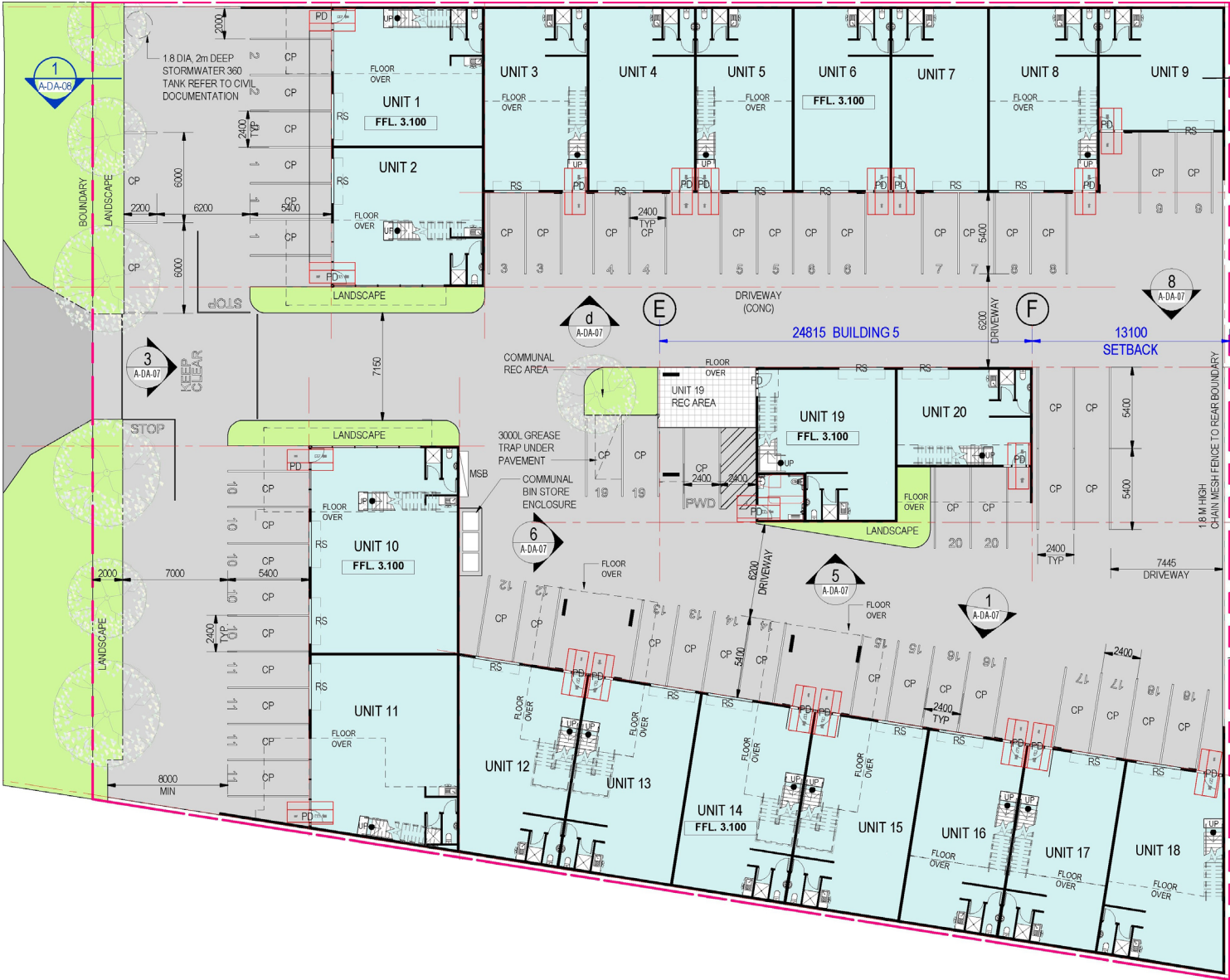
SO	Suspended Office	TF	Toilet Facility
M	Mezzanine	RD	Roller Door
TC	Toilet Connection	SF	Street Frontage
		GT	Grease Trap

#	Details			Features						
	Ground Floor Area (m ^{2*})	Mezzanine Area (m ^{2*})	Total Area (m ^{2*})	SO	M	TC	TF	RD	SF	GT
1	94	54	148	✓			✓	✓	✓	
2	95	66	161	✓			✓	✓	✓	✓
3	86	43	129		✓	✓		✓		
4	88	0	88			✓		✓		
5	80	40	120		✓	✓		✓		
6	80	0	80			✓		✓		
7	80	0	80 (SOLD)			✓		✓		
8	91	45	136		✓	✓		✓		
9	70	0	70			✓		✓		
10	138	65	203	✓			✓	✓	✓	
11	123	65	188	✓			✓	✓	✓	
12	101	40	141	✓			✓	✓		
13	100	40	140	✓			✓	✓		
14	100	45	145	✓			✓	✓		
15	100	45	145	✓			✓	✓		
16	87	30	117		✓		✓	✓		
17	87	30	117		✓		✓	✓		
18	100	41	141		✓		✓	✓		
19	86	53	139	✓			✓	✓		✓
20	60	30	90	✓			✓	✓		

*approximately

ESTATE PLAN

LAVARACK AVENUE



LOCATION



MAJOR TRANSPORT INFRASTRUCTURE

GATEWAY MOTORWAY (M1)

The Gateway Motorway provides a critical link between the Pacific and Bruce Highways, allowing traffic to bypass the Brisbane CBD

The Gateway Extension was constructed in 1997 to connect the Gateway Motorway with the Logan Motorway.

SIR LEO HIELSCHER BRIDGES

A side by side pair of road bridges on the Gateway Motorway, which skirts the eastern suburbs of Brisbane.

AIRPORT LINK TUNNEL

A tunneled, motorway grade, toll road in the northern suburbs of Brisbane. It connects the Brisbane CBD and the Clem Jones Tunnel to the East-West Arterial road which leads to the Brisbane Airport.

KINGSFORD SMITH DRIVE UPGRADE

The Kingsford Smith Drive upgrade will involve widening the road from 4 to 6 lanes.



Source: www.roadtraffic-technology.com, www.ksdupgrade.com.au

ECONOMIC DRIVERS

BRISBANE AIRPORT

Quick facts:

- 24/7 operation, Domestic and International terminals
- Best Airport (Australia) 2016/2017
- \$8.2 billion expected contribution to economy
- More than 23.4 million passengers in 2018
- 425 businesses located onsite, employing nearly 24,000 people

PORT OF BRISBANE

2018 Metrics:

- Approximately \$50 Billion in international trade annually
- Australia's largest capital city port
- 1,860 hectare footprint, 8,200 metres of quayline, 30 operating berths
- Ongoing development of the 230 hectare future port expansion area

INTERNATIONAL CRUISE TERMINAL

Project Details:

- 9,300m² terminal building, 2 storey construction
- Arrival and Departure air bridges, Public open space, Car/bus parking
- Treasury modelling indicates the terminal could inject up to \$1.3 billion in net expenditure into the Brisbane economy over the next two decades



Artistic render for illustrative purposes only
Source: www.bne.com.au/corporate/about/quick-facts, Port of Brisbane Business Review 2018, www.brisbanedev.com

NEARBY RETAIL AMENITY

RACECOURSE ROAD, ASCOT

4.7* kilometres from the site.

Snapshot of Business Directory:

- Coles, Woolworths
- Hamilton Hotel, Restaurants and Bars
- Doctors, Dentists, Optometrists and Chemists
- Bank of Queensland, IT Support, Health & Wellness



SKYGATE, BRISBANE AIRPORT

6.7* kilometres from the site.

Overview:

- Home of DFO Brisbane, 160 specialty stores
- Free parking, alfresco Skygate Dining Precinct
- Fashion, beauty, furniture and homewares, fresh food retailers
- Novotel, golf driving range, mini golf course



PORTSIDE WHARF, HAMILTON

4.3* kilometres from the site.

Centre Details:

- Eclectic Urban Village, home to over 35 retailers
- Dendy Cinemas, fine dining precinct, fresh food retailers
- 500* metres to Bretts Wharf City Cat Terminal



*approximately

Source: www.skygate.com.au, www.realcommercial.com.au, www.arkhefield.com.au

RENDERS



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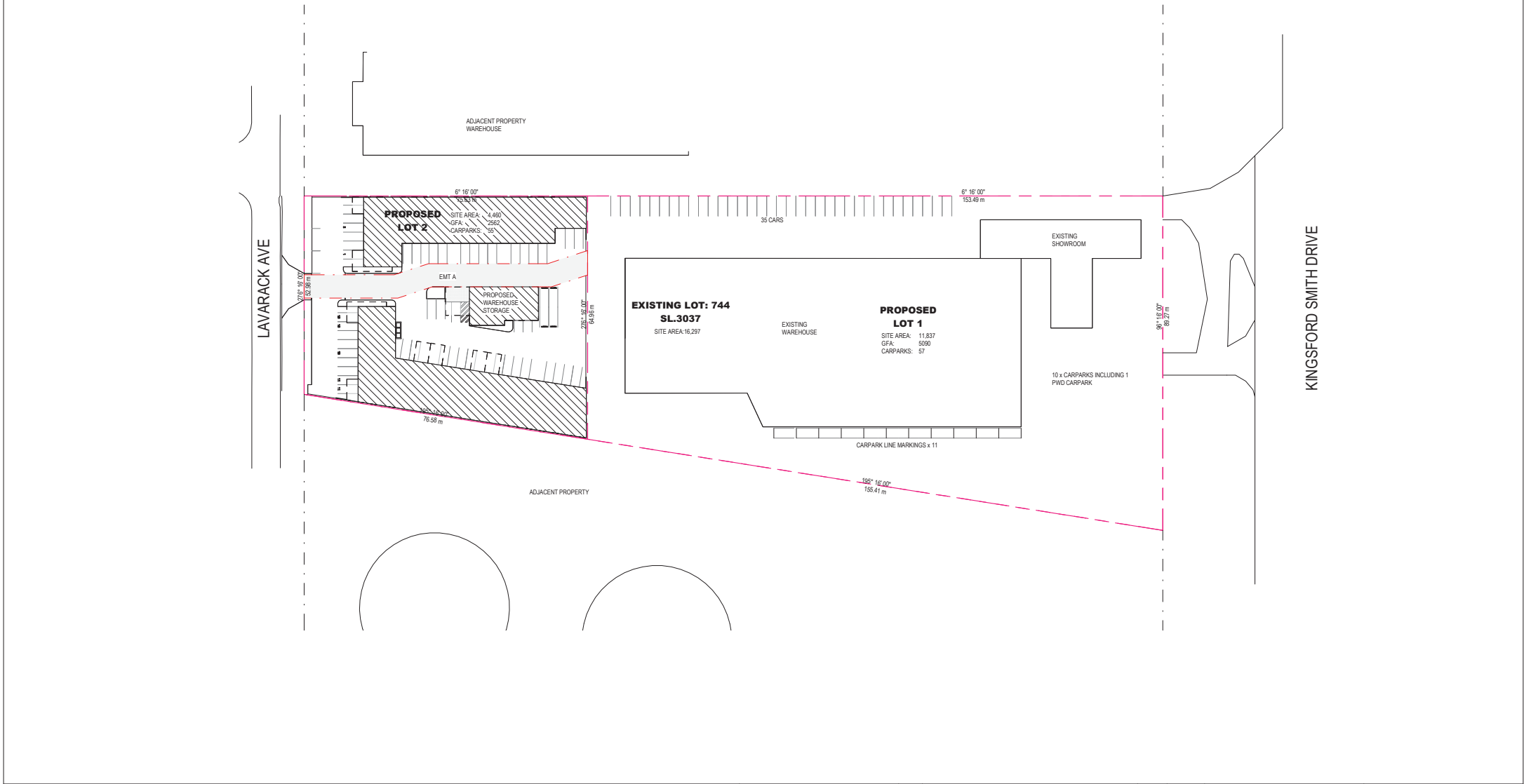


Artistic render for illustrative purposes only

RENDERS



ANNEXURE - SCHEMATICS



<p>DO NOT SCALE THIS DRAWING. IF IN DOUBT - ASK!</p> 	<p>CLIENT</p>  <p>ABN: 61 096 893 922 PTY LTD ACN: 696 863 922 65 Duggell Street PO Box 2401 Newcastle, NSW 2308 Portside, Valley, QLD 4006</p>	<p>Revision</p> <table border="1"> <tr> <th>Revision</th> <th>Issue Details</th> <th>Issued</th> <th>Date</th> </tr> <tr> <td>A</td> <td>CLIENT REVIEW</td> <td>EB</td> <td>21.08.18</td> </tr> <tr> <td>B</td> <td>DEVELOPMENT APPLICATION</td> <td>EB</td> <td>6.09.18</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	Revision	Issue Details	Issued	Date	A	CLIENT REVIEW	EB	21.08.18	B	DEVELOPMENT APPLICATION	EB	6.09.18																									<p>PROJECT 9035 LAVARACK AVE BUSINESS PARK 1307 KINGSFORD SMITH DRIVE, PINKENBA</p>	<p>DEVELOPMENT APPLICATION</p> <p>LOT PLAN</p>
		Revision	Issue Details	Issued	Date																																			
A	CLIENT REVIEW	EB	21.08.18																																					
B	DEVELOPMENT APPLICATION	EB	6.09.18																																					
<p>Drawn: EBEB Checked: GE</p> <p>Approved:</p>	<p>SCALE 1 : 500 AT A1</p> <p>A-DA-02</p>	<p>REV: B</p>																																						

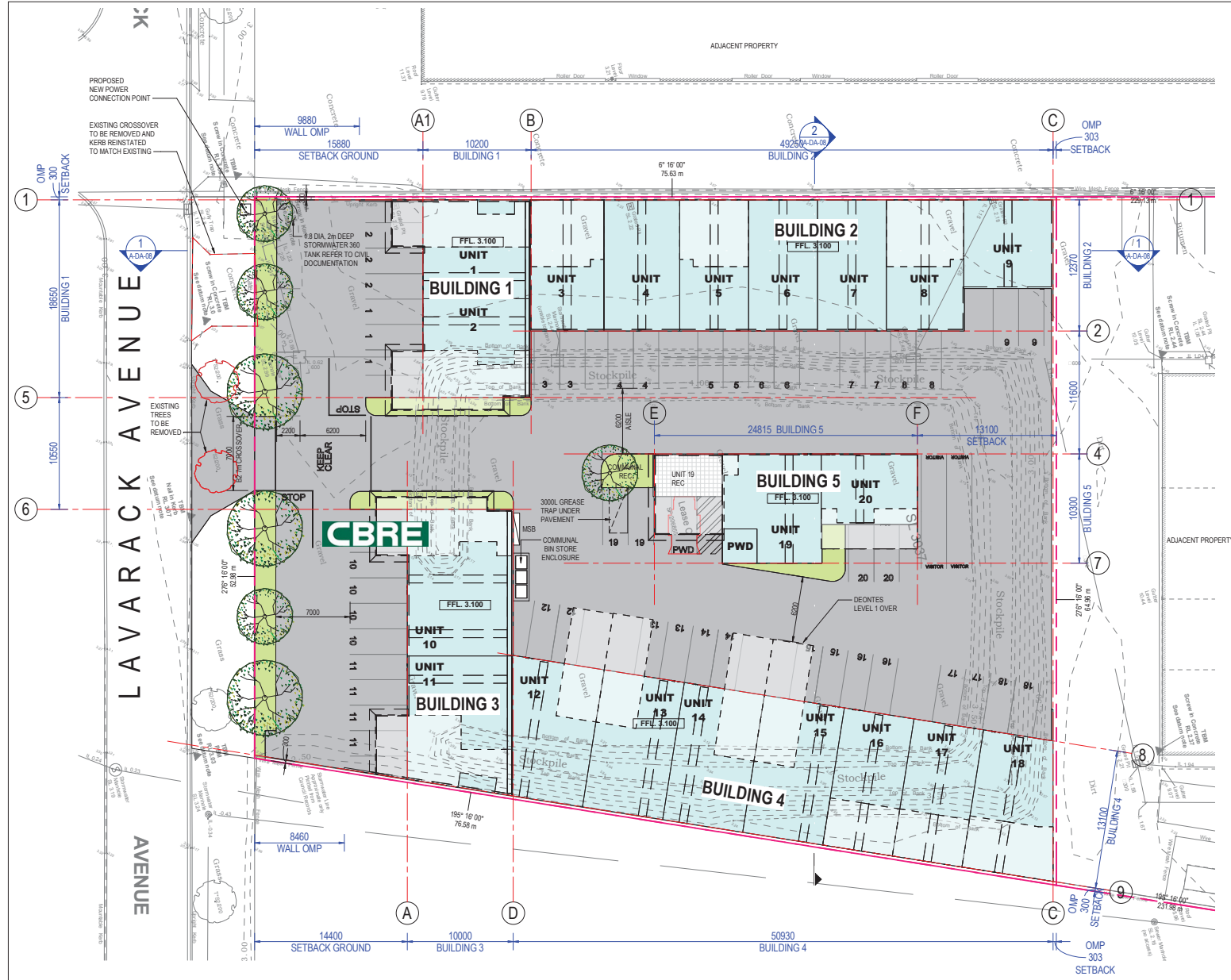


LOCATION PLAN
SCALE 1:2500

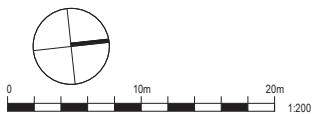
DEVELOPMENT SUMMARY	
LOT 744 SL3037	
LOT 2 SIZE	4,460m ²
BUILDING AREA (GFA)	
GROUND FLOOR	1856m ²
MEZZ FLOOR	732m ²
TOTAL	2,588m ²
SITE COVER (PLOT RATIO)	
LOT 2 GFA	2,588m ²
LOT 2 SIZE	4,460m ²
LOT 2 SITE COVER	58.0%
SITE AREA	
LANDSCAPE	177m ²
PERCENTAGE OF SITE	3.9%
HARDSTAND	2349m ²
PARKING SCHEDULE	
CAR PARKING PROVIDED	55

AREA (GBA)			
UNIT #	GROUND	MEZZ	TOTAL
UNIT 1	94m ²	54m ²	148m ²
UNIT 2	95m ²	66m ²	161m ²
UNIT 3	86m ²	43m ²	129m ²
UNIT 4	88m ²	0m ²	88m ²
UNIT 5	80m ²	40m ²	121m ²
UNIT 6	80m ²	0m ²	80m ²
UNIT 7	80m ²	0m ²	80m ²
UNIT 8	91m ²	45m ²	136m ²
UNIT 9	70m ²	0m ²	70m ²
UNIT 10	138m ²	65m ²	203m ²
UNIT 11	123m ²	65m ²	188m ²
UNIT 12	101m ²	40m ²	141m ²
UNIT 13	100m ²	40m ²	140m ²
UNIT 14	100m ²	45m ²	145m ²
UNIT 15	100m ²	45m ²	145m ²
UNIT 16	87m ²	30m ²	117m ²
UNIT 17	87m ²	30m ²	117m ²
UNIT 18	100m ²	41m ²	141m ²
UNIT 19	86m ²	53m ²	139m ²
UNIT 20	60m ²	30m ²	90m ²
SUB TTL	1,846m ²	732m ²	2,578m ²
PWD	10m ²	0m ²	10m ²
TOTAL	1,856m ²	732m ²	2,588m ²

A-ABBREVIATION...	
MSB	MAIN SWITCHBOARD



DO NOT SCALE THIS DRAWING. IF IN DOUBT - ASK!



CLIENT

McVeigh

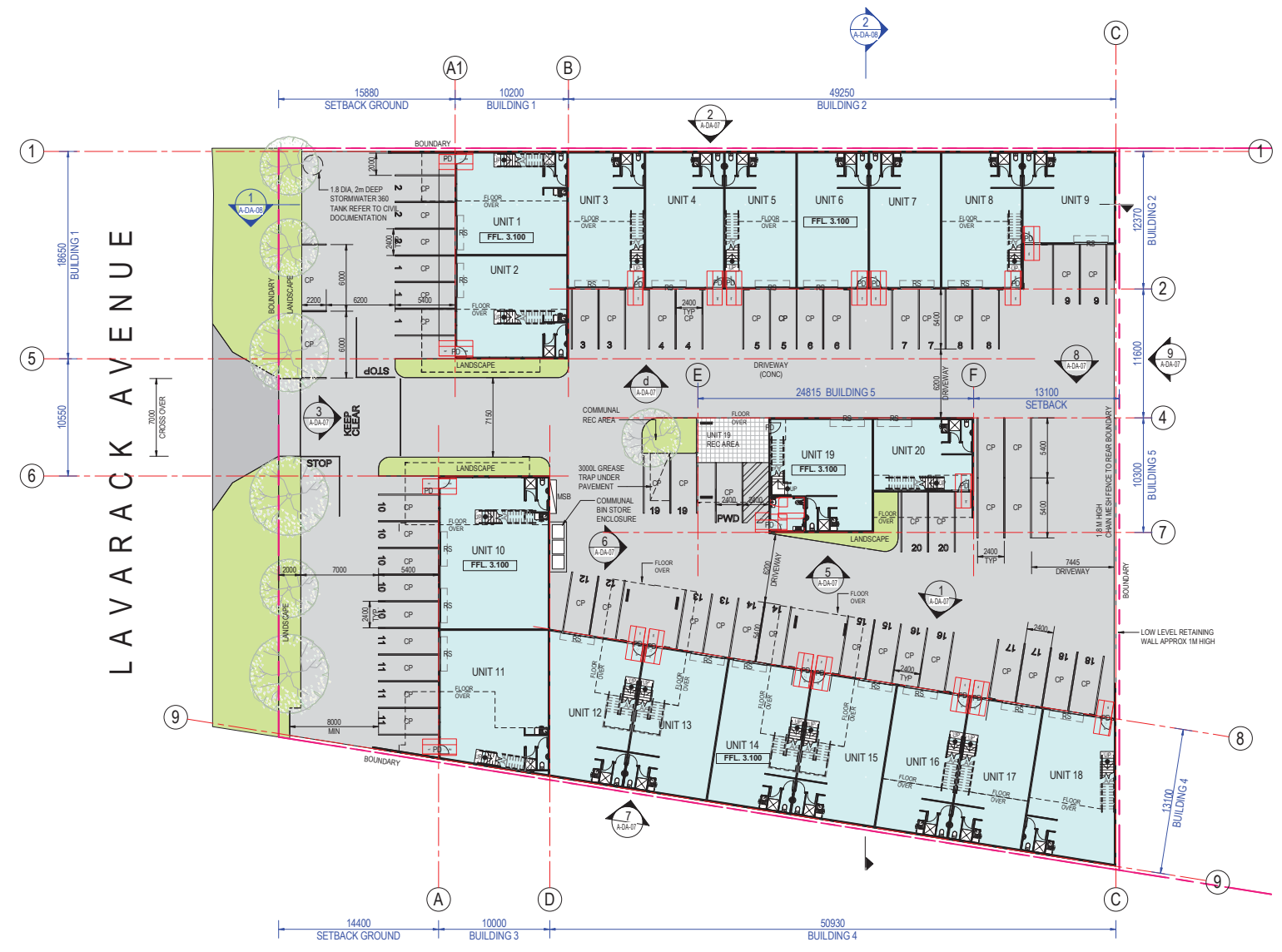
ABN: 51 098 893 922
 PTY LTD ACN: 098 893 922
 65 Doggett Street
 Newcastle, NSW 2300

Revision	Issue Details	Issued	Date
A	PRELIMINARY	EB	14.08.18
B	CLIENT REVIEW	EB	21.08.18
C	DEVELOPMENT APPLICATION	EB	09.09.18
D	AREA SCHEDULE UPDATE	EB	1.11.18

PROJECT 9035	LAVARACK AVE BUSINESS PARK
	1307 KINGSFORD SMITH DRIVE,
	PINKENBA
Drawn: EB	Checked: GE
Approved:	

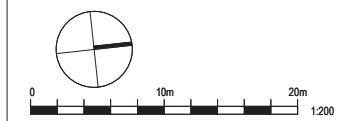
DEVELOPMENT APPLICATION	
OVERALL SITE PLAN	
SCALE As indicated At A1	REV: D
A-DA-03	

CP	CARPARK
MSB	MAIN SWITCHBOARD
PD	PERSONNEL DOOR
RS	ROLLER SHUTTER



GROUND - DA
SCALE 1:200

DO NOT SCALE THIS DRAWING. IF IN DOUBT - ASK?



CLIENT

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 Fax 07 3232 0711

Revision	Issue Details	Issued	Date
A	PRELIMINARY	EB	14.08.18
B	CLIENT REVIEW	EB	21.08.18
C	DEVELOPMENT APPLICATION	EB	09.09.18

PROJECT 9035	DEVELOPMENT APPLICATION
LAVARACK AVE BUSINESS PARK	GROUND FLOOR PLAN
1307 KINGSFORD SMITH DRIVE,	SCALE 1:200 AT A1
PINKENBA	REV: C
Drawn: EB	Checked: GE
Approved:	A-DA-04

A-ABBREVIATION...	
RS	ROLLER SHUTTER

□ DENOTES 1ST FLOOR AREA



LEVEL 01 - DA
SCALE 1 : 200

DO NOT SCALE THIS DRAWING. IF IN DOUBT - ASK?



CLIENT

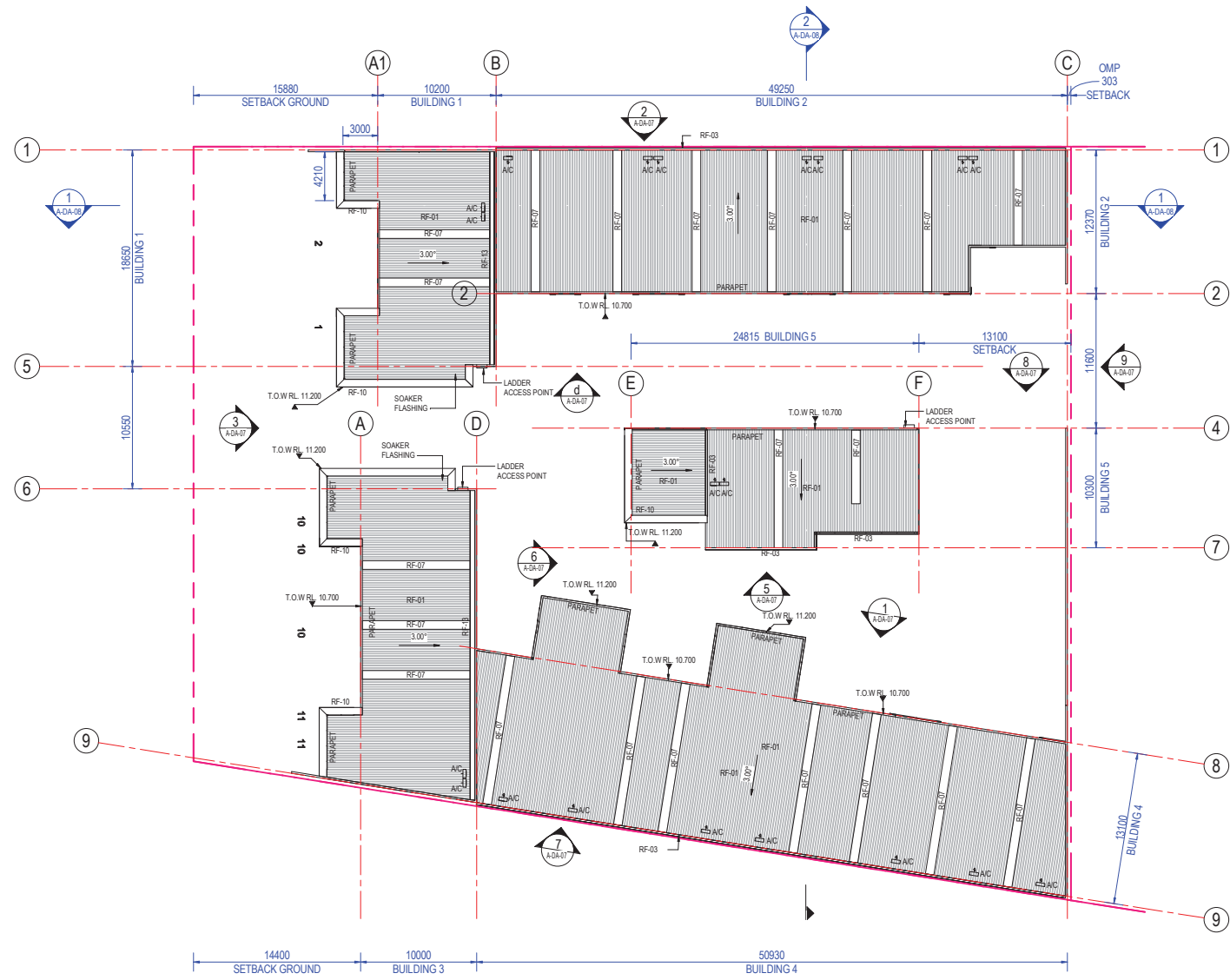
McVeigh

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65 Doggett Street PO Box 2401
Newstead, Qld 4006 Fortitude Valley, Qld 4006 Ph: 07 3252 0688 Fax: 07 3252 0711

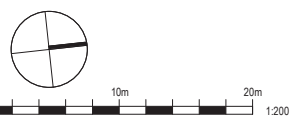
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A	PRELIMINARY	EB	14.08.18
B	CLIENT REVIEW	EB	21.08.18
C	DEVELOPMENT APPLICATION	EB	6.09.18

PROJECT 9035		DEVELOPMENT APPLICATION	
LAVARACK AVE BUSINESS PARK 1307 KINGSFORD SMITH DRIVE, PINKENBA		1ST FLOOR	
Drawn: EB	Checked: GE	SCALE As indicated AT A1	REV: C
Approved:		A-DA-05	

A-ABBREVIATION...	
AC	CONDENSOR UNIT, REFR. MECHANICAL ENGINEERS (DETAILS)
RF-01	STEEL ROOF SHEETING WITH INSULATION & SAFETY MESH
RF-03	EAVES GUTTER TO MATCH ROOF SHEETING
RF-07	TRANSLUCENT ROOF SHEETING PANELS
RF-10	PARAPET CAPPING TO MATCH WALL COLOUR
RF-13	BOX GUTTER SUMP, REFR. HYD. ENG. DOCUMENTATION FOR SIZES



DO NOT SCALE THIS DRAWING. IF IN DOUBT - ASK?



CLIENT

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Revision	Issue Details	Issued	Date
A	DEVELOPMENT APPLICATION	EB	6.09.18

PROJECT 9035
 LAVARACK AVE BUSINESS PARK
 1307 KINGSFORD SMITH DRIVE,
 PINKENBA

Drawn: EB Checked: GE
 Approved:

DEVELOPMENT APPLICATION

OVERALL ROOF PLAN

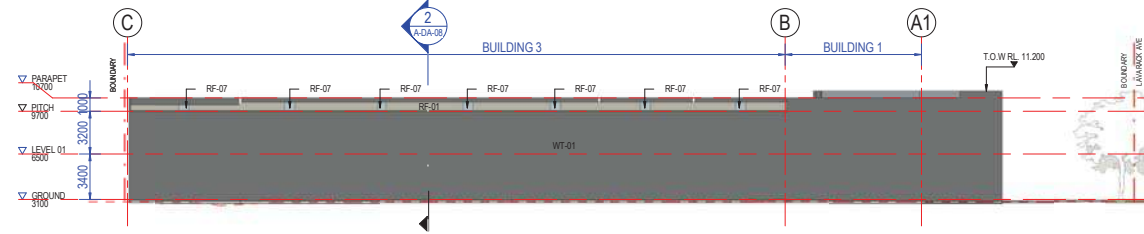
SCALE 1:200 AT A1

A-DA-06

REV: A

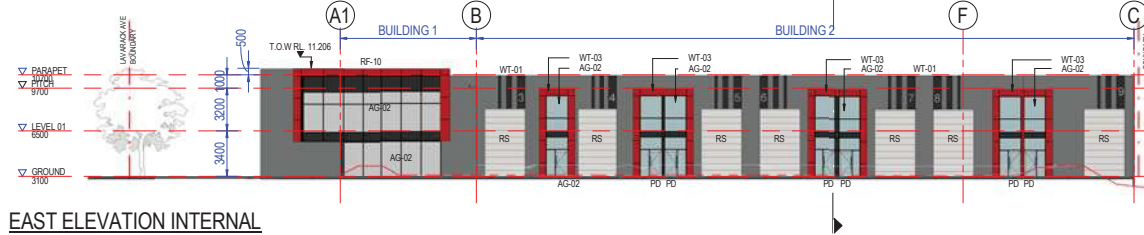
WEST ELEVATION INTERNAL

SCALE 1:200



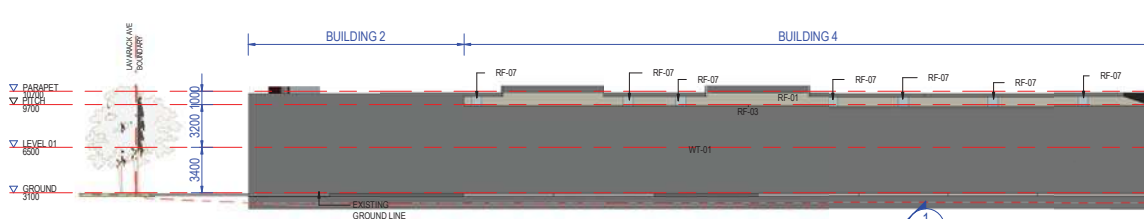
WEST ELEVATION

SCALE 1:200



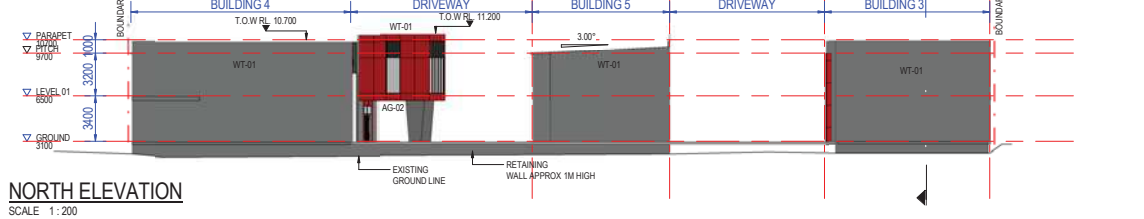
EAST ELEVATION INTERNAL

SCALE 1:200



EAST ELEVATION

SCALE 1:200



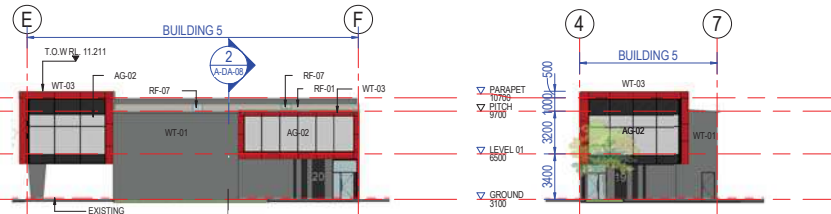
NORTH ELEVATION

SCALE 1:200



SOUTH ELEVATION

SCALE 1:200

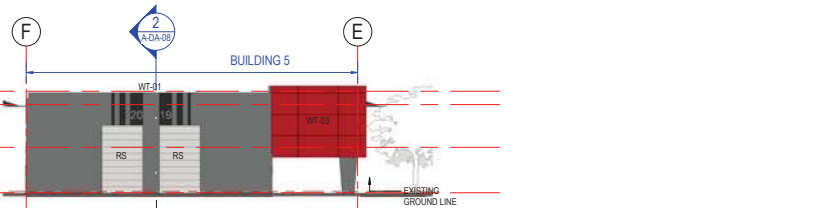


BUILDING 5 - EAST ELEVATION

SCALE 1:200

BUILDING 5 - SOUTH ELEVATION

SCALE 1:200



BUILDING 5 - WEST ELEVATION

SCALE 1:200

A-ABBREVIATION SCHEDULE	
AG-02	ALUMINIUM FRAMED GLAZING SUITE
MSB	MAIN SWITCHBOARD
PD	PERSONNEL DOOR
RF-01	STEEL ROOF SHEETING WITH INSULATION & SAFETY MESH
RF-03	EAVES GUTTER TO MATCH ROOF SHEETING
RF-07	TRANSLUCENT ROOF SHEETING PANELS
RF-10	PARAPET CAPPING TO MATCH WALL COLOUR
RS	ROLLER SHUTTER
WT-01	150 TILT PANEL CLASS 2 FINISH, REFER TO STRUCTURAL ENGINEERS DOCUMENTATION
WT-03	COLORURED PRE-FINISH WALL CLADDING TO FACADE

DO NOT SCALE THIS DRAWING. IF IN DOUBT - ASK?

CLIENT



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Revision	Issue Details	Issued	Date
A	PRELIMINARY	EB	14.08.18
B	CLIENT REVIEW	EB	21.08.18
C	DEVELOPMENT APPLICATION	EB	6.09.18

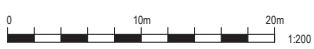
PROJECT 9035
 LAVARACK AVE BUSINESS PARK
 1307 KINGSFORD SMITH DRIVE,
 PINKENBA

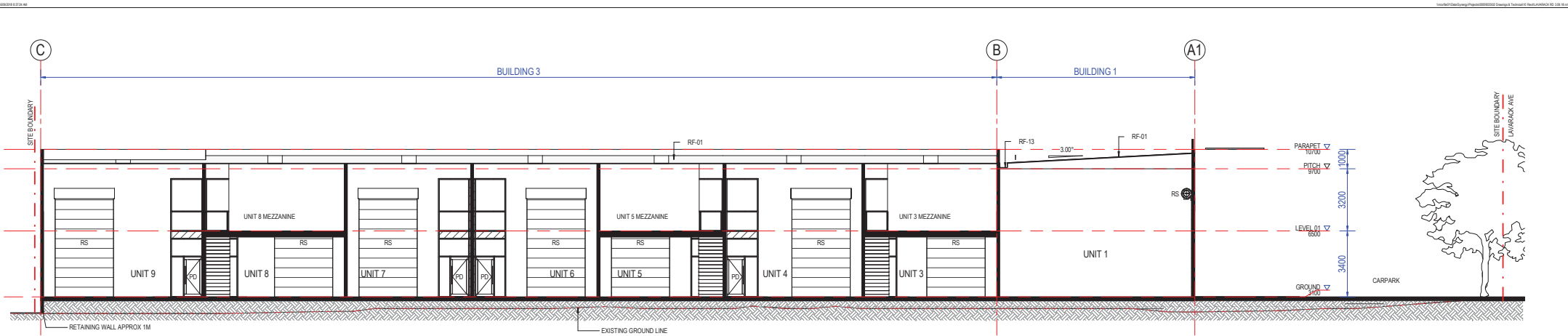
Drawn: EB Checked: GE
 Approved:

DEVELOPMENT APPLICATION
 OVERALL ELEVATIONS

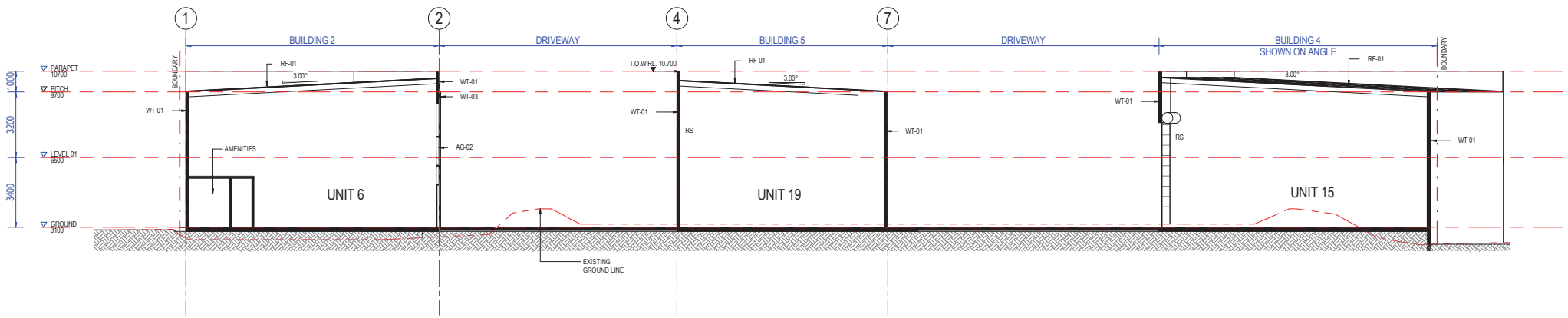
SCALE 1:200 AT A1
A-DA-07

REV: C





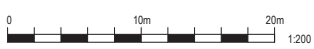
SECTION 1
SCALE 1:100
A-DA-03



SECTION 2
SCALE 1:100
A-DA-03

A-ABBREVIATION SCHEDULE	
AG-02	ALUMINIUM FRAMED GLAZING SUITE
PD	PERSONNEL DOOR
RF-01	STEEL ROOF SHEETING WITH INSULATION & SAFETY MESH
RF-13	BOX GUTTER SUMP, REFER HYD. ENG. DOCUMENTATION FOR SIZES
RS	ROLLER SHUTTER
WT-01	150 TILT PANEL CLASS 2 FINISH, REFER TO STRUCTURAL ENGINEERS DOCUMENTATION
WT-03	COLOURED PRE-FINISH WALL CLADDING TO FACADE

DO NOT SCALE THIS DRAWING. IF IN DOUBT - ASK?



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Revision	Issue Details	Issued	Date
A	DEVELOPMENT APPLICATION	EB	6.09.18

PROJECT 9035
 LAVARACK AVE BUSINESS PARK
 1307 KINGSFORD SMITH DRIVE,
 PINKENBA
 Drawn: EB Checked: GE
 Approved:

DEVELOPMENT APPLICATION
 OVERALL SECTIONS
 SCALE 1:100 AT A1
A-DA-08
 REV: A

LEGAL INFORMATION

DISCLAIMER

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8. We will not be liable to you (to the full extent permitted by law) for any liabilities, costs or expenses incurred in connection with the Information or subsequent sale of the property whatsoever, whether the loss or damage arises in connection with any negligence, default or lack of care on our part.
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INDUSTRIAL & LOGISTICS

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