

SOUTH POINT

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DESIGN GUIDELINES

Version 1.0

Cadence

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1.0 INTRODUCTION

1.1 Vision

South Point will be a premium masterplanned industrial estate with emphasis on green spaces, architecture and occupant amenity delivered through a well-conceived master plan and clear vision.

By combining a diverse lot mix and a flexibility for a range of uses, South Point will develop into a multifaceted business precinct accommodating a wide cross section of business activities and occupants.

South Point has been designed with a specific high quality landscape character to provide a consistent theme throughout the estate. It is intended that development over time within the estate maintains this level of quality and there is harmony and consistency.

Maintaining the vision will seek to add value to investment within the estate and ensure South Point is an attractive business and employment destination.

1.2 Purpose of the Guidelines

This document is known as South Point Design Guidelines, henceforth referred to as the Guidelines. South Point is defined as the land as shown on Figure 1.

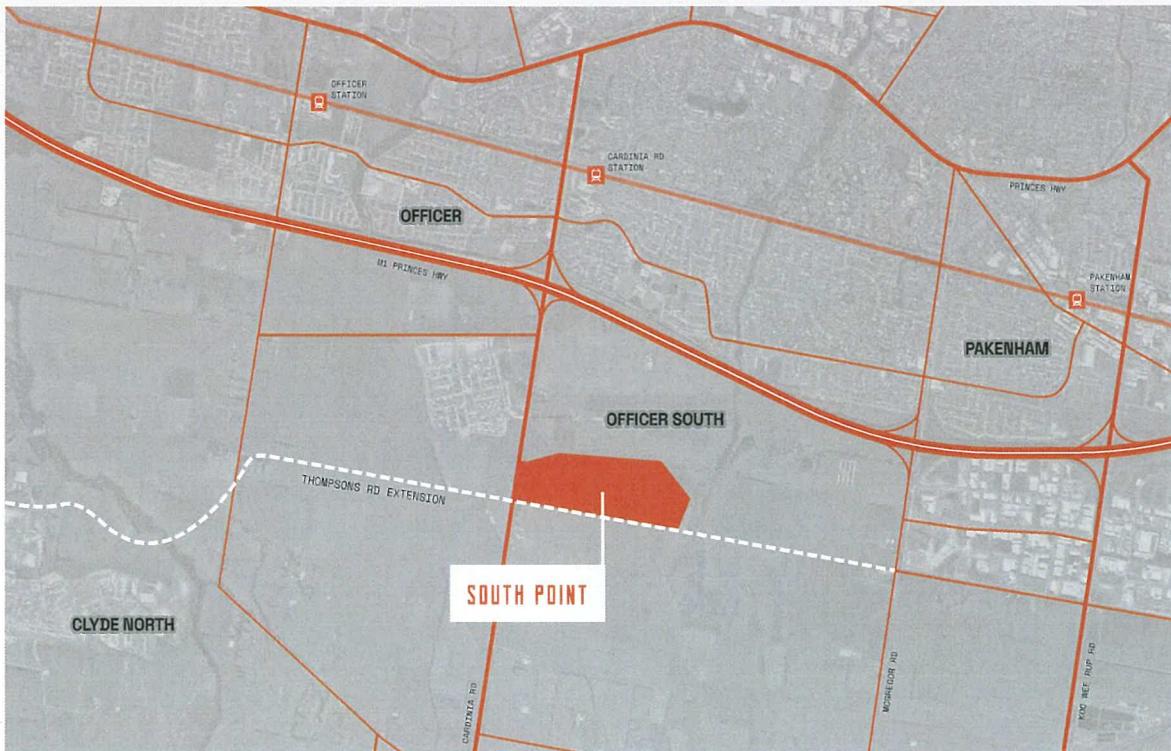


Figure 1: South Point

The intent of these guidelines is to ensure that the Vision will be achieved and provides assurance to all purchasers as to the implementation of the Vision.

The Guidelines have been prepared to provide direction on the design, layout and future management of each site within the development. The Guidelines will ensure that individual allotments, and the development as a whole emphasises quality in all aspects of the design and delivery process.

1.3 Using the Guidelines

These Guidelines will assist in providing clarity to applicants when designing their development for their allocated parcel of land within South Point.

All guidance within this document will be prefaced by the use of **Must** or **Should**:

- Guidance described with **must** are compulsory obligations;
- Guidance described with **should** are desirable outcomes, and deviations from such guidance should be reasonably justified by the applicant on submission to the Design Review Panel (DRP).

All plans and graphics referred to in this document are indicative only. Lot layout and road networks are indicative only and subject to change.

1.4 Approval Process

All proposals for buildings or works **must** be submitted for approval to the Design Review Panel (DRP) prior to planning permit submission to the relevant authority.

Once the plans have been approved by the DRP, the applicant will be responsible for lodging their plans with Cardinia Shire Council for a planning permit. The DRP may exercise its absolute discretion when assessing any proposed deviations from the Guidelines.

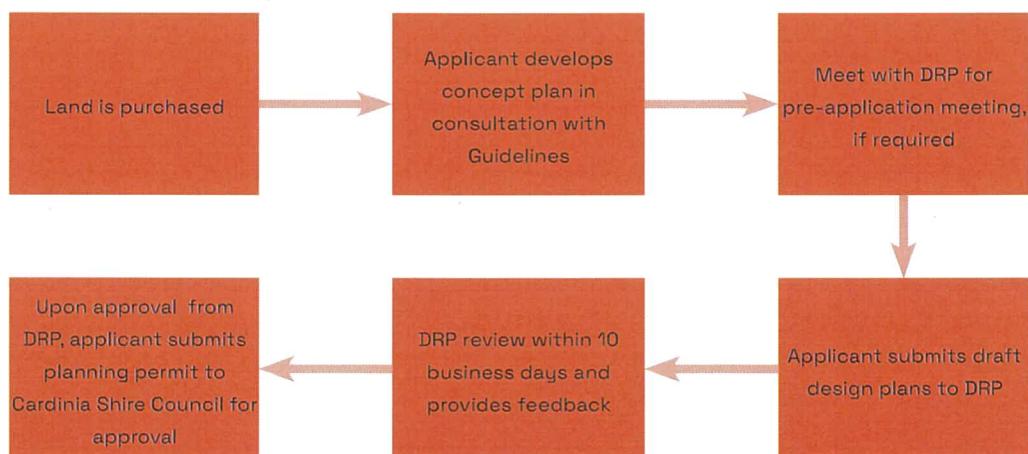


Figure 2: Approval Process

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1.5 Approval

Approval will be required by the DRP for all building and works within South Point prior to submission by the applicant to the Cardinia Shire Council.

1.6 Statutory Controls

It is the responsibility of the applicant to research statutory controls that relate to their allotment within South Point. Should there be a discrepancy between the Guidelines contained herein and the requirements of any relevant statutory authority, the requirements of the statutory authority shall prevail to the extent of the discrepancy.

1.7 Priority

The guidelines are an integral part of the development of the estate and **must** be used as the basis for all development applications. Where the Guidelines are at odds with council or state legislation then the Guidelines take second priority.

1.8 Restrictions

Allotment owners **must** consult the Certificate of Title and Contract of Sale for all easements, encumbrances, restrictions and for any additional requirements relating to their allotment.

2.0 LOT GUIDELINES

2.1 Design Principle

The following lot guidelines are to assist purchasers in clearly setting out the built form, size and design requirements for development within South Point. These must be taken into account when the purchaser is preparing plans for their allotment.

2.2 Site Setbacks & Building Height

The setback guidelines have been established to present a harmonious and consistent streetscape throughout the development. It will allow for appropriate separation of the built form from the street and allow suitable setbacks to accommodate landscaping where required.

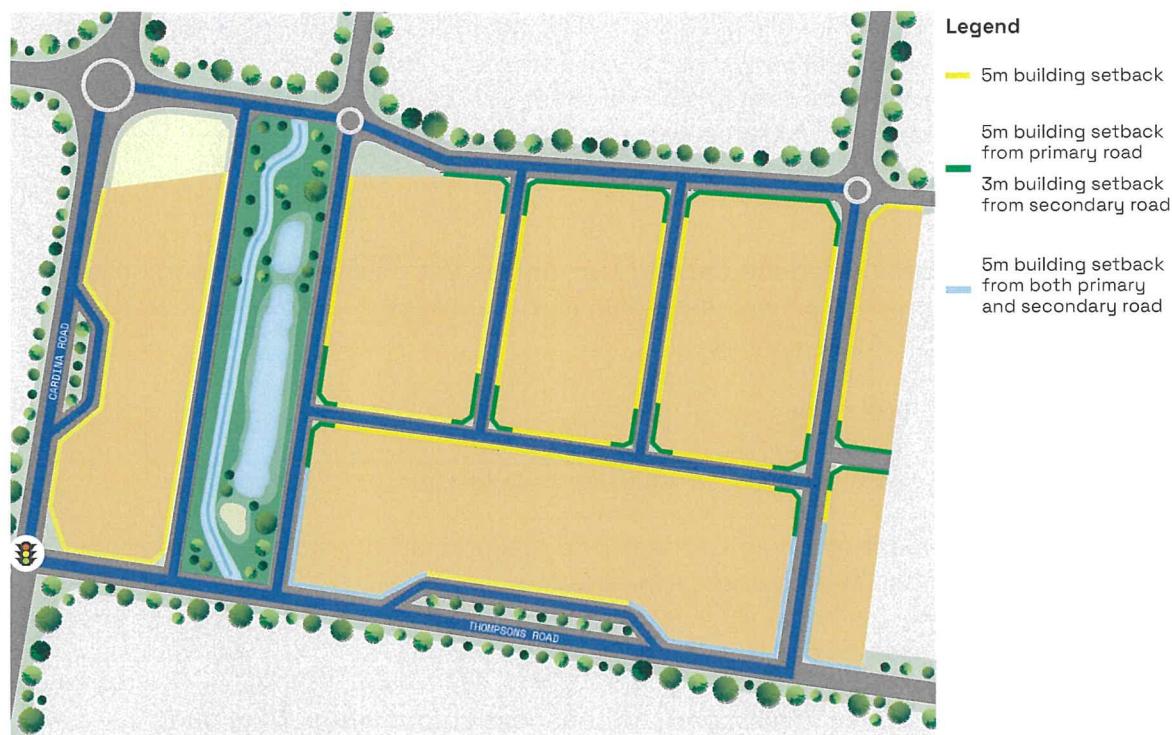


Figure 3: Building Setback Guide

2.2.1 Front Setback and Building Height

- A minimum building setback of five metres to the primary street frontage from the allotment boundary must be provided as per Figure 3: Building Setback Guide;
- Any proposed building that is higher than 15m, is subject to DRP approval;
- Buildings which front onto the street must provide surveillance of the street and present a more active frontage. These can be offices and front entries.

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2.2.2 Side Setback and Corner Allotments

- No building setback is required at the side, unless on a corner allotment as per Figure 3: Building Setback Guide.
- Building setbacks on corner allotments not facing Cardinia and Thompsons Road must:
 - » For the primary frontage, provide a minimum **five** metre setback;
 - » For the secondary frontage, provide a minimum **three** metre setback.
- Building setbacks on corner allotments facing Cardinia and Thompsons Road must:
 - » For both the primary and secondary frontage, provide a minimum **five** metre setback
- Setbacks on corner allotments must allow for sufficient sightlines for vehicular traffic in accordance with the relevant Australian standards.

2.2.3 Rear Setback

- No building setback is required at the rear, unless the building is backing onto open space reserves in which case a five metre setback must be provided as per Figure 3: Building Setback Guide.

2.3 Access and Circulation

South Point has been designed for pedestrians, cyclists, trucks and cars.

- Considerations must be given to the functional and safety requirements for access, circulation, loading and car parks.

2.4 Allotment Crossovers

When designing for crossovers, or varying the location or number of already constructed crossovers, the following will apply:

- Each allotment must have access via a crossover approved by the DRP and Cardinia Shire Council as part of a development application;
- The vehicle crossover must be clearly shown, including its width, splay and distance from each boundary;
- The crossover location/s should be chosen to avoid loss of street trees and multiple crossovers adjacent to each other.

2.5 Car Parking

Car parking and circulation are important design considerations and are critical to the success of the overall site planning process. Car movements need to be carefully considered along with that of trucks.

- Car parking **must** not be within any landscape setback;
- Carparks **must** be setback a minimum of 1 metre from the edge of a building to allow for vehicle overhang and pedestrian access;
- Carparks **must** not be used for storage of goods or for loading or unloading;
- Design of vehicular movement **must** allow for entering and exiting in a forward direction.

2.6 Truck Parking, Circulation and Loading

Important factors that must be taken into account when preparing a site plan that caters for trucks include truck parking, queuing, circulation and loading of heavy vehicles. Truck movements need to be carefully considered along with that of cars.

- Truck parking **must** not be located within any landscape setback. If truck parking is required, designated truck parking spaces are to be provided;
- Trucks **must** not queue on the street;
- All truck loading and unloading **must** occur within the site;
- Loading and service bays **should** be separated from private vehicles and pedestrian and bicycle routes, where the lot is of an appropriate size to accommodate this;
- Design of vehicular movement **must** allow for entering and exiting in a forward direction.

2.7 Design for Built Form

The style and design of the built form can have a significant impact on the efficiency of business operations, on-going operational costs, working conditions and the quality of the working environment.

- Applicants **must** engage the services of a qualified architect or appropriate building design consultant in the preparation of design concepts, documentation and administration of construction.

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2.8 General Approach

It is the intention of the DRP to ensure that development at South Point creates a harmonious and unified appearance through the application of a number of strategic requirements.

Design

- **Architecture must** be contemporary and unique. All buildings on an allotment must be of quality architectural merit and design excellence;
- **Building must** add positively to the streetscape and communicate a high quality corporate image;
- **Designs must** have a clearly identifiable point of entry;
- **Buildings must** address the street frontage(s) with offices to create visual interest and provide surveillance of the street. New buildings and developments must engage with and contribute to the street level activity in a positive way.

Amenity

- Provision **must** be made to screen back of house areas, such as rubbish disposal, plant and equipment, and should be made to screen storage areas;
- External signage, plumbing, heating and ventilation **must** be integrated with the building design.

ESD

- The building design **should** be based on environmentally sustainable principles considering solar aspect, materials and finishes, embodied energy and ongoing energy consumption;
- ESD initiatives **should** be considered, including the use of solar hot water, natural ventilation and on-site collection and reuse of stormwater;
- ESD initiatives such as solar panels or similar energy generating elements **should** be highlighted in the design.

2.9 Materials and Finishes

Materials and finishes are to be selected for appropriateness to their use and aesthetic influence.

- Materials used in the construction of the buildings **must** be appropriate for their use;

- The materials **must** allow ongoing change and weathering without reduction in their inherent qualities;
- Materials used for the construction of walls on, or near, boundaries **must** be of a similar standard to the materials used for the remainder of the building. These walls should be fully integrated into the building design;
- All exposed plain concrete wall panels on front, side and rear walls **must** be painted;
- Roof design **should** include consideration of the size, placement and character of equipment and protrusions;
- Roof materials and colours **should** reflect heat.

2.10 Architecture

South Point encourages the incorporation of modern design elements, which enhance the aesthetic look of the buildings within the business park. All buildings shall demonstrate excellence of design and quality in detail and construction.

Purchasers have a choice of two design principles, Form and Surface Treatment, and **must** apply at least one of each in their designs.

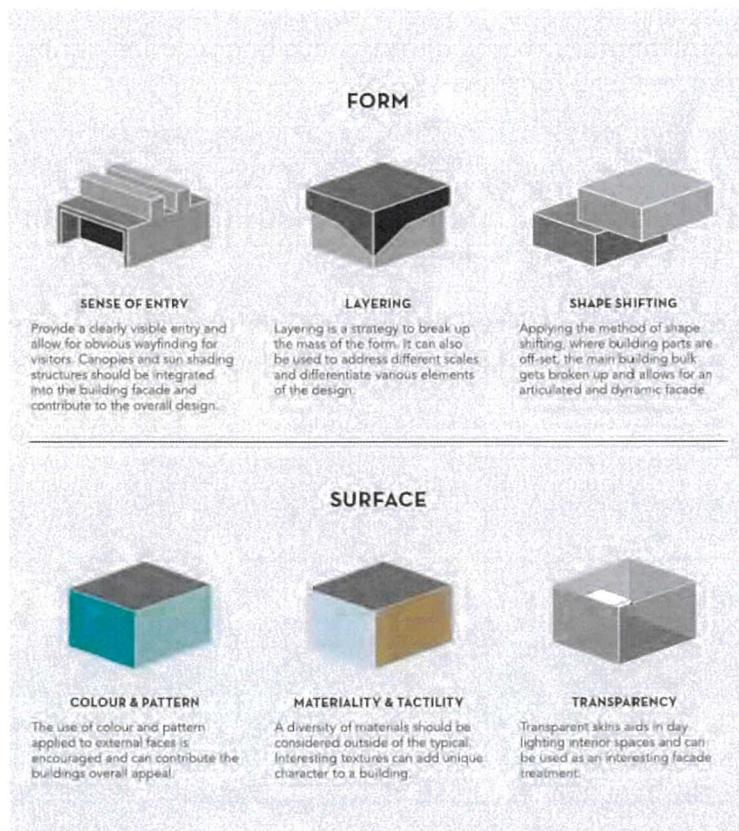


Figure 4: Architectural Elements

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2.11 Signage

Well designed and integrated signage is an important design element and should complement the architecture of the built form.

- All permanent and temporary signage, banners, flags, hoardings etc. must be approved by the DRP and if required the relevant government authorities through a separate approval process;
- The quantity of signage should be kept to the minimum required;
- All signage must be limited to details of the business that is operating from the property, unless otherwise approved by the DRP;
- Neon tube signs or animated signs are specifically prohibited.

Building Signage

Generally, but not exclusively, Building Signage is defined as corporate signage that will be prominent on the building façade.

- Building signage must be incorporated into the built form and be compatible and supportive of the architectural design in scale, colour and style.
- It should be complimentary to any directional signage, considering fonts, colours and other related imagery for the site.

On-Selling and Sub-Leasing

- For sale or lease signs must be removed within 10 business days of the respective date of sale or date which the lease is signed;
- Sale/Leasing signs must be limited to one signboard at any one time unless approved otherwise by the DRP.

3.0 LANDSCAPING

3.1 General Approach

A landscape design for each site is to be prepared by a qualified and experienced landscape architect/landscape designer. The landscape design is to reflect, respond to and extend on the overall landscape approach for South Point.

- With the exception of driveways, all street frontages must be landscaped to a high standard ensuring the streetscape character and landscape theme across the entire South Point Estate is achieved;
- Landscaping to be low maintenance;
- Landscaping must be maintained at all times.

3.2 Streets and Streetscapes

Each site must provide a minimum landscape zone to all street frontages in accordance with Figure 5. This is a minimum requirement; additional landscaping is encouraged.

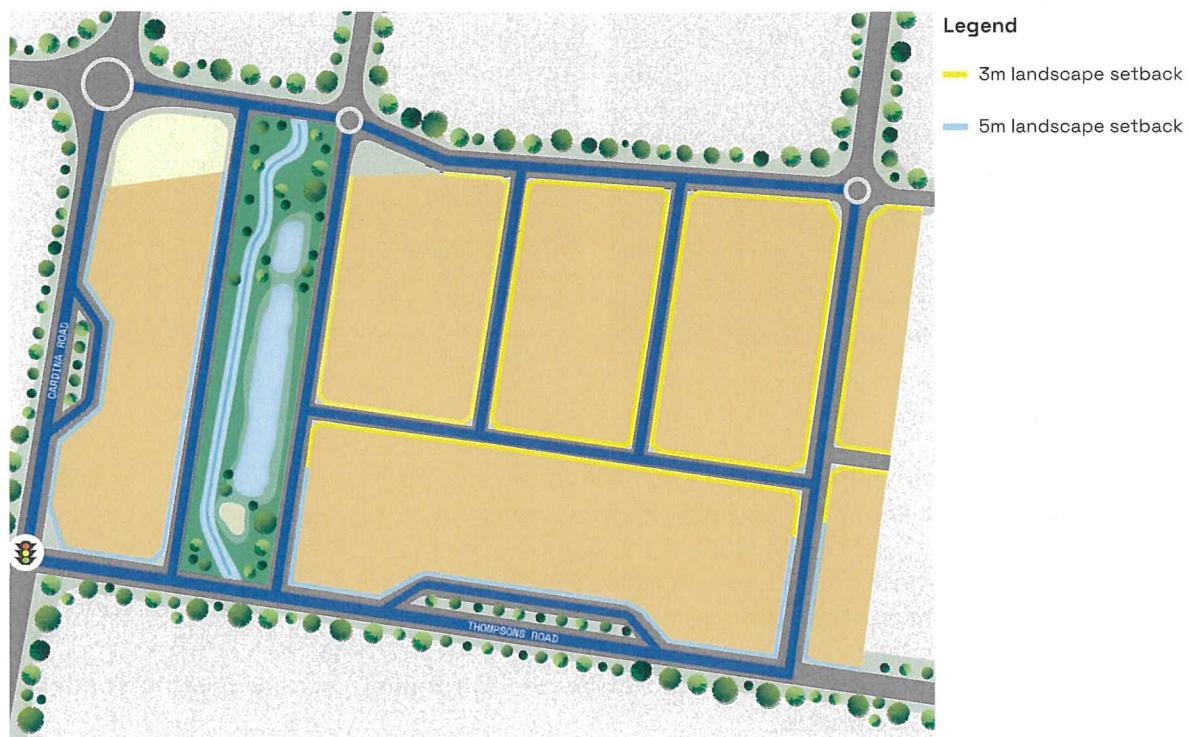


Figure 5: Landscape Setback Plan

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3.3 Frontage Landscape

To ensure that lot frontages present a unified and consistent look:

- All street-fronting setbacks must be landscaped.
- Garden beds and plant selection must be of a scale commensurate with the scale of built form elements within their setting.

3.4 Side & Rear Boundary Landscape

To enhance South Point's built form environment and provide screening and definition between allotments:

- When buildings are not built to side or rear boundaries facing neighbouring allotments, boundary screening planting should be considered
- Landscaping in side and rear setbacks must be provided if the side or rear of the site adjoins a street or is visible from key public viewing areas such as open space reserves in accordance with Figure 5: Landscape Setback Plan.



Example of suitable landscaping



Example of suitable landscaping

3.5 Car Parks

To contribute to South Point's premium character and reduce the heat island effect of large car parking areas, all car parking areas must be suitably landscaped.

- Car parking in front of buildings must be adequately screened from view from the street with appropriate planting;
- As a minimum, one canopy tree must be provided for every six car parking spaces, spaced to maximise shade;
- Large car parks with greater than 20 spaces as a minimum must provide one canopy tree for every eight car parking spaces;

- Large car parks should incorporate landscape islands to allow the planting of additional trees along with shrubs and groundcovers.



3.6 Garden Beds

To provide for the long-term vitality and attractiveness of planting throughout South Point:

- Garden beds must be designed to provide adequate drainage through site topography or through constructed drainage methods such as subsoil drains and drainage pits.
- All garden beds and trees are to be drip irrigated
- Garden bed areas must be cultivated prior to installation of a minimum of 200 mm deep, then 200mm deep imported sandy loam topsoil installed and finished with 75mm deep shredded wood mulch. The finished level of garden beds is to match all adjoining finished surface levels, such as kerbs, paths, pits, roads and pavements.
- Garden beds must be suitably planted to achieve a high level of quality containing a mixture of:
 - » Small shrubs, tufting plants and groundcovers, planted at appropriate densities to achieve a full foliage cover within 24 months after installation. Pot size to be a 50/50 mix 150mm and 200mm pots; and
 - » Trees to be installed at minimum size of 45Litre pots/1.8m high. All trees are to be installed with timber stakes and ties to ensure support throughout the establishment period. Refer to Section 3.5 for the tree spacings.



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3.7 Lawns

To support the successful establishment and the long-term vigour and presentation of lawns throughout the park:

- Lawns must be designed to provide adequate drainage through topography or through constructed drainage methods such as subsoil drains and drainage pits;
- Where lawns adjoin garden beds or gravel surfaces, timber or steel edging must be installed.
- Lawns in key focal areas such as street frontage entries, must be installed with kikuyu instant turf. Prior to installing instant turf, the subgrade is to be cultivated and a minimum of 100 mm deep imported sandy loam topsoil installed.
- Seeded lawn areas must have the subgrade cultivated and a minimum of 50-75 mm deep imported sandy loam topsoil installed, prior to spreading grass seed and lawn starter fertiliser at the rates nominated by the seed manufacturer.



Example of suitable lawn

3.8 Fencing

Uniform fencing is a key element of delivering a premium business park precinct.

- Any fencing on a street frontage must be black powder coated steel picket fencing and must be a minimum height of 2100 mm as per Figure 6: Typical Fencing Elevation. Pickets must have a plain capped top and all gates must match the design of the fencing;
- Side and rear boundary fencing, if not designed to match the frontage fencing, must be black PVC coated chain wire mesh fencing and must be a minimum height of 1800 mm, with an optional 3 rows of barbed wire extending the fence height by 300 mm as per Figure 6: Typical Fencing Elevation;
- Any fencing installed prior to development/construction at the site must be black PVC coated chain wire mesh with black posts and fixtures. Post and wire fencing or reinforcing mesh used as fencing is specifically prohibited. Traditional galvanised temporary fencing panels may be utilised during construction.

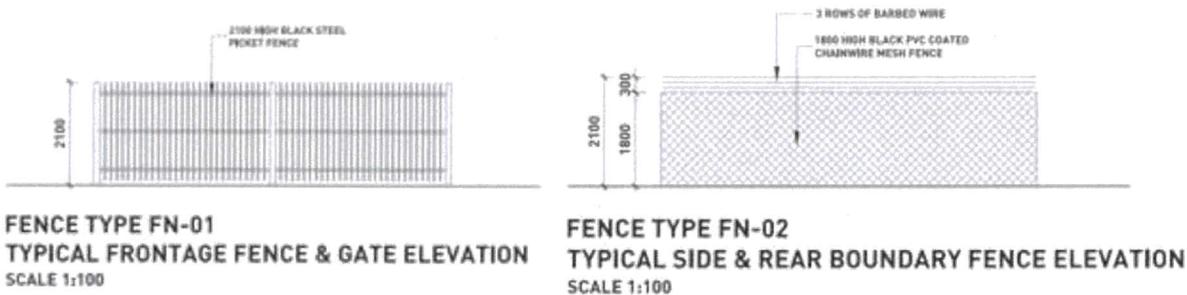


Figure 6: Typical Fencing Elevations



3.9 External Lighting

Providing a safe night time environment for employees of South Point, and the wider community, as well as an attractive and visually interesting landscape at night is a very important consideration for the vision of the overall development.

- Lighting must be adequate to ensure a safe and secure environment;
- All outdoor lighting must be designed for its specific use;
- Baffled or directional lighting must be used to avoid the potential of light spill from allotments;
- Energy efficient systems should be considered;
- All car parking and pedestrian routes must be lit.

3.10 Maintenance

Maintenance considerations are crucial to ensure the vision of a cohesive business park, where consistency of character and quality is preserved to maximise both liveability and investment outcomes.

- Future maintenance requirements should be considered during the design phase to inform planning and budgeting accordingly;

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- Establishment maintenance is particularly critical to the success of a constructed landscape. For the first three to six months, a more intensive maintenance regime must be provided with weed control, plant replacement, with monitoring of soil moisture/ irrigation receiving particular attention.

A regular maintenance program must be provided for all landscapes. As a guide, the following is a list of expected minimum maintenance performance targets:

Garden Beds

- Dead or unhealthy plants are to be immediately removed and replaced with the species matching the Landscape Plan.
- Plants are well-shaped and true to form.
- Mulch is maintained at 75 mm depth and regularly topped up.
- Drip Irrigation system is to be regularly monitored to ensure all trees and planted garden beds are receiving an appropriate level of water.
- Garden beds are weed free at all times.

Trees

- Tree stakes are straight and ties are in place during establishment;
- Trees are pruned as required to maintain appearance and remove any dead branches.

Lawns

- Grass areas display a healthy, vigorous and uniformly green appearance at all times of the year;
- Lawn surface is even and free of holes or protruding objects;
- Weed cover is no more than 10% of total lawn area.

Edging

- Edging is tidy, well-supported and correctly aligned.

Irrigation

- All parts and components are functional;
- Sprinklers adjusted to give complete even coverage;
- Stations set to seasonal settings.

All Areas

- Free of litter and debris;
- Free of graffiti;
- Free of pests, diseases and noxious weeds;
- No visible erosion.

3.11 Vacant Lots

Poorly managed vacant lots can detract from the estate aesthetics and occupant amenity.

Managing how vacant lots are presented and maintained prior to final development is important in ensuring that the estate presents in a professional manner throughout all stages of development.

- For any settled vacant blocks, any fencing must be in accordance with the guidelines and the site must not be used for the storage of any materials or vehicles.
- Any existing vegetation must be suitably maintained to present a quality visual outcome, and weeds must be managed to prevent spreading into the streetscape landscaping.

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4.0 SUBMISSION REQUIREMENTS

4.1 Pre-Submission Checklist

Applicants are to provide as much information as possible about the proposed use and development in the form of plans, elevation, site surveys, illustrative and written descriptions. Applicants should note that the DRP may request further information as part of the assessment process. All drawings shall be presented to scale in accordance with industry standard drafting practice.

To ensure that applications are handled in an efficient and expeditious manner, applications may be submitted in hardcopy or electronically, however electronically is preferred. Electronic submissions can be emailed to DRP@cadenceproperty.com.au

If submissions are being provided in hardcopy two A3 copies are to be supplied. Information and drawings that must be supplied include:

- Copy of Certificate of Title/ Plan of Subdivision
- Location Plan (Showing site within the estate)
- Existing Conditions Plan (showing adjoining developments)
- Site Layout Plan prepared by a qualified architect, including:
 - » Boundaries and dimensions of the site, including setbacks
 - » Adjoining land from boundary to kerb detailing public realm treatment
 - » Loading areas, crossover locations and driveways
 - » Building envelopes (proposed)
 - » Surface treatments and construction detail (extend of hardstand, carparks, pathways and paved areas)
- Building Elevations prepared by qualified architect
- Materials and finishes schedule for building elements and any external finish including pathways and fencing
- Landscape Plan prepared by a qualified landscape designer
- layout of all external site facilities, including surface treatments, fencing, retaining walls, stairs and other level change treatments
- Plant Schedule including plant size and spacing which is referenced back to the landscape plan.
- Signage Details (if any) for building and site.