

Caloundra

Steve Irwin Way

Beerwah
Train Station

ALDI

Beerwah State
High School

Beerwah Village
Shopping Centre

Glasshouse Country
Christian College

131 PINE CAMP ROAD, BEERWAH QLD 4519

INFORMATION MEMORANDUM

PREPARED BY RAY WHITE SPECIAL PROJECTS QLD
NOVEMBER 2019

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THE OPPORTUNITY

On behalf of the 'Deceased Estate', Ray White Special Projects Qld are pleased to exclusively offer to the market via Expressions of Interest, this 14.09Ha* property located at 131 Pine Camp Road, Beerwah QLD 4519.

The key features summarised below:

- Expansive 14.09Ha* property adjoining existing residential development
- Designated 'Urban Footprint' under the SEQ Regional Plan
- Future development potential, subject to Council rezoning
- Zoned 'Rural' under the Sunshine Coast Planning Scheme 2014
- 430* metres of road frontage
- Renovate or rebuild new - Existing highset 3 bedroom house with multiple sheds and established gardens
- Fantastic lifestyle property, also suitable for hobby farming and cultivation
- Walking distance to IGA & ALDI Shopping Centres, Beerwah Train Station, medical and cafés
- First time offered to the market in over 100 years!
- Under clear instructions from the 'Estate' that this property will be SOLD!

As the exclusive marketing agent, I encourage your strong consideration of this outstanding property and look forward to assisting you with your enquiries.



Matthew Fritzsche
Ray White Special Projects (QLD)

M 0410 435 891

E matthew.f@raywhite.com

*Approximately

Important: Prospective purchasers conduct due diligence investigations of the property strictly at their own expense and risk, and the vendor will have no liability in relation to such expenses. Consent by the vendor to the conduct by any potential purchaser of due diligence activities or investigation will not in any circumstance be construed as a representation that the vendor will be exercising, or refraining from exercising its rights to deal with the property, or any representation that the vendor intends to contract with that potential buyer, or at all.

SALE SUMMARY

Address 131 Pine Camp Road, Beerwah Qld 4519

The property is being offered for sale by Expressions of Interest closing Tuesday, 10 December 2019 at 4pm.

The sellers retain the right (in their absolute discretion) to:

- Decline to consider and/or accept any EOI lodged in response to this invitation;
- Negotiate directly with any party who has lodged an EOI at any stage;
- Accept or decline a non-conforming EOI at any stage of the sale process;
- Enter into any agreement for sale of the property on such terms as are acceptable to the Seller in the Seller's absolute discretion;
- Change this invitation;
- Require additional information from a party who has lodged an EOI;
- Reject all or any EOI's at any time for any reason; and
- Withdraw the property from sale

Sale Details

If an EOI is to be submitted by hard copy, it is to be enclosed within a sealed envelope marked clearly with:

EOI for 131 Pine Camp Road, Beerwah Qld 4519
c/- Matthew Fritzsche
Ray White Special Projects (QLD)
Level 26, One One One Eagle Street
111 Eagle Street, Brisbane Qld 4000

If the EOI is to be submitted electronically, details are as follows:

c/- Ray White Special Projects (QLD)
Facsimile: (07) 3832 4777
E-mail: matthew.f@raywhite.com

Marketing Agent

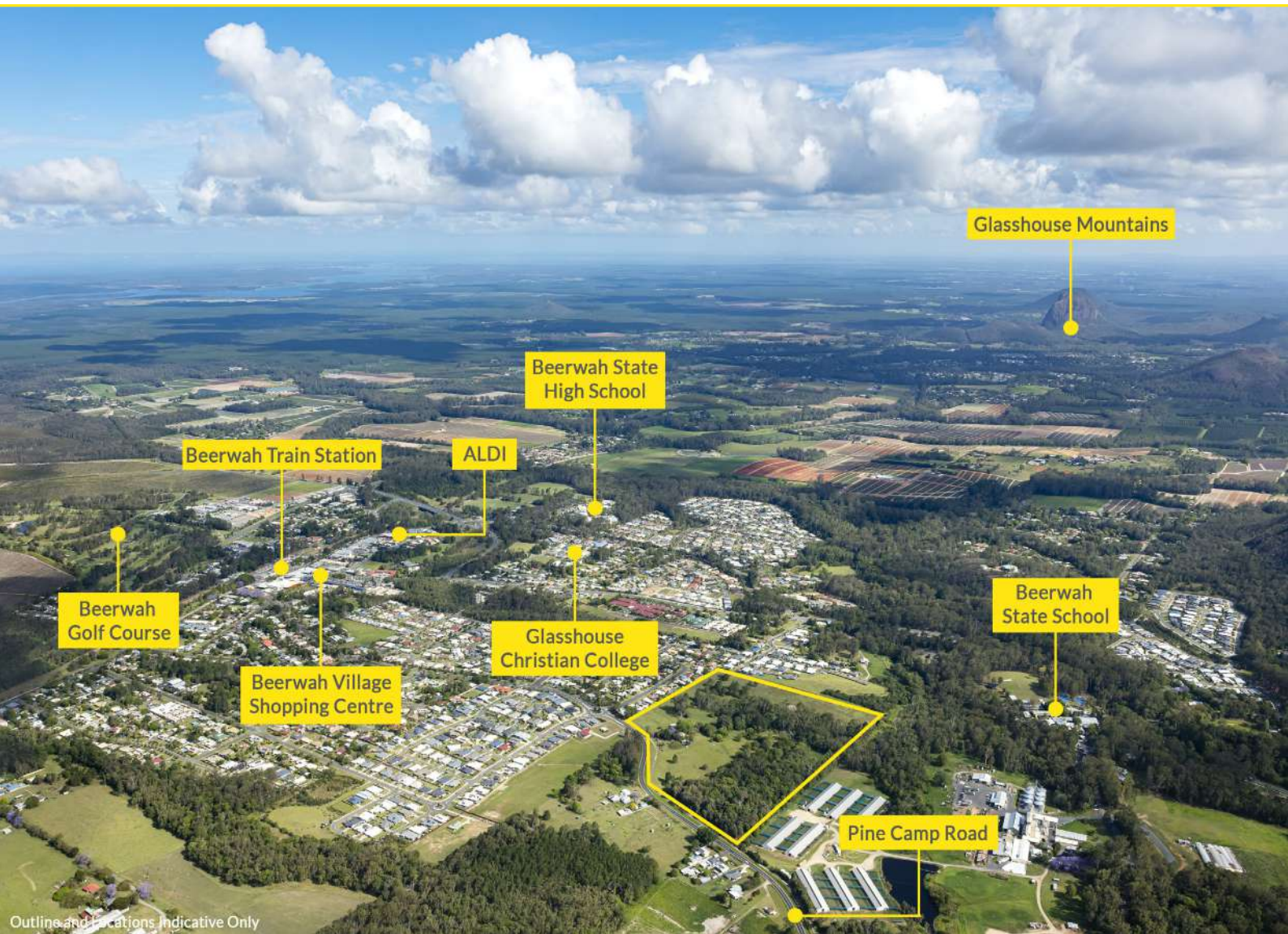
Matthew Fritzsche
Ray White Special Projects (Qld)
M: 0410 435 891
E: matthew.f@raywhite.com



PROPERTY OVERVIEW

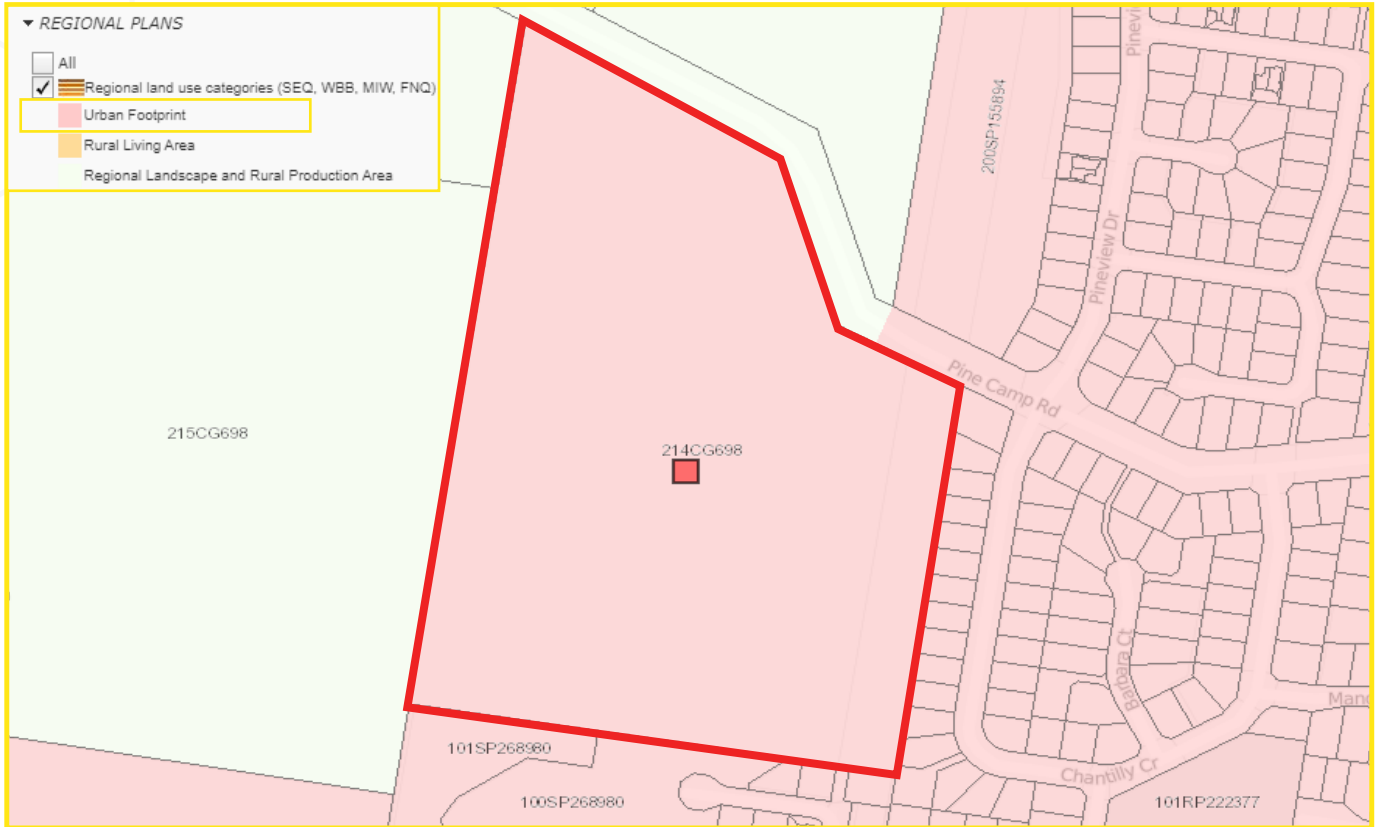
Address	131 Pine Camp Road, Beerwah Qld 4519
Real Property Details	Lot 214 on CG698
Town Planning	The property is designated "Urban Footprint" under the South East Queensland Regional Plan. The property is zoned "Rural" under the Town Planning Scheme for the Sunshine Coast Council.
Local Authority	Sunshine Coast Council
Land Area	14.09ha*
Site Description	<p>One of the largest lifestyle properties situated on the edge of the Beerwah township. The property is positioned on the southern side of Pine Camp Road and provides approximately 430 metres* of direct road frontage. The land is predominantly cleared and positioned at road height along Pine Camp Road, gradually falling to the central and treed portion of property, before rising towards the rear, elevated and cleared southern boundary. There are several well watered spring fed dams on the property, demonstrating drought proof characteristics.</p> <p>Historically, the property was originally utilised as a poultry farm in 1913 and then cycled through several generations of farming, including dairy cattle, pineapples, small crops and most recently ginger. Currently, the property is agisted for cattle grazing. There is no formal agistment agreement however.</p>
House and Improvements	<p>The land is improved with a highest workers cottage style house, providing 3 bedroom, 1 bathroom accommodation, constructed of timber cladding and concrete block and metal roof sheeting construction. The property is also improved with several metal clad sheds. Boundary fencing includes a mixture of metal post and wire, timber and colourbond fencing throughout.</p> <p>The yard areas are well maintained and in days gone by hosted garden parties and events, renowned amongst the local community.</p>
Services	The following major services are available for connection: reticulated water, sewerage, telephone and electricity. Mapping showing service connections are provided at Annexures F through to H.
Easements	<p>A powerline easement traverses the eastern boundary of the property.</p> <p>This following easements are shown on title and the particular easement searches provided at Annexure I.</p> <ul style="list-style-type: none">• Easement in Gross No. 601314933 (H428133) 26/10/1984 burdening the land to the South East Queensland Electricity Board over Easement A on RP154405.• Transfer No 703629963 13/10/1999 - Easement in Gross No. 601314933 (H428133) burdening the land to the South East Queensland Electricity Board over A.C.N. 078 849 055.• Easement No 601314934 (K2133962P) 16/03/1990 Benefiting the land over Easement A on RP803351.
2018/19 Council Rates	\$2,604.06 per annum
2018/19 Unity Water Rates	\$325.88 per annum

*Approximately

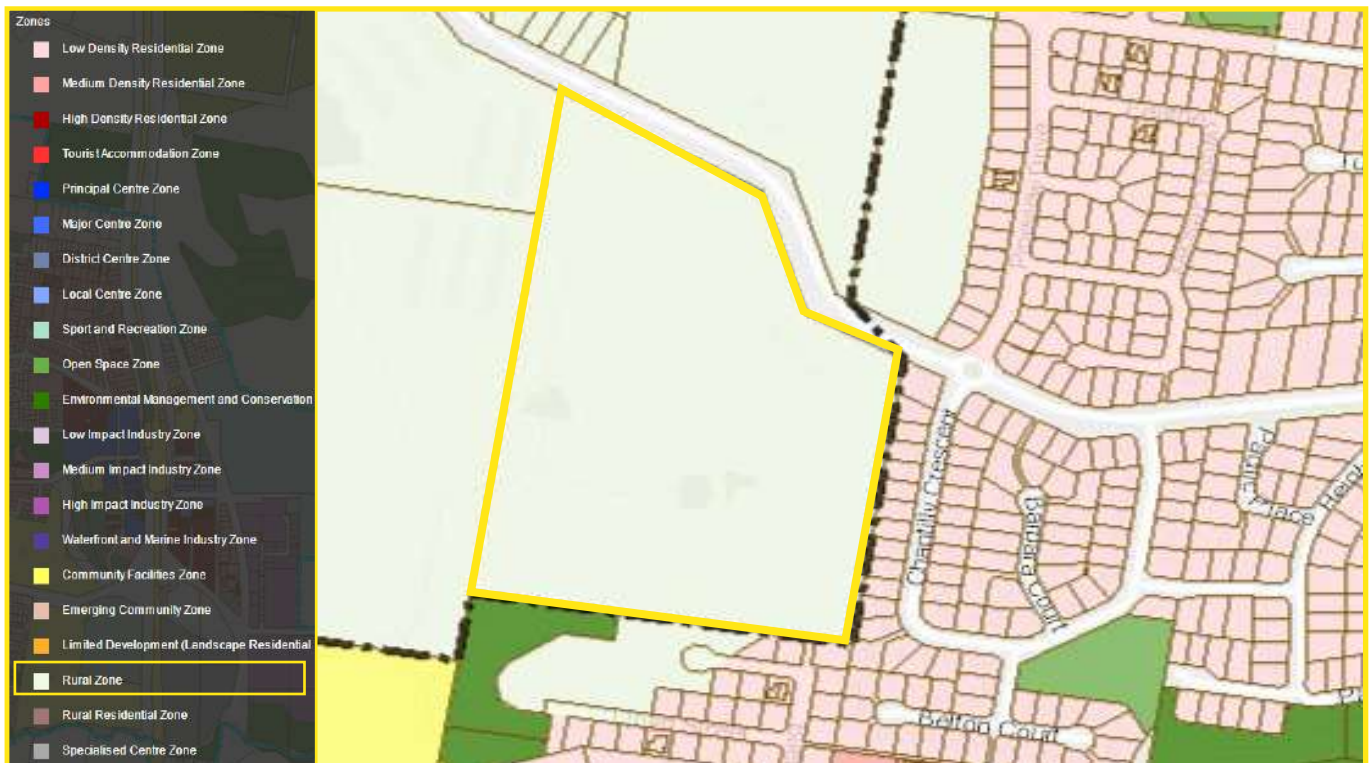


TOWN PLANNING OVERVIEW

SOUTH EAST QUEENSLAND REGIONAL PLAN MAPPING



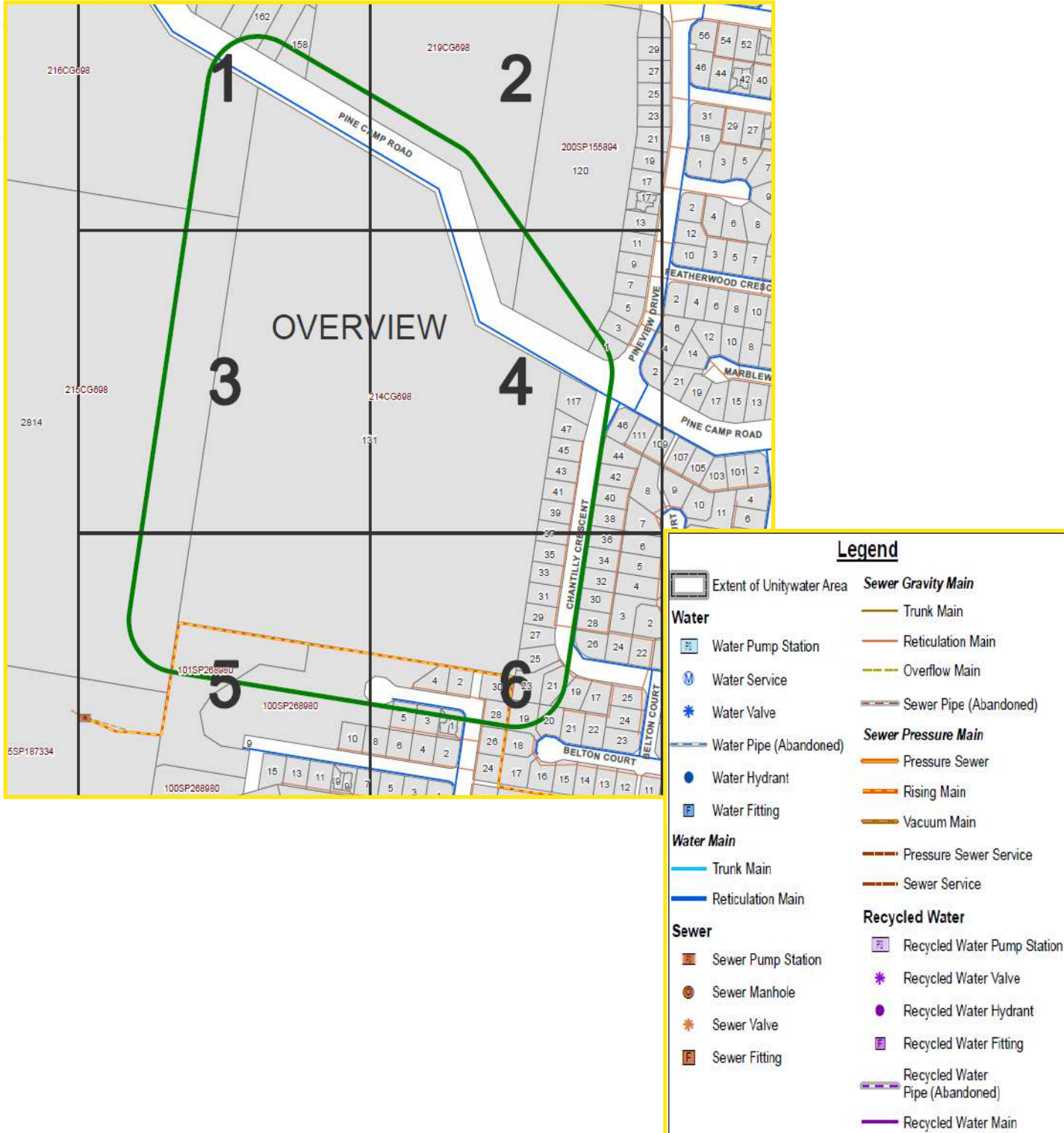
SUNSHINE COAST COUNCIL ZONING MAP



Source: Queensland Government - State Development, Manufacturing, Infrastructures and Planning and Sunshine Coast Council Planning Scheme 2014 and Sunshine Coast Council 2014

TOWN PLANNING OVERVIEW

SERVICES



SUNSHINE COAST OVERVIEW

The Sunshine Coast is the 10th largest Significant Urban Area in Australia that in recent times has experienced higher percentage population growth than all capital cities with the exception of Melbourne which it trails by only 0.1%.

The region boasts an economy worth \$15.74 billion, having grown by around 29% in seven years and 12% in the previous two.

The Sunshine Coast has experienced solid, progressive employment growth of 13% increase in jobs during the past five years to 2019.



POPULATION GROWTH

The Sunshine Coast is the 10th largest Significant Urban Area in Australia that in recent times has experienced higher percentage population growth than all capital cities with the exception of Melbourne which it trails by only 0.1%.

AUSTRALIAN SIGNIFICANT URBAN AREAS - CHANGE IN ESTIMATED RESIDENTIAL POPULATION

#	Significant Urban Area	2007 No.	2016 No.	2017 No.	Change 2016 - 2017	No.
1	Sydney	3,975,570	4,643,795	4,741,874	2.1	98,079
2	Melbourne	3,712,705	4,557,182	4,677,157	2.6	119,975
3	Brisbane	1,894,594	2,280,290	2,326,656	2.0	46,366
4	Perth	1,603,235	1,984,907	2,004,696	1.0	19,789
5	Adelaide	1,186,192	1,305,811	1,315,346	0.7	9,535
6	Gold Coast - Tweed Heads	528,080	646,983	663,321	2.5	16,338
7	Newcastle - Maitland	431,783	476,654	481,183	1.0	4,529
8	Canberra - Queanbeyan	377,693	440,543	447,457	1.6	6,914
9	Central Coast	298,846	327,024	329,437	0.7	2,413
10	Sunshine Coast	258,239	317,404	325,399	2.5	7,995

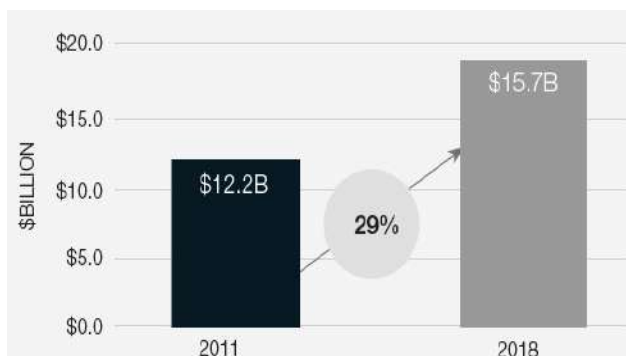
SOURCE: ABS



STRONG ECONOMY

The region boasts an economy worth \$15.74 billion, having grown by around 29% in seven years and 12% in the previous two.

SUNSHINE COAST ECONOMY 2011 - 2018



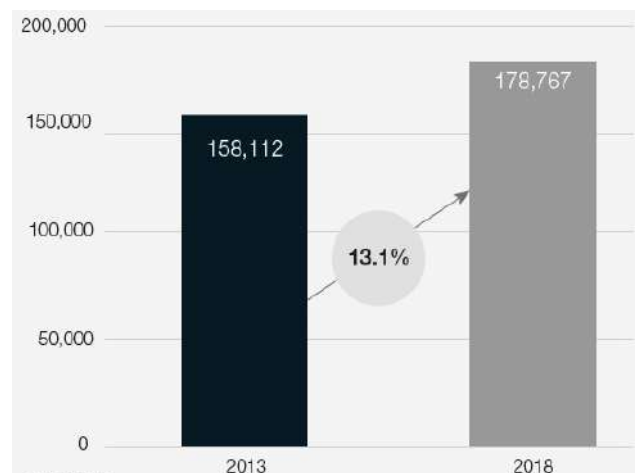
SOURCE: ABS



EMPLOYMENT GROWTH

The Sunshine Coast has experienced solid, progressive employment growth of 13% increase in jobs during the past five years to 2019.

SUNSHINE COAST 5 YEAR EMPLOYMENT GROWTH



SUNSHINE COAST OVERVIEW

INFRASTRUCTURE INVESTMENT

Suncentral CBD Development |
\$2.1 Billion



Sunshine Coast Airport Expansion |
\$347 Million



Bruce Highway Upgrades |
\$1.48 Billion



International Broadband Cable |
\$35 Million



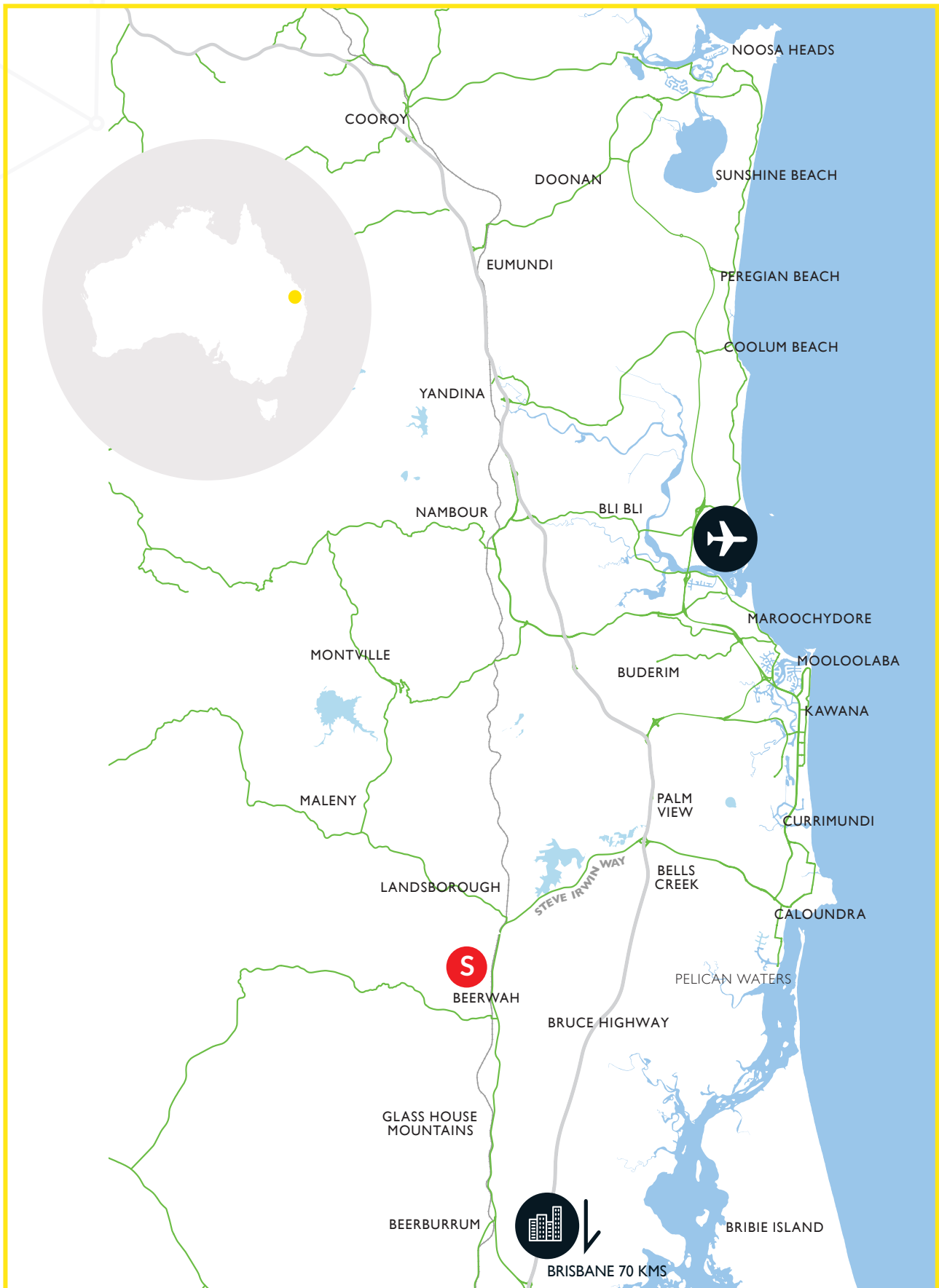
North Coast Connect Fast Rail |
\$780 Million



Aura Master Planned City |
\$5 Billion



SUNSHINE COAST OVERVIEW



BEERWAH OVERVIEW

Beerwah is an established Sunshine Coast Hinterland township, an easy 28* minute drive to the Caloundra beachfront, 26* minutes from the Sunshine Coast University Hospital, a little over 1 hour from Brisbane CBD and situated at the foothills of the iconic Glass House Mountains.

The Beerwah town centre, with a range of commercial services including boutique retail and supermarket shopping, recreational facilities including a stunning 18 hole golf course which is only a 4 minute drive.

A railway line runs through the township, providing regular services north to Gympie and northern Queensland, and south to Brisbane and the Gold Coast.

Surrounding development within the immediate locality comprises detached dwellings on urban and acreage style lots. It is also close to the famous Australia Zoo, founded by Steve Irwin and owned by his family.



DEMOGRAPHIC OVERVIEW

The Key demographic statistics for the suburb of Beerwah when compared with the Sunshine Coast Regional Council (SCRC) Local Government Area (LGA) are provided below;

Statistics	Beerwah	SCRC LGA
Estimated Population (2018)	8,976	319,922
Estimated Population (2008)	6,227	250,800
Population Change (%)	3.7%	2.5%
Projected Population (2026)	11,268	394,842

As at June 2018 Beerwah had an estimated population of 8,976 people, which reflects an increase 3.7% since June 2008.

Beerwah's population growth has been above that recorded for the Sunshine Coast Regional Council, which underlines its standing as a popular and desirable location to live.



POPULATION PROFILES

Demographically Beerwah is a popular location for families and downsizers, given its relaxed atmosphere and access to a wide range of private and public infrastructure.



MEDIAN HOUSE PRICE

Residential dwellings within Beerwah is dominated by detached dwellings, with houses comprising 87.9% of the market.

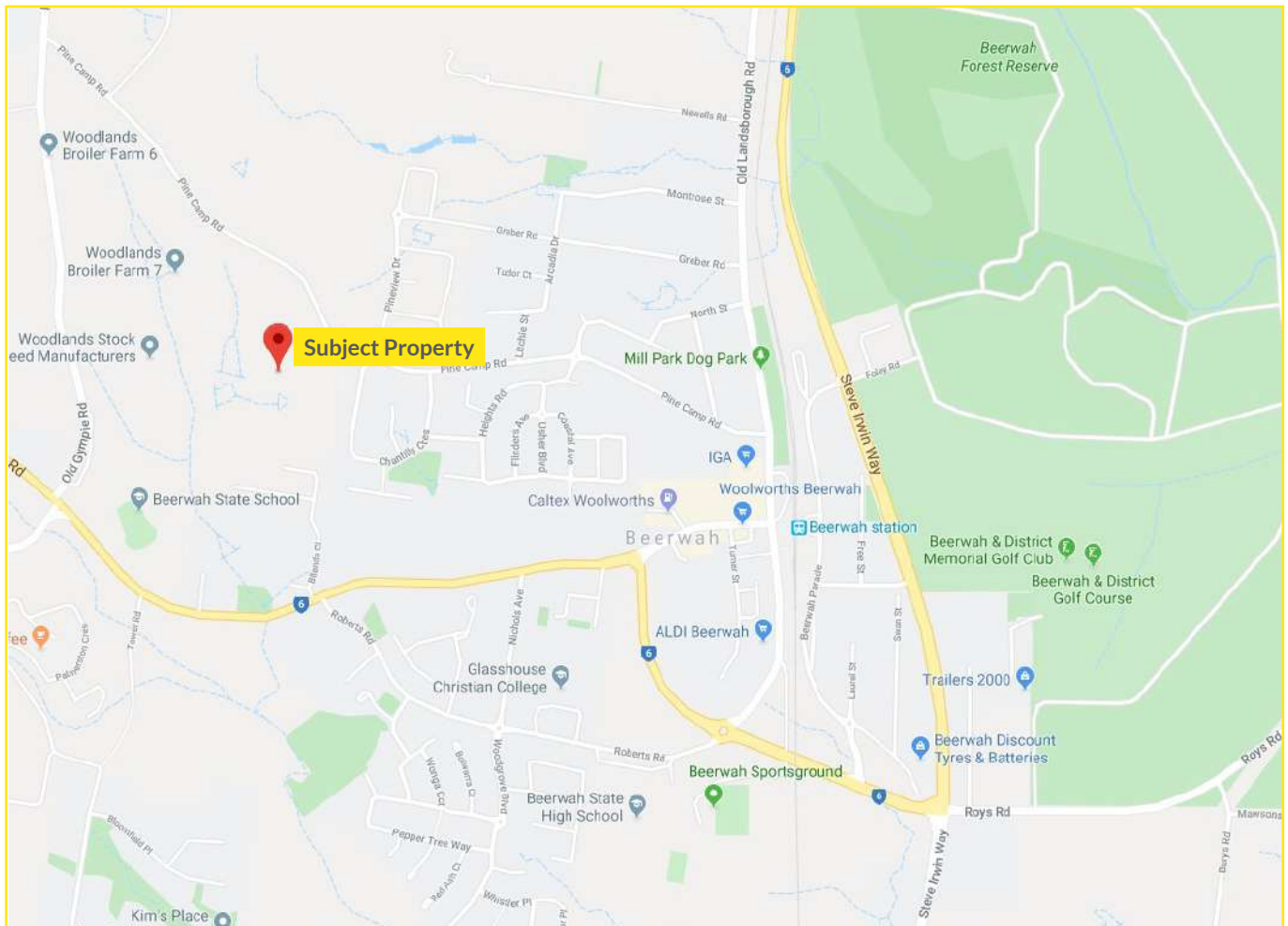
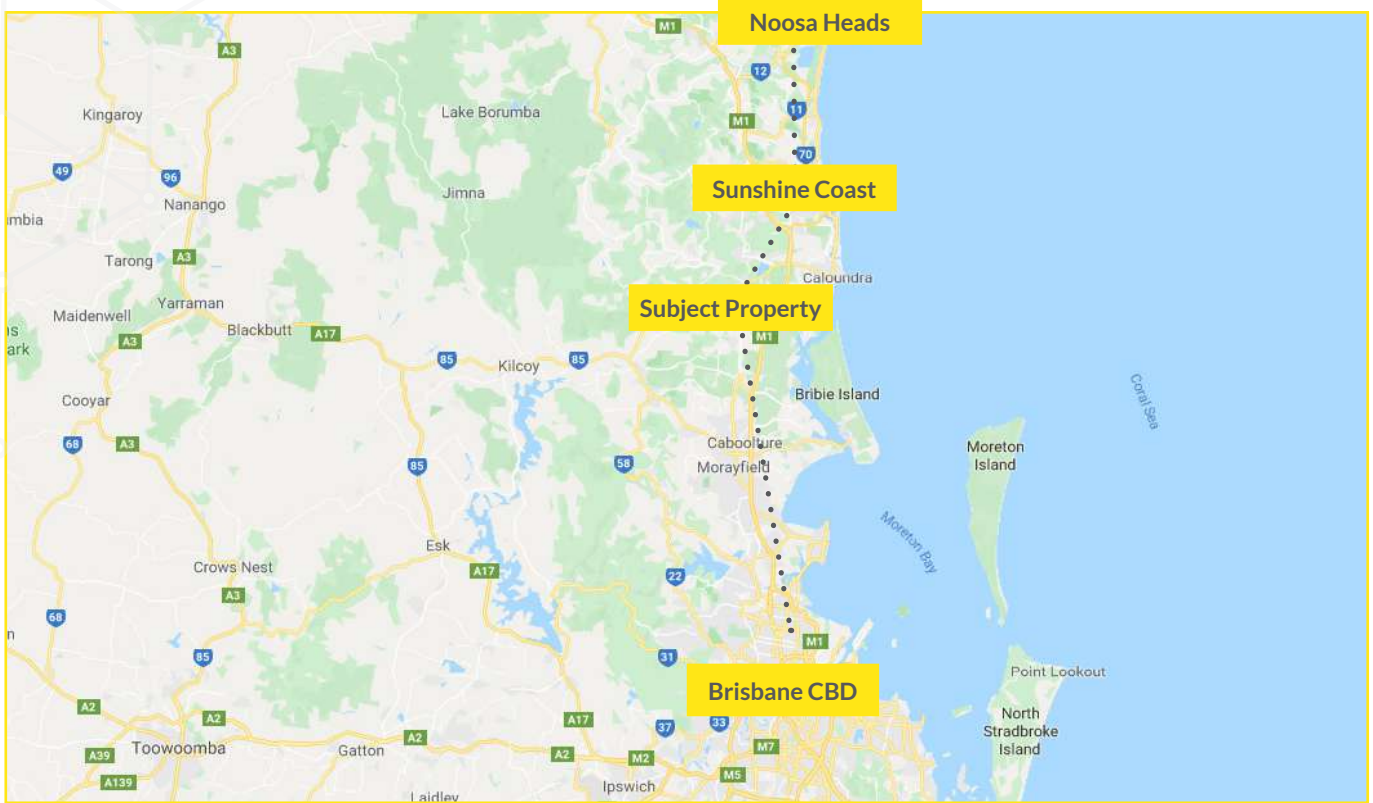
The median house price for Beerwah is \$482,000 when compared with \$600,000 for the Sunshine Coast Local Government Area.



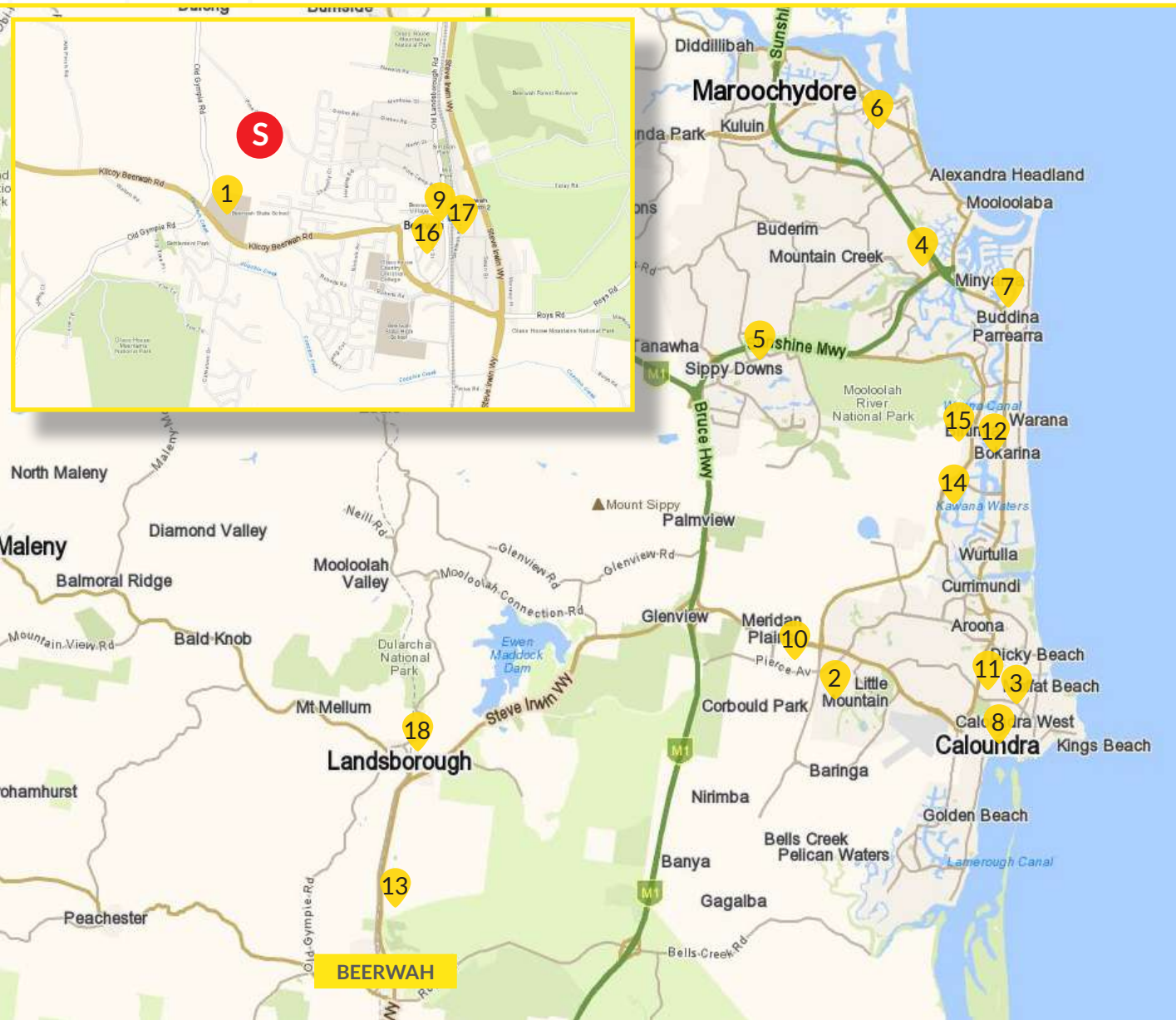
SOURCE: QUEENSLAND GOVERNMENT STATISTICIANS OFFICE

*approximately

LOCATION MAPS



AMENITIES MAP



SCHOOLS

1. Beerwah State Primary School
2. Unity College
3. Caloundra State High School
4. TAFE Queensland East Coast Mooloolaba
5. University of the Sunshine Coast

SHOPPING

6. Sunshine Plaza
7. Kawana Shoppingworld
8. Stockland Caloundra Shopping Centre
9. Beerwah Village Shopping Centre and Beerwah Market Place

RECREATION AND PARKS

10. Corbould Park Racecourse
11. Caloundra Golf Club
12. Sunshine Coast Stadium
13. Australia Zoo

MEDICAL

14. Sunshine Coast University Hospital
15. Kawana Private Hospital
16. Beerwah Medical Centre

PUBLIC TRANSPORT

17. Beerwah Railway Station
18. Landsborough Railway Station

 Subject Property

DISCLAIMER

The information contained in this Information Memorandum and any other verbal or written information given in respect of the property ("Information") is provided to the recipient ("you") on the following conditions:

1. Eagle Street (Brisbane) Pty Ltd ABN 68 164 201 629 trading as Ray White Commercial (Queensland) or any of its officers, employees or consultants ("we, us") make no representation, warranty or guarantee, that the Information, whether or not in writing, is complete, accurate or balanced. Some information has been obtained from third parties and has not been independently verified. Accordingly, no warranty, representation or undertaking, whether express or implied, is made and no responsibility is accepted by us as to the accuracy of any part of this, or any further information supplied by or on our behalf, whether orally or in writing.
2. All visual images (including but not limited to plans, photographs, specifications, artist impressions) are indicative only and are subject to change. Any measurement noted is indicative and not to scale. All outlines on photographs are indicative only.
3. The Information does not constitute, and should not be considered as, a recommendation in relation to the purchase of the property or a solicitation or offer to sell the property or a contract of sale for the property.
4. You should satisfy yourself as to the accuracy and completeness of the Information through your own inspections, surveys, enquiries, and searches by your own independent consultants, and we recommend that you obtain independent legal, financial and taxation advice. This includes as to whether any listing price is inclusive or exclusive of GST.
5. We are not valuers and make no comment as to value. "Sold/ leased" designations show only that stock is "currently not available" – not that the property is contracted/ settled. If you require a valuation we recommend that you obtain advice from a registered valuer.
6. The Information does not and will not form part of any contract of sale for the property. If an interested party makes an offer or signs a contract for the property, the only information, representations and warranties upon which you will be entitled to rely will be as expressly set out in such a contract.
7. Interested parties will be responsible for meeting their own costs of participating in the sale process for the property. We will not be liable to compensate any intending purchasers for any costs or expenses incurred in reviewing, investigating or analysing any Information.
8. We will not be liable to you (to the full extent permitted by law) for any liabilities, costs or expenses incurred in connection with the Information or subsequent sale of the property whatsoever, whether the loss or damage arises in connection with any negligence, default or lack of care on our part.
9. No person is authorised to give information other than the Information in this Information Memorandum or in another brochure or document authorised by us. Any statement or representation by an officer, agent, supplier, customer, relative or employee of the vendor will not be binding on the vendor or us.
10. To the extent that any of the above paragraphs may be construed as being a contravention of any law of the State or the Commonwealth, such paragraphs should be read down, severed or both as the case may require and the remaining paragraphs shall continue to have full force and effect.
11. You may not discuss the Information or the proposed sale of the property with the vendors or with any agent, friend, associate or relative of the vendor or any other person connected with the vendor without our prior written consent. We accept no responsibility or liability to any other party who might use or rely upon this report in whole or part of its contents.
12. The Information must not be reproduced, transmitted or otherwise made available to any other person without our prior written consent.

SOURCES OF INFORMATION

PAGE	CONTENT	SOURCE
Page 5	Property Overview	RP Data, Sunshine Coast Regional Council
Page 7	Town Planning Overview	Sunshine Coast Regional Council
Page 9-12	Sunshine Coast, Beerwah Overview	Wikipedia, Google Maps, Sunshine Coast Regional Council, ABS, Qld Government Statisticians Office
Page 13	Location Maps	Google
Page 14	Amenities Map	Google Maps / Whereis.com
Annexure A	Property Photography	Skyepics
Annexure B	Expressions of Interest Form	Ray White
Annexure C	Title Search	Department of Natural Resources and Mines
Annexure D	Registered Plan	Department of Natural Resources and Mines
Annexure E	Smart Map	Department of Natural Resources and Mines
Annexure F	Stormwater, Electrical and Communication Infrastructure Locations	Dial Before You Dig
Annexure G	Unity Water	Dial Before You Dig
Annexure H	Energex	Dial Before You Dig
Annexure I	Easement Documents	Department of Natural Resources and Mines

ANNEXURE A

PROPERTY PHOTOGRAPHY











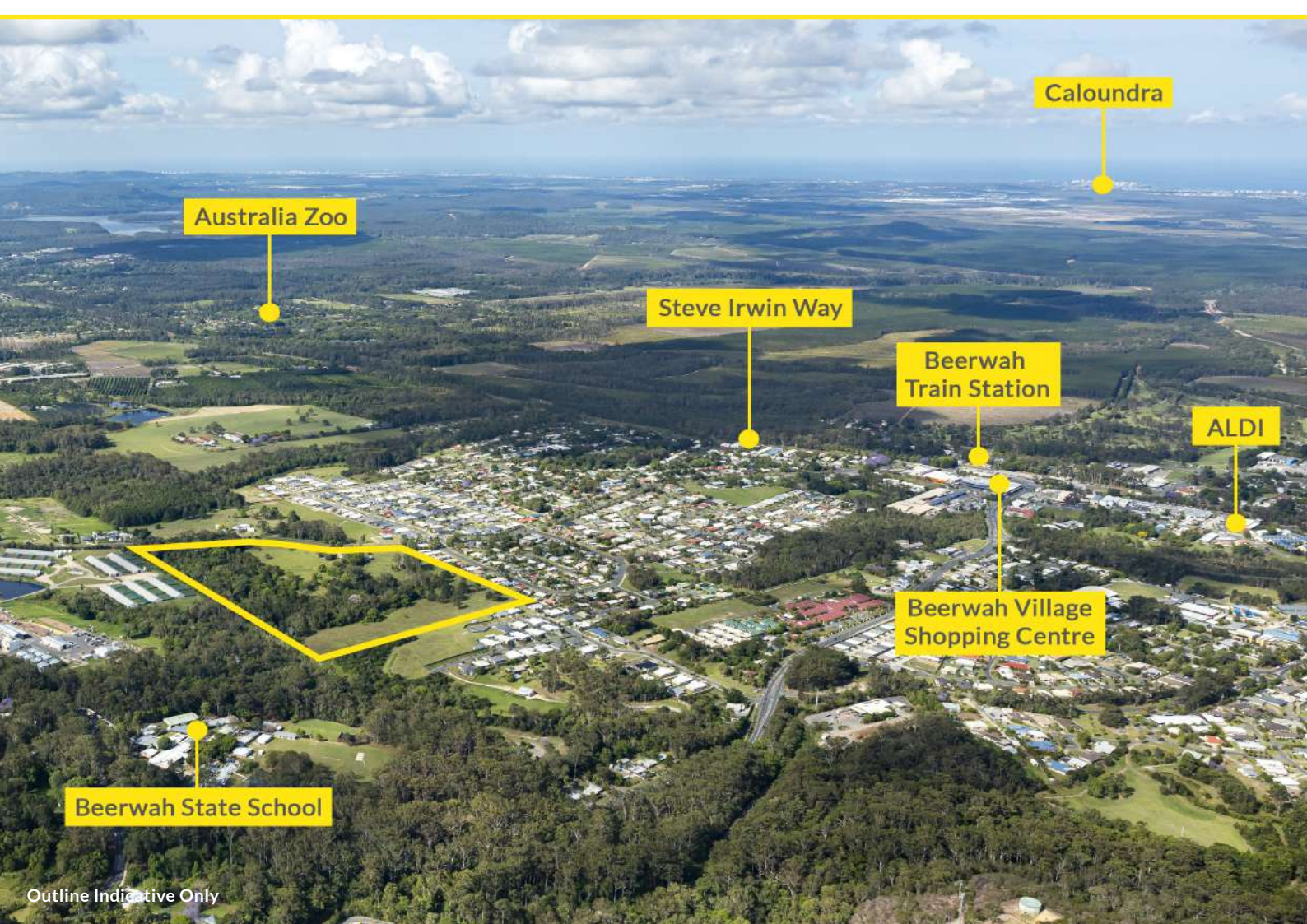




Outline Indicative Only



Outline Indicative Only



ANNEXURE B

EXPRESSIONS OF INTEREST FORM



EXPRESSIONS OF INTEREST FORM

Expressions of Interest (EOI) Form / Particulars

Date

I / We register our Expression of Interest to enter into negotiations to purchase the property located at 131 Pine Camp Road, Beerwah Qld 4519 ("the Property").

PROPERTY DETAILS

Address	131 Pine Camp Road, Beerwah Qld 4519
Real Property Description	Lot 214 on CG698
Land Area	14.09ha
Local Authority:	Sunshine Coast Council

EXPRESSION OF INTEREST

Purchase Price:	\$
Proposed Deposit:	10% of the Purchase Price
Proposed Settlement Date:	
Further Details / Information: (Finance, Conditions etc.)	

DETAILS OF PROPOSED BUYER

Full Name(s):	
If Company	Name: ABN: Registered for GST: Yes or No (please circle one)
Contact Details	Address: Mobile: Email:

DETAILS OF PROPOSED BUYER'S SOLICITOR (IF KNOWN)

Firm:	
Name / Contact:	
Address:	
Contacts:	Telephone: Email:

EXPRESSIONS OF INTEREST FORM

PROPOSED BUYER ACKNOWLEDGEMENT

In submitting an Expression of Interest to buy the subject property ("EOI"), the Proposed Buyer agrees to the following conditions:

1. The Proposed Buyer agrees to and accepts all disclaimers, limitations and qualifications in any written or verbal brochure, advertisement, representation, search, advice or information issued by the Vendors or Ray White or anyone on behalf of either of them ("Marketing Material").
2. The Proposed Buyer acknowledges that the Proposed Buyer has to satisfy itself about the characteristics, value, potential and features of the subject property by relying only on the Buyer's own enquiries and investigations and not on any Marketing Material. Therefore, neither the Vendors nor Ray White (or their respective employees and agents) will be liable if any Marketing Material is incorrect, incomplete or misleading.
3. The Proposed Buyer accepts and agrees to the terms of the Disclaimer in the Information Memorandum containing this EOI form.
4. The Proposed Buyer agrees that the Vendors will not be obliged to sell the subject property in response to this or any particular EOI.
5. The Vendors may sell the subject property to any person they choose, as a result of the EOI process or otherwise, or not at all. The Proposed Buyer cannot assume or expect that:
 - the Vendors will negotiate, or not negotiate, with the Proposed Buyer or any other respondent;
 - the Vendors will accept the highest purchase price offered;
 - the Vendors will consider any particular feature of an EOI or other proposal to buy the subject property as determinative; or
 - the submission of the Proposed Buyer's EOI will lead to any particular outcome.
6. No claim can be made against the Vendors or Ray White in relation to any costs or expenses incurred by a respondent in evaluating the subject property or submitting an EOI.
7. This EOI constitutes an Expression of Interest by the Proposed Buyer to negotiate for the possible sale and purchase of the subject property.

EXECUTION:

Signed by the Proposed Buyer only.

Full Name/s:

Signature/s:

Date:

ANNEXURE C

TITLE SEARCH



ANNEXURE D

REGISTERED PLAN



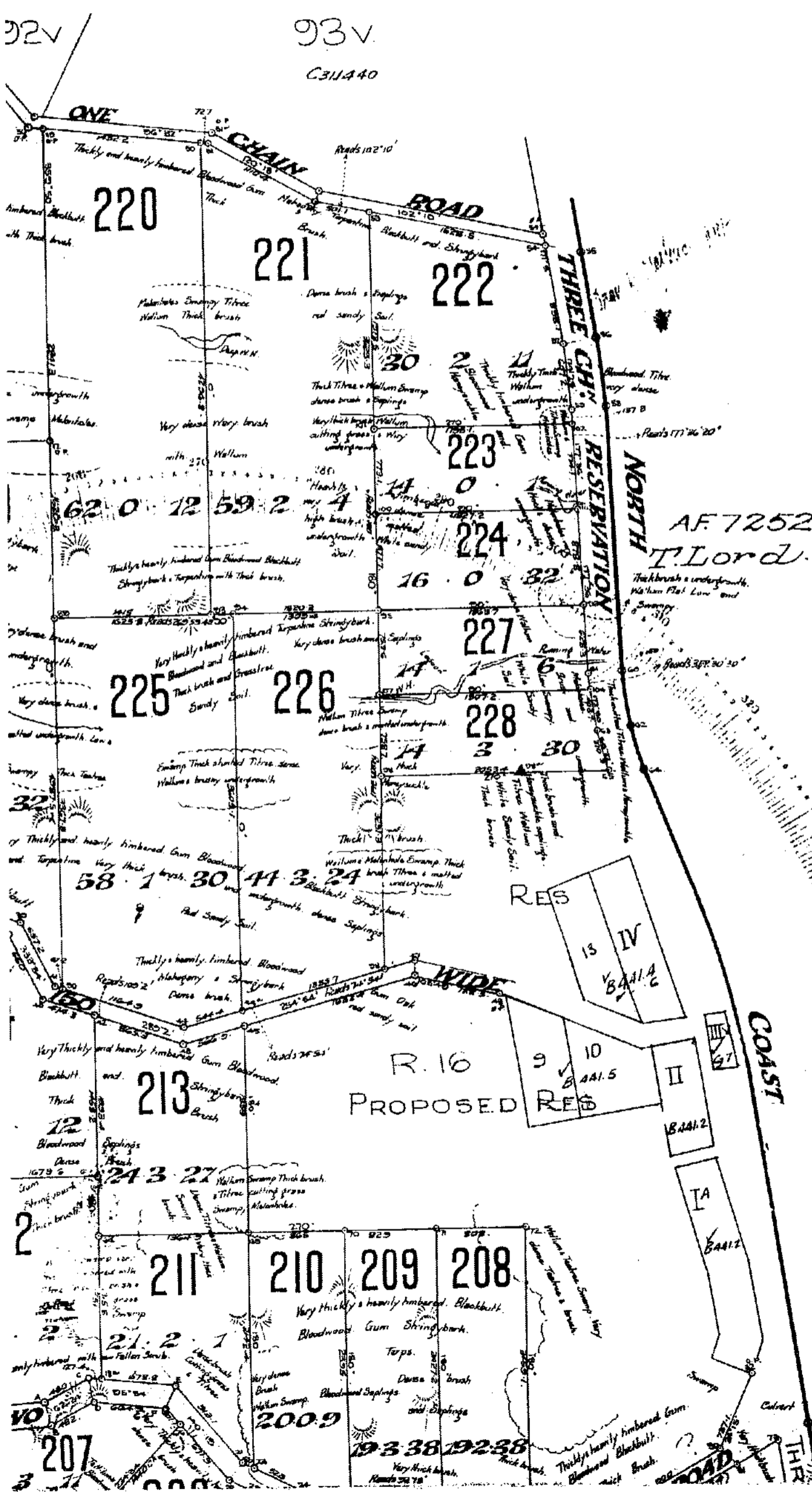
Reference to traverse
and Road Sections.

Line	Bearing	Dist.
1	205° 30'	83.2
2	264° 50'	1673.1
3	269° 30'	423.0
4	231° 23'	176.7
5	258° 20'	819.3
6	263° 55'	238.8
7	269° 55'	155.1
8	291° 58'	429.0
9	250° 2'	173.4
10	319° 29'	179.7
11	11° 23'	339.2
12	302° 12'	738.7
13	302° 12'	129.5
14	223° 30'	350.0
15	150° 48'	185.0
16	271° 23'	441.0
17	21° 5'	386.3
18	99° 42'	1077.9
19	313° 42'	261.3
20	43° 47'	487.2
21	316° 22'	700.5
22	289° 50'	375.8
23	204° 40'	386.1
24	324° 36'	380.0
25	276° 16'	487.6
26	286° 15'	123.5
27	286° 15'	205.1
28	180° 24'	455.5
29	77° 40' 30"	307.5
30	257° 41'	307.5
31	250° 26'	305.6
32	265° 41'	300.8
33	64° 16'	304.4
34	129° 9'	208.9
35	238° 16'	316.0
36	218° 37'	204.2
37	194° 35'	204.7
38	166° 45'	207.6
39	152° 45'	210.9
40	355° 12'	126.8
41	41° 18' 30"	150.7
42	35° 46'	153.9
43	42° 12' 30"	161.0
44	41° 18'	162.1
45	1° 58'	156.9
46	359° 21' 30"	154.9
47	18° 25'	107.2
48	21° 14'	101.2
49	350° 23'	107.8
50	82° 10'	321.6
51	71° 5'	791.0
52	262° 45'	300.0
53	74° 25'	624.3
54	200°	300.1
55	177° 36'	2415.4

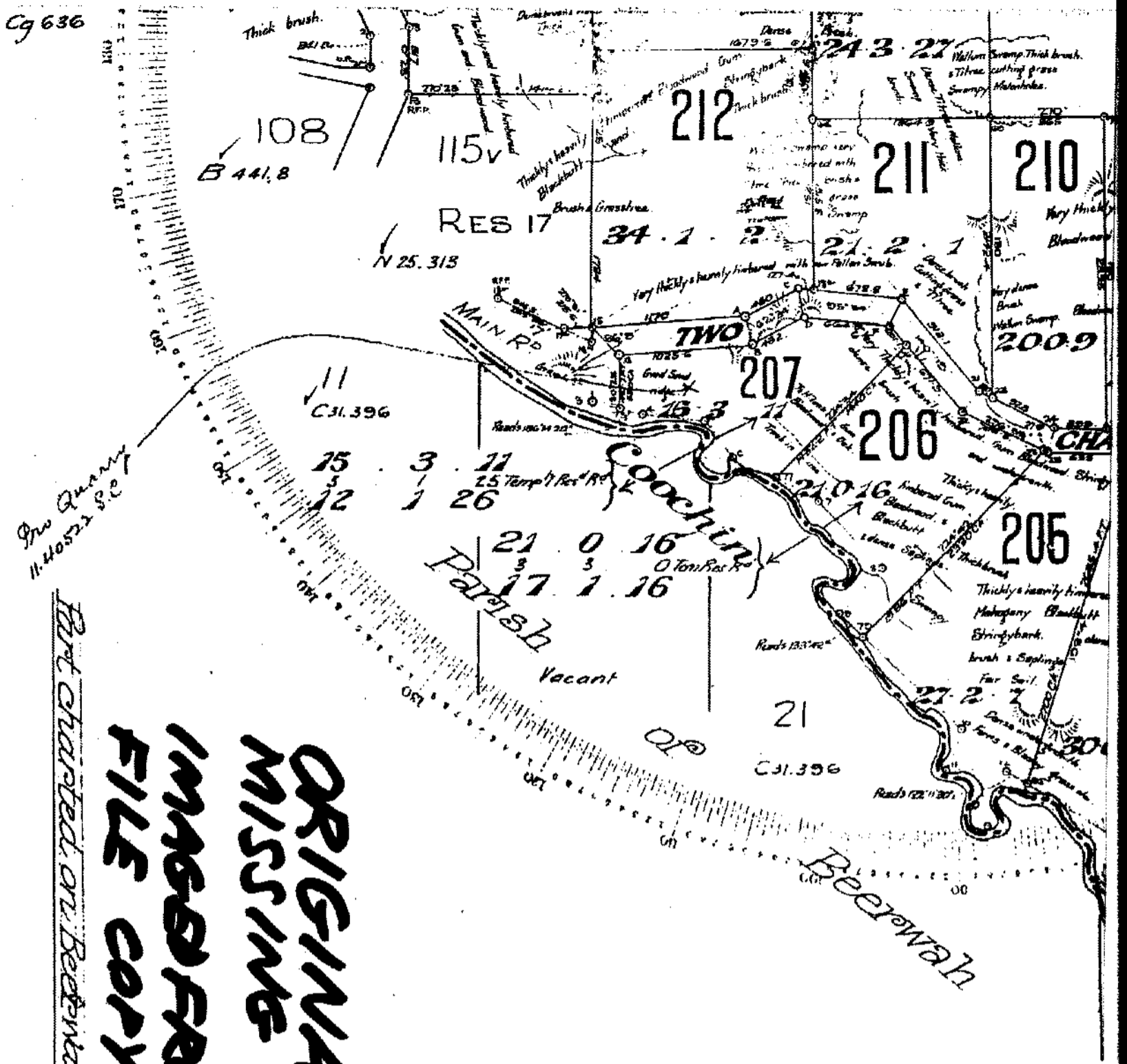
1. 5. /3 1902.
2. 6. /3 85 A.F.

5. 12. 12 1500-1
6. 4 January 1913 85 A.F.

SURVEY OFFICE
09120
QUEENSLAND.



Particulars	Survey No.	Section	Remarks
208	A.F.	7053	W. ROBERTS.
204		7042	E.F. JONES.
205		7055	A.E. FERRIS.
206		7049	M.A. SIMPSON.
207		7057	U. SIMPSON.
202		7056	L.H. WHEATON.
217		7044	T. SMITH.
218		7065	M.H. DENNIS.
219		7066	F.G. DENNIS.
221		7059	J.R. GIFF.
222		7056	L.W. GIBBANE.
215		7077	J. SUDLON.
226			
214			
209			
226			



**ORIGINAL
MISSING
IMAGED FROM
FILE COPY**

Part charted on Beerwah H.F.P.

on Design Cg 631

TS C31.125

Cg 636

25	245' 50"	Sydenham	60.2	224
26	168' 40"	Blackbutt	7.2	221
27	4' 24"	.	58.6	.
28	257' 37"	Blackbutt	44.1	222
29	232' 24"	.	40.1	223
30	.	Red Brumby	.	.
31	220' 44"	Tempanthine	55.2	225 224
32	.	Red Brumby	.	.
33	211' 7"	Sydenham	65.8	237
34	202' 24"	.	72.	228
35	198' 44"	Blackbutt	65.9	227 228
36	.	Red Brumby	228	.
37	246' 14"	Sydenham	82.	.
38	327' 50"	Blackbutt	22.8	221
39	118' 10"	Tempanthine	30.8	220
40	205' 24"	Blackbutt	31.5	221
41	178' 42"	Blackbutt	34.4	220
42	187' 28"	.	55	R
43	151' 10"	.	54.1	.
44	26' 25"	.	16	.
45	179' 50"	Grass	22.	207 R
46	242' 58"	Blackbutt	17.7	21 212
47	199' 23"	Yau Yau	49.5	.
48	188' 4.4"	.	37.1	.
49	324' 20"	Blackbutt	96.4	210

57	353' 52"	.	6.8	.
58	12' 52"	.	49.1	216
59	154' 48"	Blackbutt	95.1	214
60	64' 14"	.	6.4	212
61	206' 5"	.	30.9	214
62	395' 1"	Grass	99.9	212
63	187' 50"	Sydenham	43.6	21 210
64	64' 49"	Blackbutt	39.4	R 213
65	187' 42"	.	57.8	.
66	323' 20"	Grass	30.4	211
67	178' 5"	.	82.6	218
68	3' 53"	Three	122	211
69	.	Red Brumby	.	208
70	17' 59"	Sydenham	102.2	R 208
71	103' 1"	Three	54.8	210
72	242' 43"	Mahogany	101.1	209
73	5' 22"	Grass	60.5	210
74	308' 14"	.	16.	209
75	341' 59"	.	34.6	208
76	117' 58"	Blackbutt	41.8	209
77	182' 17"	Sydenham	28.9	208
78	51' 21"	Grass	124.6	209
79	174' 10"	Blackbutt	34.4	R 207
80	387' 28"	.	27.4	.
81	5' 32"	Blackbutt	54.4	206
82	168' 31"	Mahogany	41.8	205 R
83	67' 31"	Blackbutt	107.4	R 224
84	16' 4"	Sydenham	98.6	204 R
85	206' 25"	Blackbutt	94.5	.
86	313' 39"	.	87.8	R 204
87	161' 4"	.	29.1	207
88	391' 39"	Grass	128.8	202
89	171' 55"	Blackbutt	88	R 207
90	873' 44"	.	34.2	208
91	134' 14"	.	54.9	207
92	15' 17"	.	97.7	205
93	118' 10"	.	99.2	206

PLAN OF

PORTION N^o 203m 228 and 231
 PARISH OF Proybie
 County of Cunning
 Land Agents Brisbane
 District of Brisbane



Date of Instructions 14. 2. 1912. David D.S.G.
 Date of transmission of plans to 26. 5. 12.
 Examined by N.C.A. 13. 6. 13. Checked by R. 28. 6. 13
 Tender N^o 9720. Proceed for payment 1st 29. 5. 13
 Sales Register Vol. Vol.

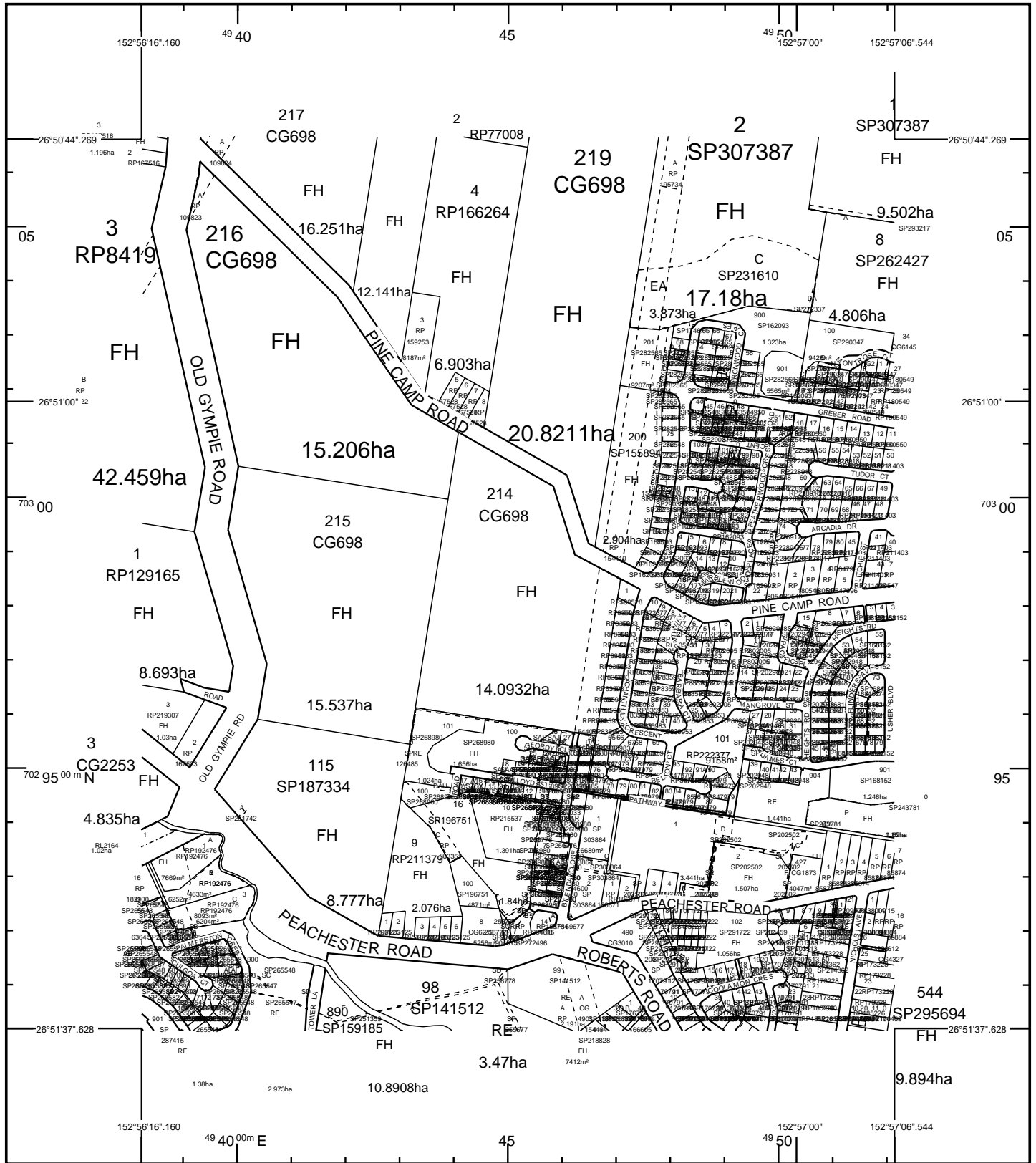
Scale 20 Chains to an Inch.

Cg. 698.

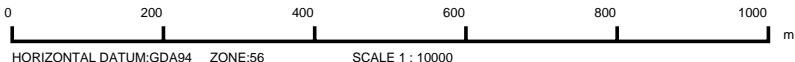
ANNEXURE E

SMART MAP





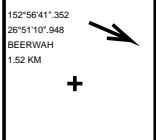
STANDARD MAP NUMBER
9444-21234



SmartMap

An External Product of
SmartMap Information Services
Based upon an extraction from the
Digital Cadastral Data Base

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	214/CG698
Lot/Plan	14.0932ha
Area/Volume	FREEHOLD
Tenure	SUNSHINE COAST REGIONAL
Local Government	BEERWAH
Locality	63253/8
Segment/Parcel	

CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy)	30/10/2019
DCDB	29/10/2019

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For further information on SmartMap products visit <http://nrw.qld.gov.au/property/mapping/blinmap>



Queensland
Government
(c) The State of Queensland,
(Department of
Natural Resources,
Mines and Energy) 2019.

ANNEXURE F

STORMWATER, ELECTRICAL AND COMMUNICATION INFRASTRUCTURE LOCATIONS






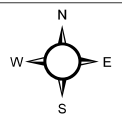
NOTE
In emergency situations please call
Sunshine Coast Council
(07) 5475 7272

This plan expires 30 days from
Sunshine Coast Council's
'Printed On' date.

SUNSHINE COAST COUNCIL STORMWATER, ELECTRICAL AND COMMUNICATION INFRASTRUCTURE LOCATION

Printed on: Wednesday, 30 October 2019

 Asset Information Services
Cnr. Currie and Bury Streets, Nambour QLD 4560
Locked Bag 72, Sunshine Coast Mail Centre QLD 4560
Enquiries: Tel (07) 5475 8545
Email: dbyd@sunshinecoast.qld.gov.au



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Crown & Council Copyright Reserved.

ANNEXURE G

UNITY WATER



UNITYWATER DBYD MAP

Sequence Number: 91582704

Job Number: 18477109

Printed On: 29/10/2019

Emergency Situations
Call Unitywater:
1300 086 489

This information on this plan is valid
for 30 days from "Printed On" date.

Legend

	Extent of Unitywater Area	Sewer Gravity Main
Water		Trunk Main
	Water Pump Station	Reticulation Main
	Water Service	Overflow Main
	Water Valve	Sewer Pipe (Abandoned)
	Water Pipe (Abandoned)	Sewer Pressure Main
	Water Hydrant	Pressure Sewer
	Water Fitting	Rising Main
Water Main		Vacuum Main
	Trunk Main	Pressure Sewer Service
	Reticulation Main	Sewer Service
Sewer		Recycled Water
	Sewer Pump Station	Recycled Water Pump Station
	Sewer Manhole	Recycled Water Valve
	Sewer Valve	Recycled Water Hydrant
	Sewer Fitting	Recycled Water Fitting
		Recycled Water Pipe (Abandoned)
		Recycled Water Main

Scale: 1:3075
(If printed at 100%
on A3 size paper)

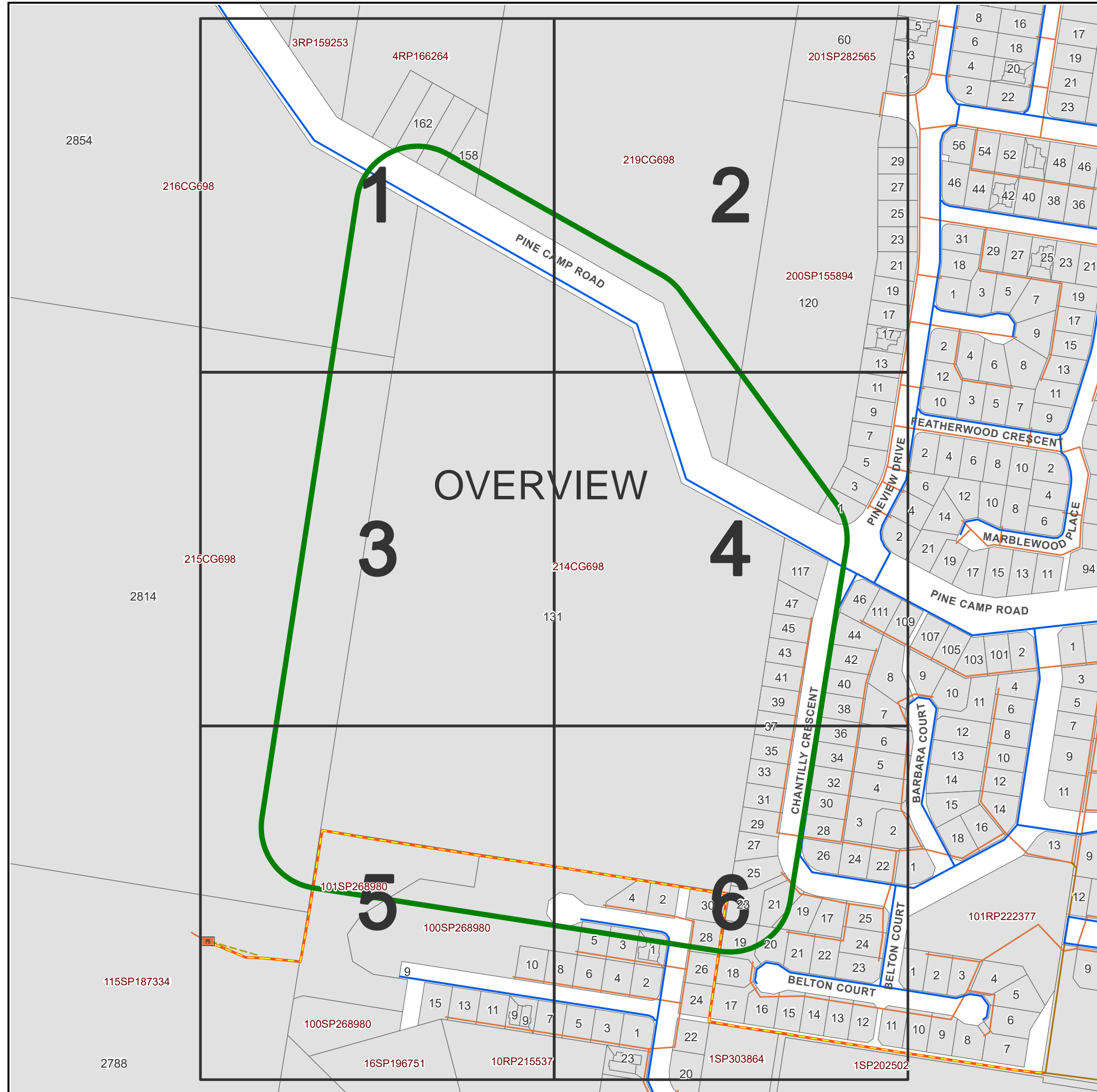


Unitywater

Dial Before You Dig
Geospatial Information Systems
Ground Floor, 33 King St
Caboolture QLD 4510
Inquiries: 1300 0 Unity (1300 086 489)
Email: dbyd@unitywater.com

Disclaimer

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UNITYWATER DBYD MAP

Sequence Number: 91582704

Job Number: 18477109

Printed On: 29/10/2019

Emergency Situations

Call Unitywater:

1300 086 489

This information on this plan is valid for 30 days from "Printed On" date.

Legend

	Extent of Unitywater Area		Sewer Gravity Main
Water			Trunk Main
	Water Pump Station		Reticulation Main
	Water Service		Overflow Main
	Water Valve		Sewer Pipe (Abandoned)
	Water Pipe (Abandoned)	Sewer Pressure Main	
	Water Hydrant		Pressure Sewer
	Water Fitting		Rising Main
Water Main			Vacuum Main
	Trunk Main		Pressure Sewer Service
	Reticulation Main		Sewer Service
Sewer		Recycled Water	
	Sewer Pump Station		Recycled Water Pump Station
	Sewer Manhole		Recycled Water Valve
	Sewer Valve		Recycled Water Hydrant
	Sewer Fitting		Recycled Water Fitting
			Recycled Water Pipe (Abandoned)
			Recycled Water Main

Map Tile: 1
Scale: 1:1000
(If printed at 100%
on A3 size paper)



Unitywater

Dial Before You Dig

Geospatial Information Systems

Ground Floor, 33 King St

Caboolture QLD 4510

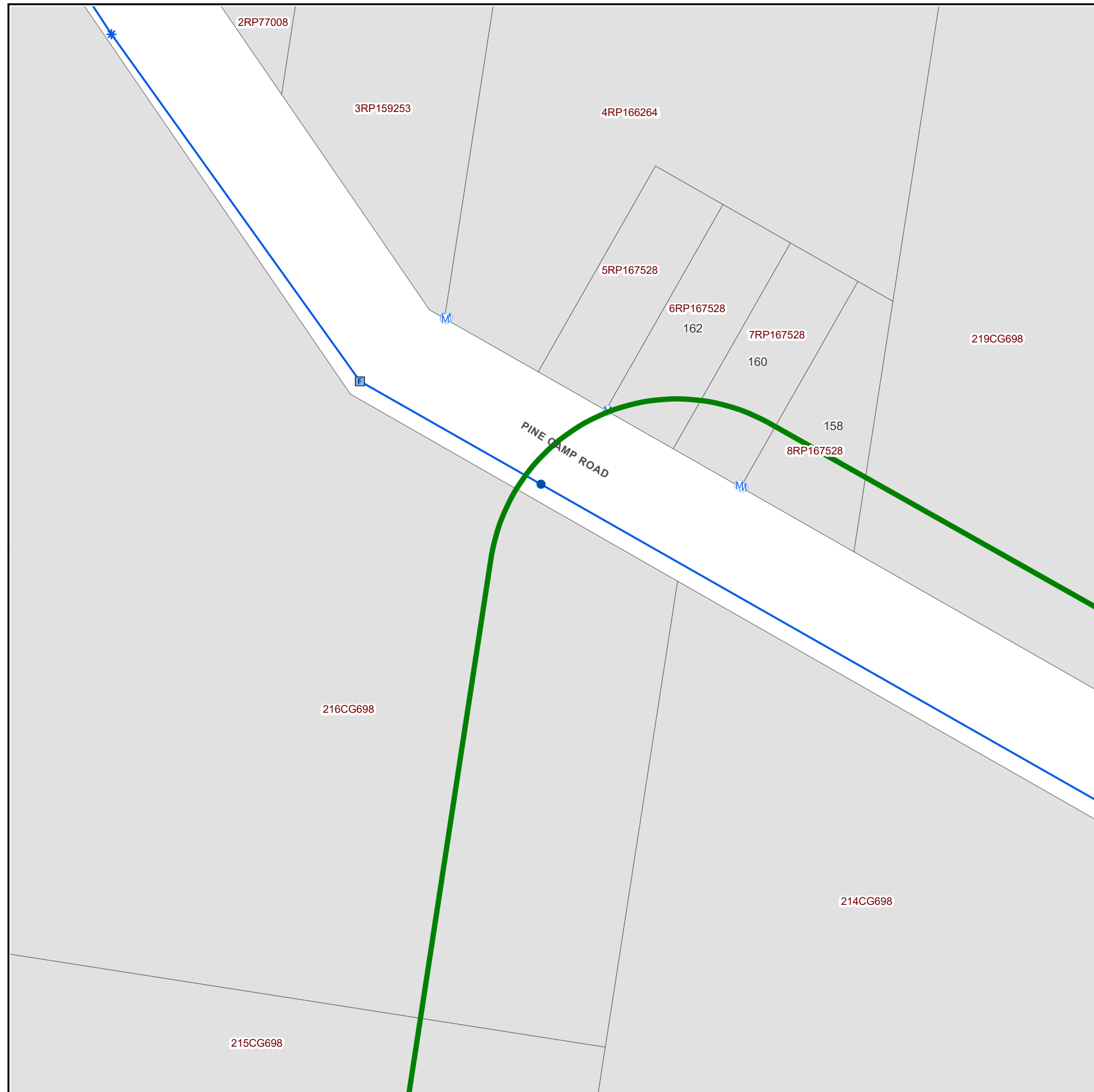
Inquiries: 1300 0 Unity (1300 086 489)

Email: dbyd@unitywater.com

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UNITYWATER DBYD MAP

Sequence Number: 91582704

Job Number: 18477109

Printed On: 29/10/2019

Emergency Situations

Call Unitywater:

1300 086 489

This information on this plan is valid for 30 days from "Printed On" date.

Legend

	Extent of Unitywater Area	Sewer Gravity Main
Water		Trunk Main
PS	Water Pump Station	Reticulation Main
M	Water Service	Overflow Main
*	Water Valve	Sewer Pipe (Abandoned)
	Water Pipe (Abandoned)	Sewer Pressure Main
●	Water Hydrant	Pressure Sewer
F	Water Fitting	Rising Main
Water Main		Vacuum Main
	Trunk Main	Pressure Sewer Service
	Reticulation Main	Sewer Service
Sewer		Recycled Water
PS	Sewer Pump Station	PS
●	Sewer Manhole	*
*	Sewer Valve	●
F	Sewer Fitting	F

Map Tile: 2
Scale: 1:1000
(If printed at 100%
on A3 size paper)



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UNITYWATER DBYD MAP

Sequence Number: 91582704

Job Number: 18477109

Printed On: 29/10/2019





























Emergency Situations

Call Unitywater:

1300 086 489

This information on this plan is valid for 30 days from "Printed On" date.

Legend

 Extent of Unitywater Area	Sewer Gravity Main
Water	 Trunk Main
 Water Pump Station	 Reticulation Main
 Water Service	 Overflow Main
 Water Valve	 Sewer Pipe (Abandoned)
 Water Pipe (Abandoned)	Sewer Pressure Main
 Water Hydrant	 Pressure Sewer
 Water Fitting	 Rising Main
Water Main	 Vacuum Main
 Trunk Main	 Pressure Sewer Service
 Reticulation Main	 Sewer Service
Sewer	Recycled Water
 Sewer Pump Station	 Recycled Water Pump Station
 Sewer Manhole	 Recycled Water Valve
 Sewer Valve	 Recycled Water Hydrant
 Sewer Fitting	 Recycled Water Fitting
	 Recycled Water Pipe (Abandoned)
	 Recycled Water Main

Map Tile: 3
Scale: 1:1000
(If printed at 100%
on A3 size paper)



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Caboolture QLD 4510

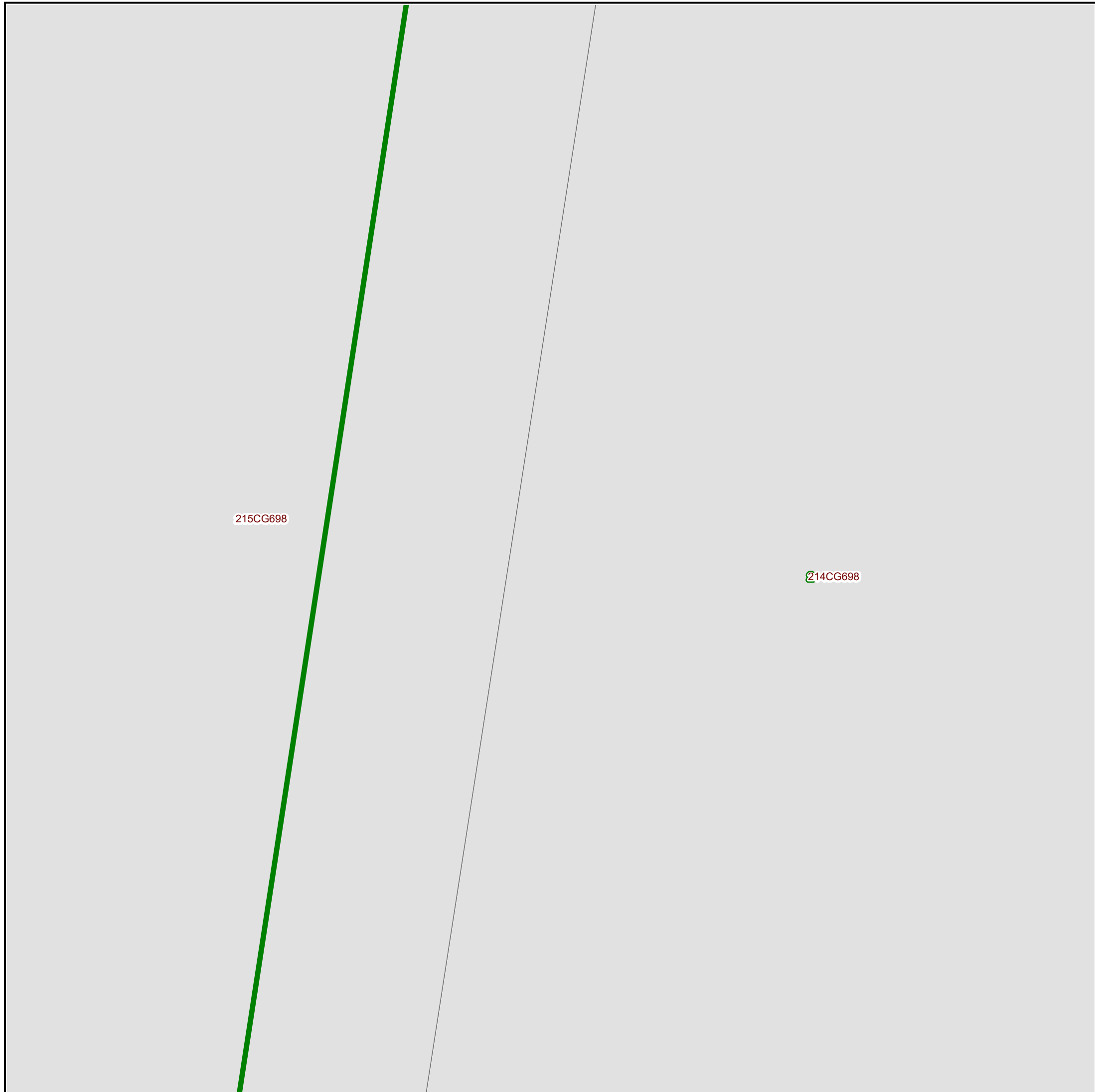
Inquiries: 1300 0 Unity (1300 086 489)

Email: dbyd@unitywater.com

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UNITYWATER DBYD MAP

Sequence Number: 91582704

Job Number: 18477109

Printed On: 29/10/2019

Emergency Situations
Call Unitywater:
1300 086 489

This information on this plan is valid
for 30 days from "Printed On" date.

Legend

	Extent of Unitywater Area		Sewer Gravity Main
Water			Trunk Main
	Water Pump Station		Reticulation Main
	Water Service		Overflow Main
	Water Valve		Sewer Pipe (Abandoned)
	Water Pipe (Abandoned)	Sewer Pressure Main	
	Water Hydrant		Pressure Sewer
	Water Fitting		Rising Main
Water Main			Vacuum Main
	Trunk Main		Pressure Sewer Service
	Reticulation Main		Sewer Service
Sewer		Recycled Water	
	Sewer Pump Station		Recycled Water Pump Station
	Sewer Manhole		Recycled Water Valve
	Sewer Valve		Recycled Water Hydrant
	Sewer Fitting		Recycled Water Fitting
			Recycled Water Pipe (Abandoned)
			Recycled Water Main

Map Tile: 4
Scale: 1:1000
(If printed at 100%
on A3 size paper)

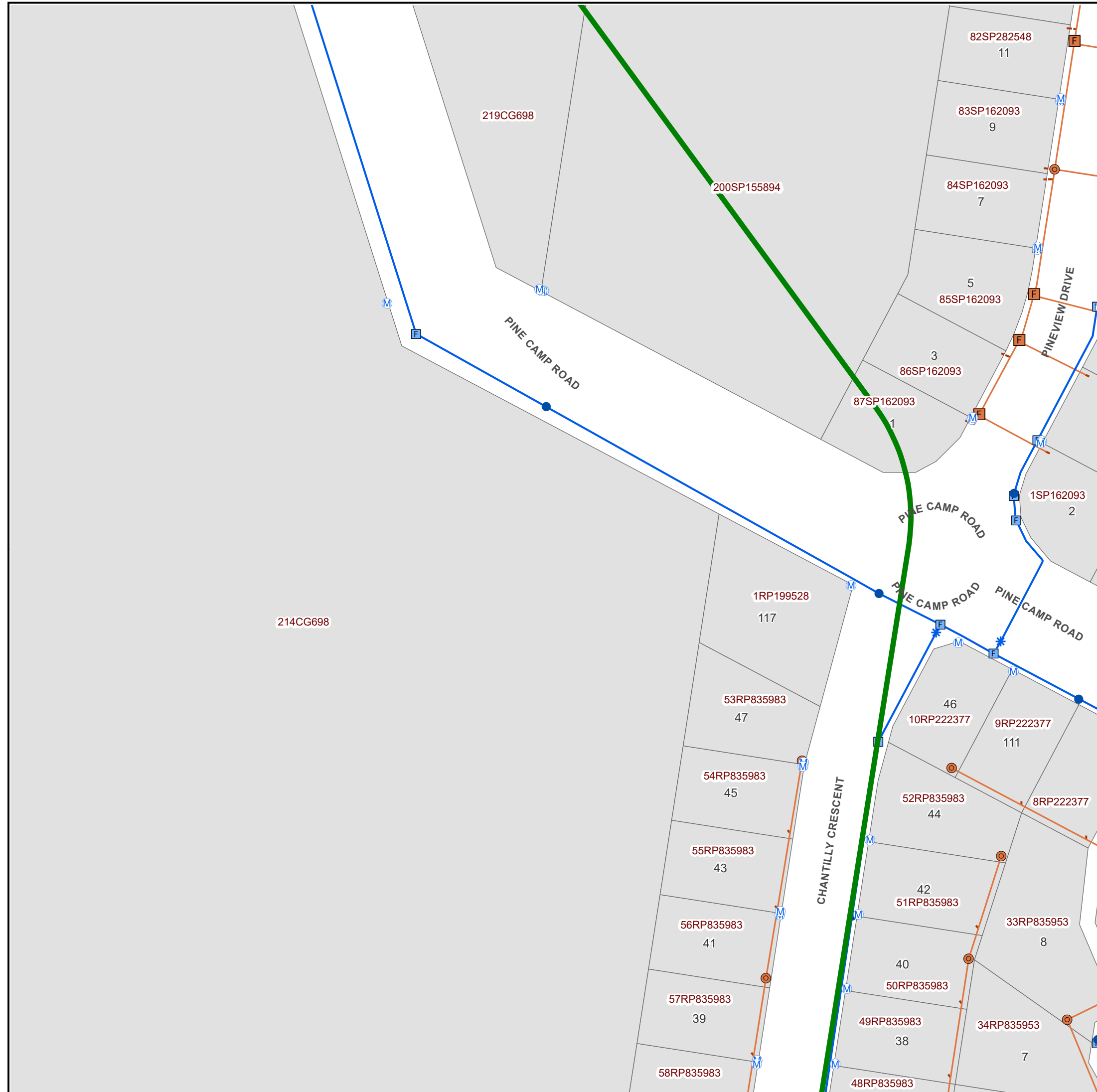


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UNITYWATER DBYD MAP

Sequence Number: 91582704

Job Number: 18477109

Printed On: 29/10/2019

Emergency Situations
Call Unitywater:
1300 086 489

This information on this plan is valid
for 30 days from "Printed On" date.

Legend

	Extent of Unitywater Area	Sewer Gravity Main
Water		Trunk Main
PS	Water Pump Station	Reticulation Main
M	Water Service	Overflow Main
*	Water Valve	Sewer Pipe (Abandoned)
	Water Pipe (Abandoned)	Sewer Pressure Main
●	Water Hydrant	Pressure Sewer
F	Water Fitting	Rising Main
Water Main		Vacuum Main
	Trunk Main	Pressure Sewer Service
	Reticulation Main	Sewer Service
Sewer		Recycled Water
PS	Sewer Pump Station	PS
●	Sewer Manhole	*
*	Sewer Valve	●
F	Sewer Fitting	F
		Recycled Water Pipe (Abandoned)
		Recycled Water Main

Map Tile: 5
Scale: 1:1000
(If printed at 100%
on A3 size paper)

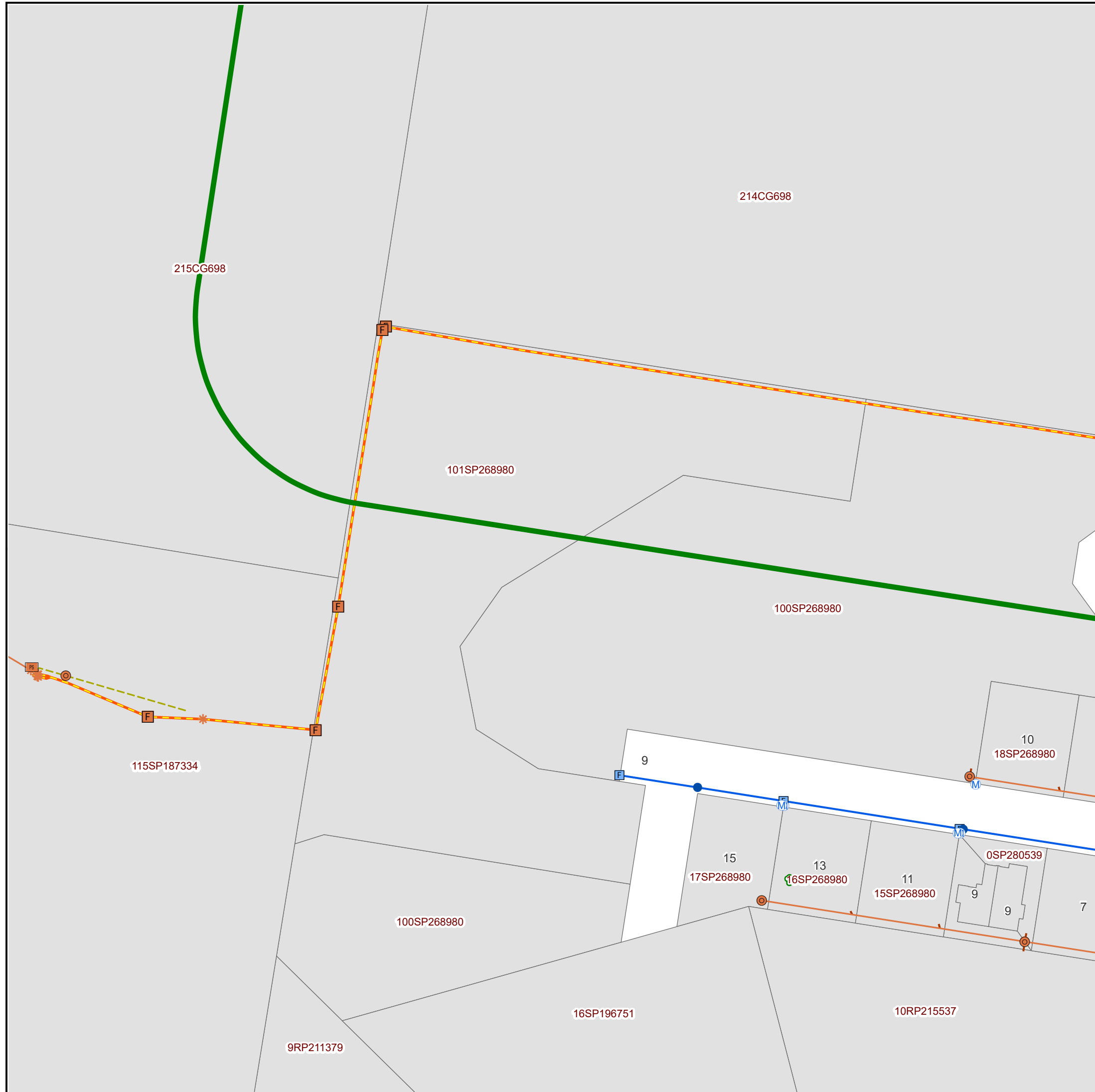


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ANNEXURE H

ENERGEX



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX EnerGISE DBYD map, then ENERGEX shall be contacted immediately.

For Emergency Situations
Please call 13 19 62




**EnerGISE
DBYD**

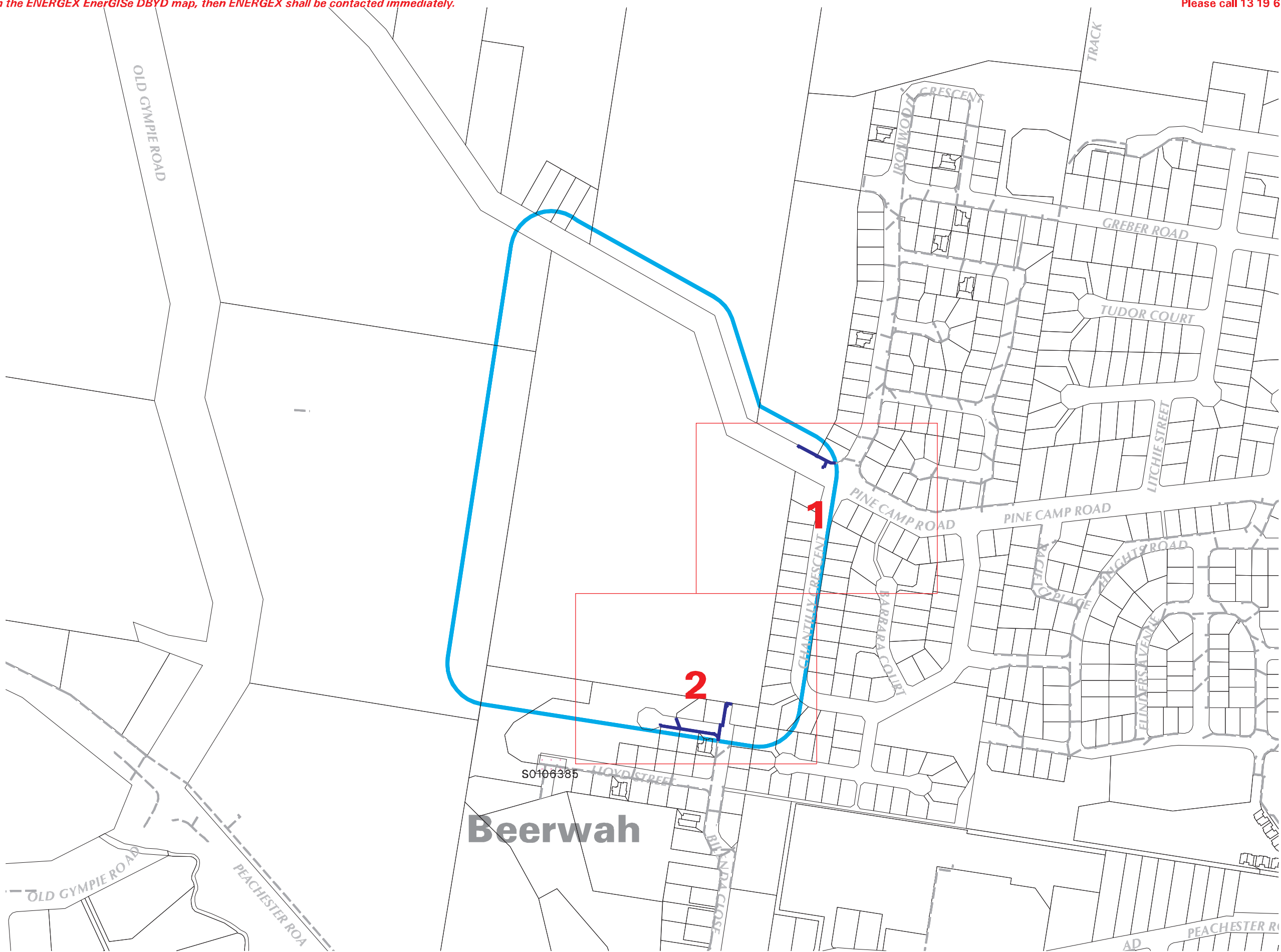
Date: 29 Oct 19 Time: 18.31.07
Requested By: DBYD

NOT TO SCALE



**Enquiry No: 91582702
KEY MAP**

 Enquiry Area



This output provides details of the ENERGEX electrical network. As variations may exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

UNCONTROLLED COPY

LOCALITY DIAGRAM



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGETX EnerGISE DBYD map, then ENERGETX shall be contacted immediately.

For Emergency Situations
Please call 13 19 62



**EnerGISE
DBYD**

Date: 29 Oct 19 Time: 18.31.19
Requested By: DBYD

SCALE 1:1000



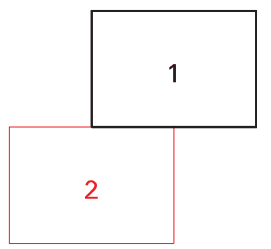
Enquiry No: 91582702

STRIP No: 1

- Ground Transformer
- Cubicle Transformer
- Ring Main Unit
- Metering Unit
- Link Pillar
- Service Pillar
- Junction Pillar
- Pit
- Cable Joint
- Cable Termination
- Cable Marker
- Street Light Pole
- Earth
- Planned Work labelled by Work Order
- Cable Voltage Less Than 33kV
- Cable Voltage 33kV or Higher
- Direct-Lay Cable
- Conduit
- Multi-Section Duct
- Trench
- Cable Tray
- Tunnel



INDEX TO SHEETS



LOCALITY DIAGRAM



This output provides details of the ENERGETX electrical network. As variations may exist no responsibility is incurred by ENERGETX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

UNCONTROLLED COPY

All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX EnerGISE DBYD map, then ENERGEX shall be contacted immediately.

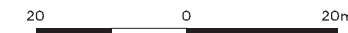
For Emergency Situations
Please call 13 19 62



**EnerGISE
DBYD**

Date: 29 Oct 19 Time: 18.31.36
Requested By: DBYD

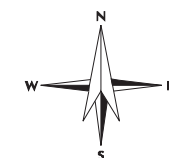
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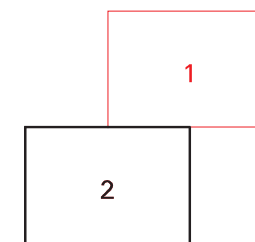
Enquiry No: 91582702

STRIP No: 2

- Ground Transformer
- Cubicle Transformer
- Ring Main Unit
- Metering Unit
- Link Pillar
- Service Pillar
- Junction Pillar
- Pit
- Cable Joint
- Cable Termination
- Cable Marker
- Street Light Pole
- Earth
- Planned Work labelled by Work Order
- Cable Voltage Less Than 33kV
- Cable Voltage 33kV or Higher
- Direct-Lay Cable
- Conduit
- Multi-Section Duct
- Trench
- Cable Tray
- Tunnel



INDEX TO SHEETS



LOCALITY DIAGRAM



This output provides details of the ENERGEX electrical network. As variations may exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

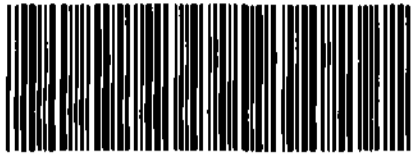
UNCONTROLLED COPY

ANNEXURE I

EASEMENT DOCUMENTS



H428133



601314933

MEMORANDUM OF ENCUMBRANCES, LIENS
AND INTERESTS

NC

H428133

EAS IN GROSS

REQUEST FOR REGISTRATION OF
PROCLAMATION

Particulars entered in the Register Book

Volume. ~~5255~~; ~~2282~~ Folio ~~42~~; ~~130~~.....

the day of

19 , at 10-5am

17 JUN 1985



Registrar of Titles

33206

50-000

#240
3

RECEIVED
REGR. OF TITLES
JUN 26 11 10 AM '84

THYNNE & MACARTNEY,
Solicitors,
S.G.I.O. Building,
Albert and Turbot Streets,
BRISBANE.

1-00

Handwritten initials/signature

To -

The Registrar of Titles,
BRISBANE.

24/10/84 R/N1416192

STAMP DUTIES OFFICE
1408828 37

D BRIS
1.00

Sir,

Please record this Resumption in terms of the within Proclamation under the "Electricity Act 1976-1982" and the "Acquisition of Land Act 1967-1977" of all those pieces or parcels of land described as follows :-

- (1) Easement A in Portion 212 as shown on Registered Plan No. 155784 County of Canning Parish of Bribie containing 1.417 hectares and being part of the land contained in Deed of Grant Volume 5255 Folio 42
- (2) Easement A in Portion 214 as shown on Registered Plan No. 154405 County of Canning Parish of Bribie containing 1.202 hectares and being part of the land contained in Deed of Grant Volume 2282 Folio 130

DATED this Twentyfourth day of October, 1984.

The South East Queensland Electricity Board
By its Solicitors

Handwritten signature

S.G.I.O. Building,
Albert and Turbot Streets,
BRISBANE.

1-50

22/10/84 R/M141198

D BRIS

STAMP DUTIES OFFICER

* 1408827 31

\$ 1.50

A PROCLAMATION

By His Excellency the Honourable Sir WALTER BENJAMIN CAMPBELL, Chief Justice of the State of Queensland and Administrator of the Government of the said State and its Dependencies in the Commonwealth of Australia.

[L.S.]

W. B. CAMPBELL,
Administrator.

IN pursuance of the powers and authorities in me vested under the provisions of the *Acquisition of Land Act 1967-1977*, 1, Sir WALTER BENJAMIN CAMPBELL, the Administrator of the Government aforesaid, acting by and with the advice of the Executive Council, do, by this my Proclamation, notify and declare that the Easements over the land described in the Schedule hereto are taken by and shall vest in The South East Queensland Electricity Board on and from the sixth day of October, 1984, for Electric line purposes and that the rights and obligations conferred and imposed by the said Easements shall include the following:—

A right of way or Easement to permit and allow The South East Queensland Electricity Board (hereinafter called "the Board") at all times hereafter full and free liberty and right to convey electricity over and across the said land in accordance with the *Electricity Act 1976-1982* (or any Act or Acts amending or in substitution for the same) by means of electric lines with full power to the Board its employees and others authorised by the Board to:—

1.—

- (a) construct and erect on, in or through the said land the electric lines hereinbefore described (as shall be required for so conveying, distributing and transforming electricity);
- (b) inspect, maintain, repair and replace such electric lines;
- (c) remove and carry away at any time the whole or any part or parts of such electric lines.

2. Construct and erect additional or further electric lines and/or reconstruct the existing electric lines and for such purposes to erect on, in or through the said land such further or new electric lines as the Board shall require or consider necessary.

3. Clear and keep clear the said land by any means or method and to cut and remove timber, trees and undergrowth from the said land and to burn off on the said land such timber, trees and undergrowth.

4. Construct and maintain such access tracks, gates and appurtenant works as the Board shall consider necessary on the said land.

5. Permit and allow structures or buildings now located on the said land to remain but to prevent the making or causing to be made any alterations or additions to such structures or buildings affecting their overall dimensions without the prior approval in writing of the Board.

6. Permit and allow the replacement of existing structures and buildings on the said land with the prior approval in writing of the Board.

7. Permit and allow the erection of any additional structures and buildings on the said land with the prior approval in writing of the Board and subject to statutory electrical clearances being maintained.

8. Permit the use of the said land for any purpose not inconsistent with the rights previously mentioned hereby granted to the Board and not likely to cause interference with or endanger the Board's electric lines, access tracks and appurtenant works.

9. Enter upon and remain, pass and repass on and over the said land for all or any of the purposes aforesaid and with or without vehicles, plant and equipment of any description.

10. Prevent:—

- (a) the erection of any buildings or structures (other than fences) on the said land without the prior approval in writing of the Board;
- (b) any person or persons from residing in or occupying any caravan or caravans, demountable or demountables, which may be parked or located on the said land under the electric lines;
- (c) the removal or stockpiling of any soil, sand, gravel, other substance or material on the said land or the construction of any roads, dam walls or other earthworks on the said land which would in any way reduce below the statutory requirement the height of conductors above ground level;
- (d) the removal or stockpiling of any soil, gravel or other substance within a distance of five (5) metres from the base of any pole, ground stay or structure on or in the said land;
- (e) the inundation of the said land where any poles, ground stays or structures are erected or located;
- (f) the inundation of the said land which would in any way reduce the height of the conductors below the statutory requirement;
- (g) the growing of sugarcane on the said land without the prior approval in writing of the Board.

L.A.B. 3893/3.

Given under my Hand and Seal at Government House, Brisbane, this fourth day of October, in the year of our Lord one thousand nine hundred and eighty-four, and in the thirty-third year of Her Majesty's reign.

By Command, W. H. GLASSON.
GOD SAVE THE QUEEN!

THE SCHEDULE

THE BRISBANE LAND AGENT'S DISTRICT
Constructing Authority.—The South East Queensland Electricity Board
Easements Taken

County of Canning, parish of Bribie

Easement A in portion 212, on plan 155784, being a plan intended for registration in the Office of the Registrar of Titles, Brisbane, containing an area of 1.417 hectares and being part of the land contained in Deed of Grant, volume 5255, folio 42.

Easement A in portion 214, on plan 154405, being a plan intended for registration in the Office of the Registrar of Titles, Brisbane, containing an area of 1.202 hectares and being part of the land contained in Deed of Grant, volume 2282, folio 130.

IMAGED FROM MICROFILM

BACKING SHEET

K213962P \$72.00

16 MAR 1990 1:37 PM

5500 EASEMENT

CO REC 17 9:45 '90

UL 20 14:18

CORRESPONDENCE NUMBER REQUISITIONS

Stamp: 1. SHOW FEE, 2. PROVISION FEE, 3. POSTAGE FEE, 11.1990, Paid with this, Letter No.

Handwritten: You see it should be lodged of 11/1/90 (11/5/90)

Received 1 dec. 228.2 - 150.

Handwritten: Colwell Wright & Solicitors for Mortgagee

INSTRUCTIONS FOR COMPLETION (FORM 10)

- 1. Document attracts stamp duty. 2. Typewriting and handwriting should be clear, legible and in permanent dense black ink. 3. Deformations for the purpose of affixing cheques are not to be made by pressure or painting over. Items to be deleted are to be ruled through and all alterations are to be initialed by the parties to the document. 4. All panels are to be completed or ruled up, if insufficient space attach separate FORM 32. The panel should then only contain the words "See Annexure A" inserting appropriate letter. 5. Witnesses must be qualified in accordance with the Real Property Act 1861-1985 (s 812). 6. The following instructions relate to the corresponding side notes on the form. Item (1) (a) If the grantee is a body corporate of a Building Units/Group Titles Plan then insert a - "The Proprietors (name) Registered Building Units Plan No. for and on behalf of the registered proprietors". (b) If the grantee holds in trust or as a personal representative, then the trust should be identified, e.g. "as Trustee under Memorandum of Trusts No. "as personal representative of the estate of deceased". Item (2) Insert a.g. "See sample". "Lands No.". Item (3) Insert a.g. "as joint tenants", "as tenants in common in equal shares", (if in unequal shares then show each share as a fraction). Item (4) (a) If the grantee is a body corporate of a Building Units/Group Titles Plan then insert a - "The Proprietors (name) Registered Building Units Plan No. for and on behalf of the registered proprietors". (b) If the grantee holds in trust or as a personal representative, then the trust should be identified, e.g. "as Trustee under Memorandum of Trusts No. "as personal representative of the estate of deceased". Item (5) See instruction for Item (2) above. Item (6) See instructions for Item (3) above. Item (8) (a) State only the type of document and drawing number of any prior mortgages, encumbrances, etc. encumbering the grantor's estate or interest in the land, which encumbers the instrument. (b) If the instrument is over certain property under a Building Units/Group Titles plan then any interests encumbering the common property should also be included. (c) If more than one "all". Item (10) The description should include "Lot on R.P." If the land on the instrument of sale is previously described by an historic description, e.g. "Subdivision of Kamburra etc.", then unless the Registrar has been advised that the description has been converted to "Lot on R.P." the historic description should be inserted in full. Item (11) Insert a.g. "right of way", "drainage". Item (12) (a) Schedule should include the rights, liabilities and other covenants. (b) Covenants may be added to or excluded from the registered Memorandum by means of the Schedule. Item (14) (a) If the instrument is executed by a corporation or other body other than by its attorney, then its seal should be affixed thereto with a certificate that such seal as affixed by the proper officer is valid by his/her signature. The full names of the signatories and their designations should be shown. (b) If an attorney executes the document then the full name of the attorney and the source of the attorney's authority should be shown e.g. "All by his duly constituted Attorney XY under Power of Attorney No. The attorney's signature should then follow. Item (15) The document should be executed in the presence of a qualified witness. (See instruction 3 above). Item (16) If a corporation or other body, then Item (14) above will apply. 7. The following should be deposited with the document. (a) the relevant in - terms of title (b) if the estate or interest of grantor or grantee is held under a Memorandum of Trusts, the duplicate Memorandum of Trusts. (c) if the grantor/grantee is a body corporate of a Building Units Group Titles Plan, FORM 15 of the Building Units and Group Titles Regulations 1990.

GRANT OF EASEMENT

ENTERED IN THE REGISTER BOOK

VOLUME 7080 2252 FOLIO 227

AT 11:59 AM/PM 11 JUL 1990 REGISTRAR IN TITLE

ICODE m \$72 10/9/90

30

Vol. 7080 Fol. 227



601314934

K213962P

EASEMENT

Form with fields: LODGED BY (R.J. Tiffin), ADDRESS (C/O R. J. Tiffin, Trevor Gilliland), CERTIFICATE OF TITLE, DEED OR GRANT, DECLARATION, RECEIPT NOTATIONS, ITEM RECEIVED, FIRM NAME, PER, AUTHORITY, DATE, ITEMS ORDERED BY NONE, FORWARDED TO LORIMER FOR THIS DOCUMENT ON

SCHEDULE

*Insert type
of instrument

This is the Schedule referred to in GRANT OF EASEMENT dated the 12th
day of February 1990

Item
(12)

COVENANTS - NIL

GRANT OF EASEMENT

GRANTOR (of name) (1) **MONICA ESTELLE SMITH** ✓

ESTATE OR INTEREST BEING GRANTED (2) **fee simple** ✓

HOW ESTATE OR INTEREST BEING GRANTED IS HELD (3) _____

GRANTEE (4) **MONICA ESTELLE SMITH** ✓

ESTATE OR INTEREST BEING GRANTED (5) **fee simple** ✓

HOW ESTATE OR INTEREST BEING GRANTED IS HELD (6) _____

DESCRIPTION OF SERVIENT TENEMENT (7)

Volume	Folio	County	Parish	Description
*PART OF				Corrected 22.3.91
7080	227	Canning	Bribie	EASEMENT in C in LOT 11 on R.P. 215537 on R.P. 803351 on R. P. 803351

MORTGAGES, ENCUMBRANCES, ETC. (8) **Easement No. H428133** ✓

CONSIDERATION (9) **ONE DOLLAR**

DESCRIPTION OF DOMINANT TENEMENT (10)

Volume	Folio	County	Parish	Description
7080	227	Canning	Bribie	Lot 11 on R.P. 215537
215537	120			Portion 214

SHORT GENERAL DESCRIPTION OF PURPOSE OF EASEMENT (11) **WATER SUPPLY PIPELINE** ✓

(12) **THE GRANTOR FOR THE ABOVE CONSIDERATION HEREBY GRANTS TO THE GRANTEE THE EASEMENT HEREIN DESCRIBED AND THE GRANTOR AND THE GRANTEE HEREBY COVENANT WITH EACH OTHER IN TERMS OF THE SCHEDULE HERETO AND MEMORANDUMS AND THE GRANTOR AND THE GRANTEE HEREBY COVENANT WITH EACH OTHER IN TERMS OF THE SCHEDULE HERETO**

(13) SIGNED THIS 12th DAY OF January 1990

(14) BY GRANTOR (signature) Monica R. Smith

(15) IN MY PRESENCE (signature) [Signature]
 A Justice of the Peace

(16) ACCEPTED BY GRANTEE (signature) Monica R. Smith

CERTIFIED CORRECT FOR THE PURPOSE OF REGISTRATION BY -

GRANTEE (signature) _____

OR

Notary SOLICITOR (signature) THOMAS GEORGE GILLIARD

NOTE: If the servient tenement is subject to a bill of mortgage/encumbrance, lease etc., then the content of the mortgage/encumbrance/lease etc. should be completed in FORM 39 and securely bound into this document.

MATTHEW FRITZSCHE

M: 0410 435 891

E matthew.f@raywhite.com

RAY WHITE SPECIAL PROJECTS QLD