Note:

As per Planning Permit No. KP-678/2014 condition 1g), that the said proposed approved development, be built & developed in accordance with all mandatory requirements of the approved Environmental Sustainable Design Report prepared by "Lid Consulting" dated 13.03.2015.

AREA ANALYSIS: NO. 15

TOTAL SITE AREA = 1995.10 SQ M PROPOSED WEAREHOUSE/STORES/ MEZZANINE :

TOTAL STORE 1 - 9 = 782.60 SQ M WAREHOUSE 1 = 179.00 SQ M FIRST FLOOR MEZZ. = 81.30 SQ M

TOTAL BUILD. AREA = 1042.90 SQ M.
SITE COVERAGE = 52.30%

CARPARK ANALYSIS

WAREHOUSE 1 / MEZZ. : 218.30m2 (191.00 m2 net - minus loading bay 27.40m2)

Carspaces Required for warehouses 1. 2 cars per tenancy + 1.5 x 191.00/100m2 = 4.90 4 Cars

STORE/MEZZANINE : 824.60m2 (<u>560.40</u>m2 net - minus loading bays + stair voids 264.20m2)

Carspaces Required for Stores 1 - 9 10% of the Site area considered applicable to the store use: 173.20m2 / 21.10m2 = 8 Cars.

TOTAL CARSPACE REQUIRED: 11
TOTAL CARSPACE PROVIDED: 16

Allocation of Carspaces provided on site Warehouse/Mezz. 1: 4 Carspaces Store/Mezzanine 1 - 9: 1 Carspace each Visitor's Space: 2 carspaces

* Refer to Traffic report completed by

O'Brien Traffic for detailed justification.

LEGEND:

HATCH DENOTES ALL WEATHER SEALED CONCRETE
PATTERN PAVED PATHS WITH "CHARCOAL" COLOR
FINISH.

DENOTES SIGNAGE.SIGNAGE TO HAVE FOLLOWING: "ALL VEHICLES MUST EXIT IN A FORWARD FACING DIRECTION.

__ DENOTES WALL MOUNTED 100W FLUORESCENT SECURITY LIGHT FITTING.

F.F.L. 00.00 FINISHED FLOOR LEVEL

EXTERNAL LIGHTING

STORMWATER DRAINAGE TO CONNECT TO LEGAL POINT OF DISCHARGE TO LOCAL AUTHORITY

STORMWATER DRAINAGE TO LOCAL AUTHORITY

STORMWATER DRAINAGE TO LOCAL AUTHORITY

AREA FOR WASTE BIN/REFU

BICYCLE RACKS TO BE PROVIDED TO EACH STORE BR.

T Location of External Taps

A. STORMWATER DRAINAGE.

A.1 CONNECT TO EXISTING

CONNECT INTO EXISTING STORMWATER DRAINAGE SYSTEM.

CARRY OUT THE EXCAVATION NECESSARY TO LOCATE AND EXPOSE THE CONNECTION POINT. ON COMPLETION REINSTATE THE SURFACES AND ELEMENTS WHICH HAVE BEEN DISTURBED SUCH AS ROADS, PAVEMENTS, KERBS, FOOTPATHS AND NATURE STRIPS.

A.2 STORMWATER DRAINS

INSTALL THE STORMWATER DRAINS NECESSARY TO CONNECT DOWNPIPES, SURFACE DRAINS, SUBSOIL DRAINS AND STORMWATER AND INLET PITS TO THE OUTLET POINT OR POINT OF CONNECTION.

LAY PIPELINES TO REQUIRED LEVELS AND GRADIENTS WITH THE SPIGOT ENDS IN THE DIRECTION OF FLOW. KEEP THE NUMBER OF JOINTS TO A MINIMUM.

WHERE LENGTHS OF STORMWATER DRAIN ARE NOT ACCESSIBLE FROM PITS, PROVIDE INSPECTION OPENINGS WITH COVERS AT BENDS AND JUNCTIONS AND CHANGES OF GRADE.

PROVIDE ANCHOR BLOCKS WHERE NEEDED TO RESTRAIN LATERAL MOVEMENT OF THE PIPELINES AT JUNCTIONS AND CHANGES OF DIRECTION.

TURN UP THE DRAIN BRANCH PIPELINE WITH A SUITABLE BEND TO MEET THE DOWNPIPE, TO FINISH 50MM ABOVE FINISHED GROUND OR PAVEMENT LEVEL.

DURING CONSTRUCTION PROVIDE TEMPORARY COVERS TO OPENINGS AND KEEP THE PIPELINE FREE OF DEBRIS. ON COMPLETION FLUSH THE PIPELINES WITH WATER AND LEAVE THEM CLEAN.

B. SITEWORKS.

B.1 QUALITY/INSPECTIONS/TESTING

B.1.1 PROOF ROLLING
PROOF ROLL THE ENTIRE EXTENT OF THE BUILDING

AND PAVEMENT AREAS TO DETERMINE THE EXTENT IF ANY OF BAD GROUND.

CARRY OUT PROOF ROLLING IN THE PRESENCE OF

THE PROJECT OR GEOTECHNICAL ENGINEER OR SITE MANAGER WHERE NECESSARY.

OBTAIN A 'CERTIFICATE OF INSPECTION' (IF BY PROJECT OR GEOTECHNICAL ENGINEER) WHICH IDENTIFIES THE AREA PROOF ROLLED AND THE RESULTS OF THE PROOF ROLLING INCLUDING ANY IDENTIFIED SOFT SPOTS OR BAD GROUND.

PROOF ROLL ANY IDENTIFIED AREAS AFTER RECTIFICATION AND SUBMIT THE CERTIFICATE AS ABOVE.

B.1.2 <u>INSITU COMPACTION DENSITY</u> TESTING

PROVIDE INDEPENDENT N.A.T.A. APPROVED TESTING TO ALL AREAS OF FILL WHICH WILL SUPPORT NON-SPANNING CONCRETE GROUND SLABS, ROADS, PAVED AREAS.

TESTING FREQUENCY TO BE NOT LESS THAN ONE TEST PER LAYER PER 1000M/2. DISTRIBUTE TESTING EVENLY THROUGHOUT THE FILL TO LOCATIONS AS DIRECTED BY THE PROJECT OR GEOTECHNICAL ENGINEER AND/OR SITE MANAGER.

B.2 TOP SOIL CLEARANCE

STRIP TOP SOIL AFTER REMOVAL OF VEGETATION AND REMOVE FROM SITE. WHERE REQUESTED STOCKPILE ON SITE FOR FUTURE USE IN LANDSCAPING AND MOUNDING.

B.3 SPOIL -SITE WORKS
STRIP/EXCAVATE SURPLUS STRUCTURAL
MATERIAL AND REMOVE OFF SITE.

B.4 TREE PROTECTION

IDENTIFY AND ENSURE PROTECTION OF 'NOMINATED TO REMAIN TREES.' ALL TREES NOT IDENTIFIED FOR PROTECTION ARE TO BE REMOVED FROM SITE INCLUDING GRUB OUT STUMP AND ROOTS GREATER THAN 50MM DIAMETER.

B.5 <u>SITE RESTORATION</u>

RESTORE EXISTING GROUND SURFACES TO CONDITION PRIOR TO COMMENCEMENT OF WORKS.

B.6 GRADING SURROUNDING AREAS

GRADE ALL AREAS TO GIVE FALL AWAY FROM BUILDINGS, MINIMUM 1 IN 100 OR AS DIRECTED BY THE CONTRACTOR.

GRADE ALL AREAS, CUT DRAINAGE SWALES, TO PREVENT PONDING OF WATER.

DRAINAGE. C. MECHANICAL, HVAC.

C.1 MECHANICAL VENTILATION TO SHOP/AMENITIES

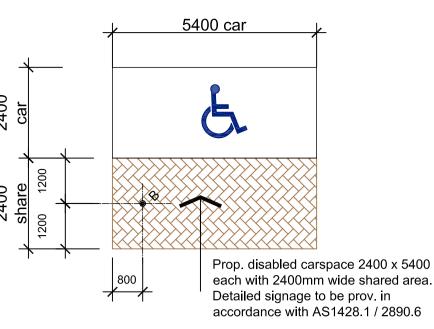
PROVIDE VENTILATION TO CONFORM TO BCA AND TO REQUIREMENTS OF AS1668.2 TO ALL AMENITIES/OFFICE AREAS.

NOTE:

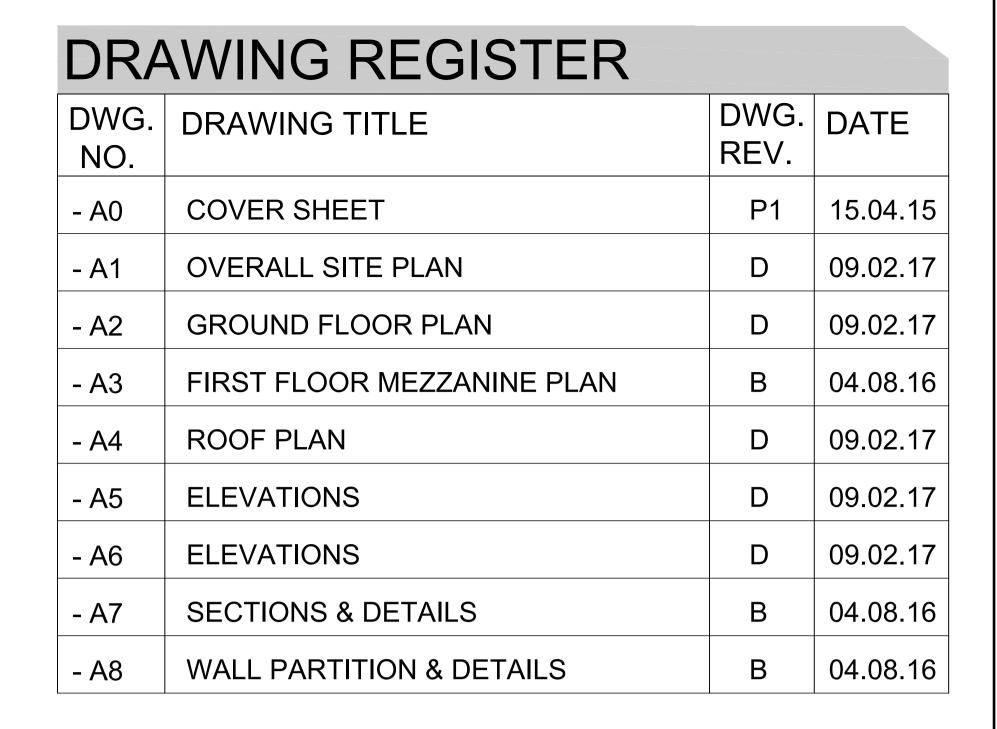
ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS AS PREPARED J.LIAPIS & ASSOCIATES ENGINEERS.

NOTE:

ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH CIVIL DESIGN DRAWINGS AS PREPARED J. LIAPIS & ASSOCIATES ENGINEERS.



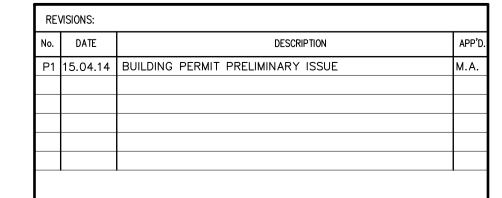
Disabled Car Space Layout



CONSTRUCTION ISSUE

TO BE USED FOR CONSTRUCTION PURPOSES

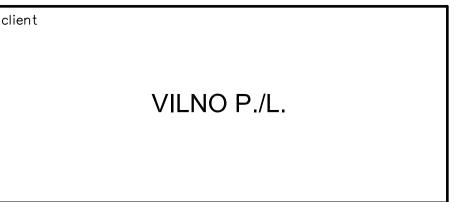
PROPOSED STORE DEVELOPMENT AT: NO. 15 SULLIVAN STREET, MOORABBIN PROJECT NO. :131022



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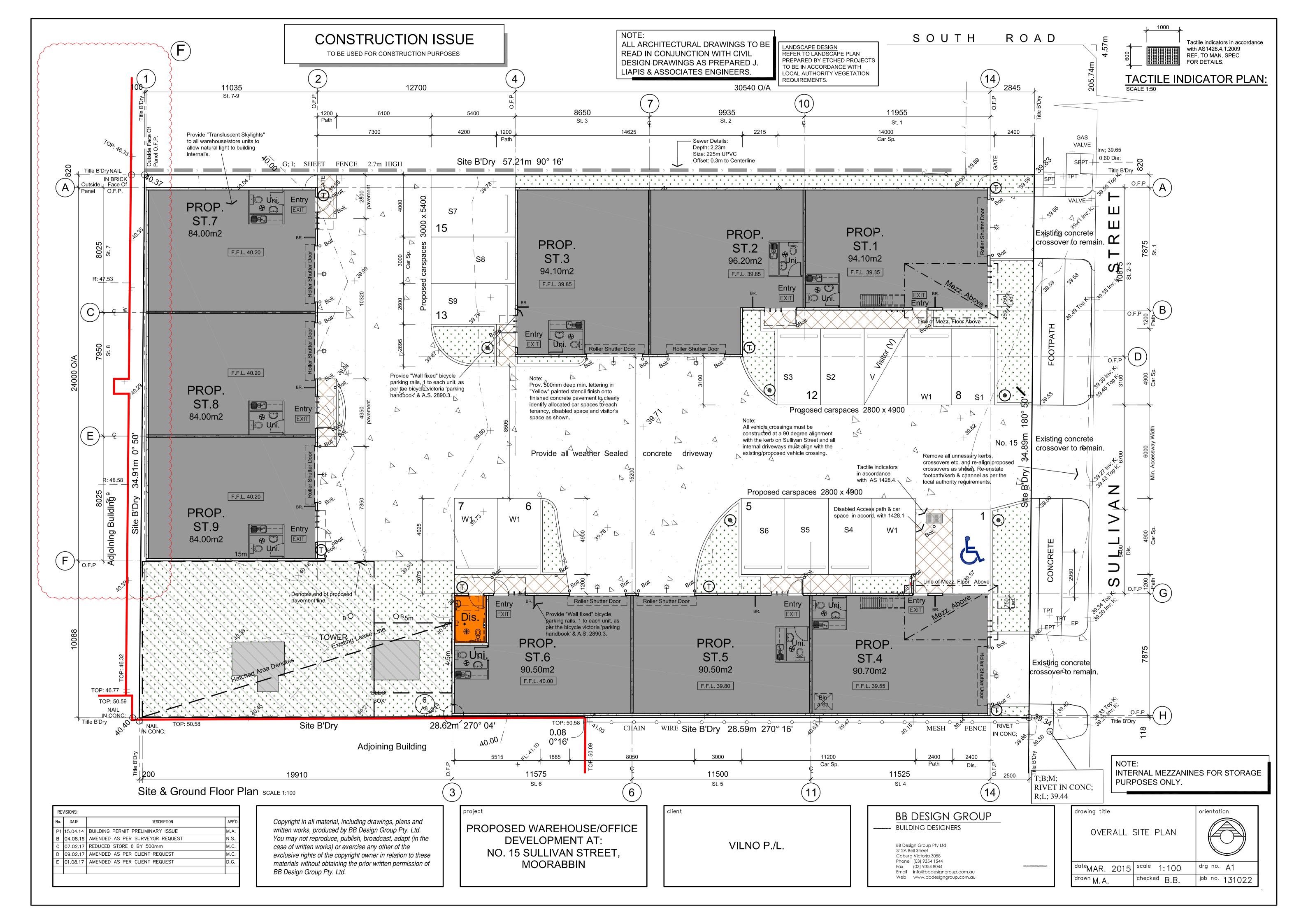
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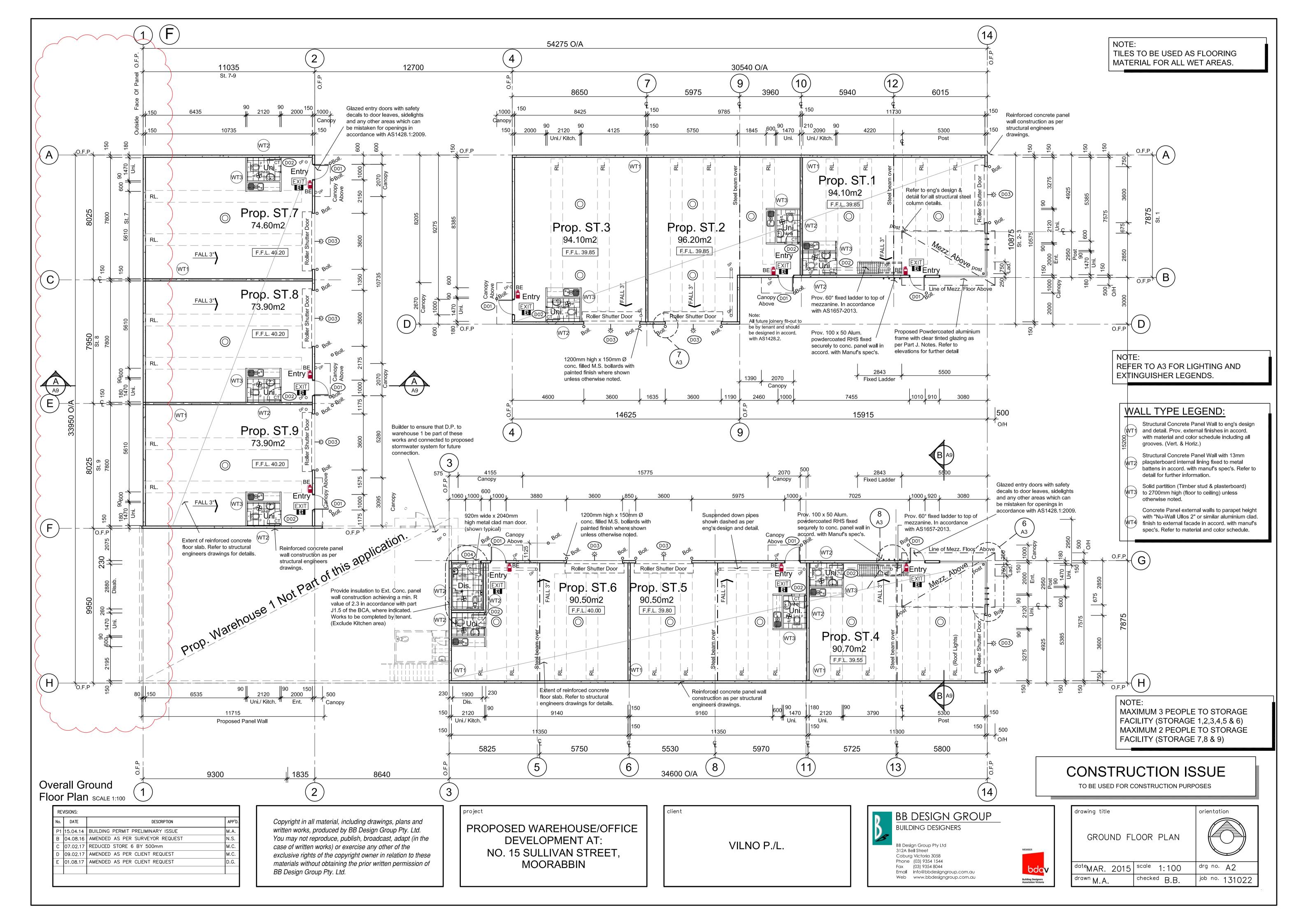
PROPOSED WAREHOUSE/OFFICE DEVELOPMENT AT: NO. 15 SULLIVAN STREET, MOORABBIN





drawing title	orientation	
COVER		
^{date} MAR. 2015	scale 1:100	drg no. AO
^{drawn} M.A.	checked B.B.	job no. 131022





SYMBOL LEGEND

DP=DOWNPIPE SP=DOWNPIPE SUMP LOCATION CT=CERAMIC TILES **FW=FLOOR WASTE** RH=ROLL HOLDER (TOILET PAPER) HD=AUTOMATED HAND DRYER EF=MECHANICAL EXHAUST FAN S=STAINLESS STEEL 1.5 BOWL SINK WHB=WALL HUNG BASIN

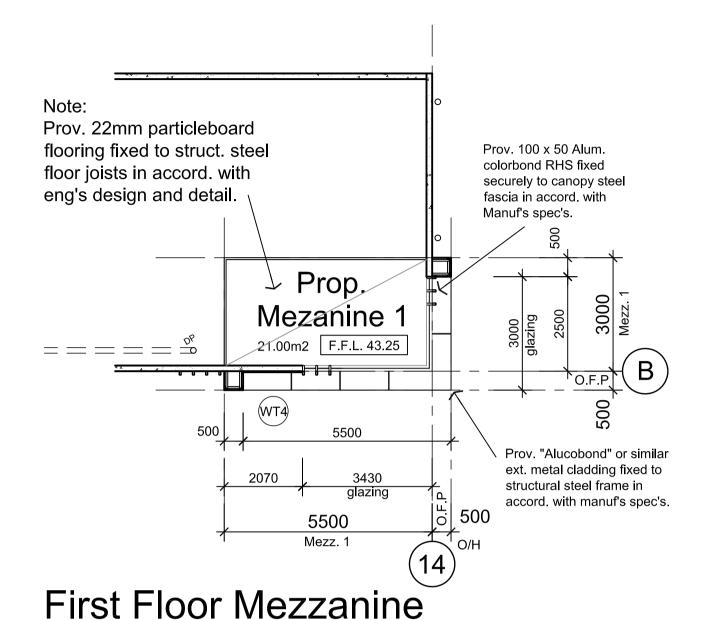
B=BOLLARDS

SCALE 1:100

ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS AS PREPARED J.LIAPIS & ASSOCIATES ENGINEERS.

NOTE:

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Store 1

NOTE: PURPOSES ONLY.

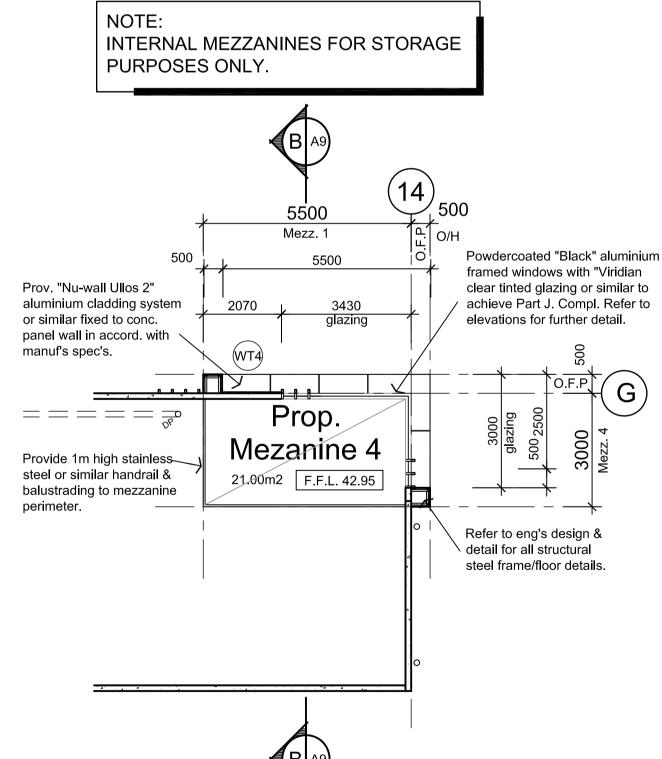
First Floor Mezzanine

1 15.04.14 BUILDING PERMIT PRELIMINARY ISSUE

B 04.08.16 AMENDED AS PER SURVEYOR REQUEST

SCALE 1:100

REVISIONS:



GENERAL NOTES FOR **BCA SECTION J COMPLIANCE:**

J1. BUIDING FABRIC.

OF SERVICES OR FITTINGS.

NO HEATING OR COOLING IS PROPOSED FOR ANY OF THE STORE SPACES. THEREFORE, BUILDING FABRIC INSULATION NOT REQUIRED.

(NOTE: FUTURE, BUT NO PART OF THIS PERMIT, THEN THE FOLLOWING SHOULD APPLY:

INSULATION TO COMPLY WITH AS4859.1 AND BE **INSTALLED THAT:**

OVERLAPS ADJOINING INSULATION FORMS CONTINIUOS BARRIER WITH CEILING, WALLS, **BULKHEADS FLOORS AND THE LIKE** DOES NOT AFFECT THE SAFE EFFECTIVE OPERATION

REFLECTIVE INSULATION MUST BE CLOSE FITTING AGAINST ANY PENETRATION, DOOR OR WINDOW AND

BULK INSULATION IN ROOF SPACE MUST BE INSTALLED TO MAINTAIN ITS POSITION AND

FITTED WITH "ULTRA 50 FOIL BOARD INSULATION" OR SIMILAR INSULATION TO ACHEIVE MIN R2.3 VALUE IN ACCORDANCE WITH PART J1.5 OF BCA. TO BE FITTED TO PRE-CAST CONCRETE PANEL WALLS IN ACCORD. WITH MANUFACTURES SPECIFICATION.)

ALL PROPOSED ROOF LIGHTS TO STORES TO COMPLY WITH PART J1.4 AND PROVIDE A MINIMUM U-VALUE OF 1.3w/m2 AND SHGC OF .25 (REFER TO MANUFACTURES SPECIFICATION.)

PROVIDE 6.00MM SINGLE LEAF NEUTRAL GLAZING "VIRIDIAN SOLTECH NEUTRAL 54 (#2)" TO PROVIDE U VALUE 3.7 AND SHGC VALUE 0..53 OR SIMILAR APPROVED IN ACCORDANCE WITH AS1288-1999 AND

J3. BUILDING SEALING

ALL WINDOWS TO COMPLY WITH AS 2047.

ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENINGS SUCH AS A WINDOW, DOOR OR THE THE LIKE IN ALL CONDITIONED SPACES.

SELF CLOSING DEVICE TO MAIN ENTRANCE DOORS IF MANUALLY OPERATED. PROVIDE RUBBER COMPRESSIBLE STRIP SEALS OR SIMILAR TO ENTIRE PERIMETER OF DOOR FRAMES EXCLUDING FIRE OR SMOKE DOORS.

ALL EXHAUST FANS SHALL BE FITTED WITH SELF CLOSING DAMPER OR SIMILAR APPROVED.

J4. AIR MOVEMENT

NOT APPLICABLE J5. HVAC SYSTEMS.

ARTIFICIAL LIGHTING AND POWER SYSTEMS TO COMPLY WITH PART J6 OF THE BCA 2014 ELECTRICAL ENGINEER/CONTRACTOR TO PROVIDE BUILDING SURVEYOR WITH

NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH J6.1-6.6 AND SPECIFICATION J6 OF THE BCA.

J8. ACCESS FOR MAINTENANCE

EQUIPMENT AND COMPONENTS THAT REQUIRE MAINTENANCE IN ACCORDANCE WITH J8.0-8.2 OF THE BCA.

GENERAL NOTES:

REFERRED TO THEREIN.

CLARIFICATION.

SCALE.

ALL MATERIALS AND WORK PRACTICES SHALL

REGULATIONS 2006, THE BUILDING CODE OF

AUSTRALIAN STANDARDS (AS AMENDED)

AUSTRALIA 2014 AND ALL RELEVANT CURRENT

THE BUILDER AND SUBCONTRACTORS SHALL

LEVELS AND SPECIFICATIONS AND ALL OTHER

COMMENCEMENT OF ANY WORKS, REPORT ALL

ALL DIMENSIONS TO BE TAKEN IN PREFERENCE TO

ENSURE THAT ALL STORMWATER DRAINS, SEWER

RELEVANT DOCUMENTATION PRIOR TO THE

THE BUILDER AND SUBCONTRACTOR SHALL

SUFFICIENT DISTANCE FROM ANY BUILDINGS

FOOTING AND/OR SLAB EDGE BEAMS SO AS TO

PREVENT GENERAL MOISTURE PENETRATION,

DAMPNESS, WEAKENING AND UNDERMINING OF

THE BUILDER SHALL TAKE ALL STEPS NECESSARY

TO ENSURE THE STABILITY AND GENERAL WATER

ANY BUILDING AND ITS FOOTING SYSTEM.

TIGHTNESS OF ALL NEW AND/OR EXISTING

POINT OF DISCHARGE TO THE RELEVANT

ALL STORMWATER TO BE TAKEN TO THE LEGAL

INSTALLATION OF ALL SERVICES SHALL COMPLY

CONJUNCTION WITH ALL RELEVANT STRUCTURAL

WRITTEN INSTRUCTIONS ISSUED IN THE COURSE

LIGHT SWITCHES, DOOR HANDLES ETC. TO ALL

DOORS/WALLS TO BE LOCATED BETWEEN 900MM

WEATHERPROOFING OF ROOFS AND WALLS TO

ALL WET AREAS, FLOOR, WALLS ETC., TO BE IN

MECHANICAL VENTILATION

FIRE HAZARD PROPERTIES

(a) A CRITICAL RADIANT FLUX NOT LESS THAN THAT

(b) IN A BUILDING NOT PROTECTED BY A SPRINKLER

SYSTEM COMPLYING WITH SPECIFICATION E1.5. A

MAXIMUM SMOKE DEVELOPMENT RATE OF 750

CONSTRUCTION OF A BUILDING MUST BE THAT

CONSTRUCTION JOINTS BETWEEN CONCRETE

PANELS TO BE FIRE SEALS AS NECESSARY, IN

SPECIFIED IN TABLE C1.1 AND SPECIDFICATION C1.1..

ALL REQUIRED EXIT DOORS & DOORS IN A PATH OF

OPENED AT ALL TIMES FROM THE SIDE OF PERSON

FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21

DISABLED PERSON ACCESS TO THE BUILDING SHALL

DISABLED ACCESS & MOBILITY SHALL FULLY COMPLY

BE VIA MAIN ENTRANCE DOORS. AS DESIGNATED

BRAILLE AND TACTILE SIGNAGE COMPLYING WITH

SEEKING EGRESS FROM THE BUILDING WITH A SINGLE

TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING

HANDED DOWNWARD OR PUSHING ACTION ON A

SINGLE DEVICE WITHOUT THE USE OF A KEY &

LOCATED BETWEEN 900MM & 1200MM ABOVE

DISABLED ACCESS:

WITH AS. 1428.1 AND AS. 1428.4 2009

SPEC. D3.6 AND INCORPERATING THE INTERNATIONAL SYMBOL OF ACCESS OR

THE MINIMUM TYPE OF FIRE RESISTING

ACCORDANCE WITH AS 1530.4

ALL FLOOR MATERIAL OR FLOOR COVERING MUST HAVE

COMPLY WITH AS/NZS 4200 PARTS 1 AND 2.

ACCORD, WITH F1.7 OF B.C.A. AND AS 3740.

WITH THE RESPECTIVE SUPPLY AUTHORITY

DRAWINGS/DETAILS AND WITH ANY OTHER

THESE DRAWINGS SHALL BE READ IN

SARKING-TYPE MATERIALS USED FOR

PROPOSED STORE 13 (Worst Case):

BALANCE REQUIRED = 0.00m2

FLOOR AREA = 115.10m2 @ 5% = 5.80m2

NO MECHANICAL VENTILATION REQUIRED.

EXISTING VENTILATION (OPENINGS) = 21.40m2

AND ALL OTHER CONSULTANTS

STRUCTURES DURING ALL WORKS.

AUTHORITIES APPROVAL

REQUIREMENTS.

OF THE CONTRACT.

AND 1100MM ABOVE F.F.L.

SCHEDULE:

LISTED IN TABLE 1

PERCENT-MINUTES.

EXITS:

OF THE BCA.

ON FLOOR PLAN.

PIPES AND THE LIKE ARE LOCATED AT A

DISCREPANCIES TO THIS OFFICE FOR

CHECK AND VERIFY ALL DIMENSIONS, SETBACKS,

COMPLY WITH, BUT NOT LIMITED TO THE BUILDING

SHOULD CONDITIONED SPACES BE PROVIDED IN THE

ADEQUATELY SUPPORTED BY FRAMING MEMBERS. (REFER TO MANUFACTURES SPECIFICATION) INSTALLED WITH EACH ADJOINING SHEET OF ROLL MEMBRANE BEING OVERLAPPED NOT LESS THAN 50MM OR TAPED TOGETHER.

THICKNESS, OTHER THAN WHERE IT CROSSES BATTERNS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE. ALL EXTERNAL CONCRETE PANEL WALLS TO BE

J2. EXTERNAL GLAZING

AS 2047. REFER TO ELEVATIONS.

LIKE SHALL BE ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS OR SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR

NOT APPLICABLE

J6. ARTIFICIAL LIGHTING AND POWER

CERTIFICATE OF COMPLIANCE.

THE HOT WATER SUPPLY SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 8 OF AS/NZS 3500.4.

ACCESS MUST BE PROVIDED TO ALL PLANT.

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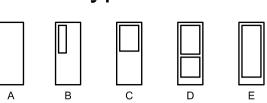
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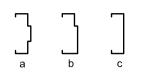
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PROPOSED WAREHOUSE/OFFICE **DEVELOPMENT AT:** NO. 15 SULLIVAN STREET **MOORABBIN**

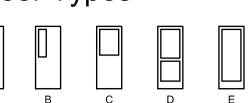
Door Types



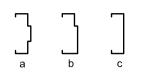


AL Aluminium (Powdercoated) PS Pressed Steel TIM Timber

Door Schedule



Frame Profiles



FRAME TYPE AL-ALUMINIUM, POWDERCOAT FINISH MS/GALV-MILD STEEL GALVANIZED FINISH PS-PRESSED STEEL WITH 3 HINGES &

RUBBER BUFFERS

LS=LOCK SET **PG=PASSAGE SET** SLS=SECURITY LOCK SET WITH ESCAPE LEVER HANDLES INTERNALLY AND BLANK

EXTERNALLY (WITH GUARD PLATE) **IB=INDICATOR BOLT** PB= PANIC BOLT DC=DOOR CLOSER PPP=PUSH PULL PLATE HODC=HOLD OPEN DOOR CLOSER DAC=DELAYED ACTION CLOSER VP=450HX200W GLAZED VIEWING PANEL

FL=FLOOR SPRING DOOR CLOSER EX=EXIT DOOR HARDWARE **KP=SATIN STAINLESS STEEL KICK** PLATE 150 H TO FULL WIDTH OF DOOR BOTH SIDES VG= VENTILATION GRILL TO BOTTOM

RC=RESTRAINT CHAIN SS=RAVEN RP5 OR EQUIVALENT STORM SEALS TO BASE OF DOORS DS=DOOR STOP AS=ACOUSTIC DOOR SEALS TO HEAD AND JAMBS ST=STRIKE SHIELD

-EXIT DOORS SHOULD BE OPERABLE BY A SINGLE HANDED DOWNWARD ACTION WITHOUT THE USE OF A KEY AT ALL TIMES

LOH=LIFT OF HINGES

ROLLER SHUTTER DOOR NOTE ALLOW TO INSTALL STUBS AS REQUIRED FOR ROLLER SHUTTER DOOR INSTALLATION. VERIFY LOCATION AND SIZE WITH THE ROLLER SHUTTER DOOR SUPPLIER. ALLOW TO **EXTEND ROLLER SHUTTER GUIDE** TRACKS ABOVE DOOR HEADS AS REQUIRED BY ROLLER SHUTTER DOOR MANUFACTURER.

WALL TYPE LEGEND:

grooves. (Vert. & Horiz.)

Structural Concrete Panel Wall to eng's design

with material and color schedule including all

Structural Concrete Panel Wall with 13mm

Solid partition (Timber stud & plasterboard)

finish to external facade in accord. with manuf's

battens in accord. with manuf's spec's. Refer to

Concrete Panel external walls to parapet height

with "Nu-Wall Ullos 2" or similar aluminium clad.

Denotes flush plasterboard

ceiling on metal batten ceiling

spec's. Refer to material and color schedule.

(WT1) and detail. Prov. external finishes in accord.

(WT2) plaqsterboard internal lining fixed to metal

(WT3) to 2700mm high (floor to ceiling) unless

detail for further information.

CEILING LEGEND:

otherwise noted.

						OF DOOR TO BUILDERS RANGE
DOOR No.	LOCATION	QTY.	LEAF SIZE WIDTH x HEIGHT		FRAME PROFILE	COMMENTS
D-01	ENTRY	1	920 X 2700	Е	AL-A	ALUM. FRAME P'COAT FINISH GLAZED DOOR TO MANUF'S SPEC'S (AL, LS, DC, DS, AS)
D-02	UNISEX	1	820 X 2040	Α	AL-A	MDF FACED SEMI SOLID DOOR, PAINT FINISH - 40 MM THICK (AL, DC, DS, LOH)
D-03	WAREHOUSE RSD	1	3600 X 5000			POWDERCOATE ROLLER SHUTTER DOOR
D-04	EXTERNAL DISABLED	1	920 X 2040	Α	PS-A	METAL CLAD PRESSED STEEL FRAME SOLID DOOR (PS, LS, DC, AS, KP, LOH)

DISABLED STANDARD NOTES:

Signage to designated car spaces to be in accord. with AS 1428.1 and 2890.6

Maximum cross-fall to designated car spaces for persons with disabilities not to exceed 1:40 in both

directions. Drainage grates not to be in path of travel b/w designated car space for persons with disabilities and

Provide level transition b/w car space and landing to entry doors.

If any door closers are fitted to any door requiring accessibility, then the force to open not to exceed 20N.

Cross-fall on designated car spaces, paths and level landings at entry doors not to exceed 1:40.

All door circulation spaces

any paths to entry doors.

& disabled amenities to comply with AS1428.1:2009. All entry & internal doors to provide minimum 850mm

clear opening. Provide level threshold at entry door/landing junction

maximum fall on landing at 1:40.

Disabled amenity room size andinternal fit-out to AS 1428.1:2009.

All joinery fitout to be by tenant.

Raised tactile and Braille signage to be provided in accord. with BCA D3.6 and Spec. D3.6 to all sanitary facilities with all to be positioned between 1200-1600mm on latchside of door in accordance with AS 1428.1:2009 Clause 8.1.

All Doors & handles to comply with AS 1428.1:2009

and door frame to have 30% luminance contrast to the adjacent surface. Safety decals to door leaves, sidelights and any other areas which can be mistaken for openings. Min. solid non-transparent band no less than 75mm wide req. with the lower edge of the band to be 900-1000mm above FL.

Tactile indicators to footpaths either side of crossovers, as required by local authority.

Directional Signage

Where directional signage is provided consistant colour and layout to assist people find & use the signage.

Matt finishes shall be used to assist people with vision impairment.

Colours with high luminance contrast are to be

Standardized symbols to be used where

possible to reinforce written words.

Sans Serif font to be used.

FIRE EXTINGUISHERS

SUPPLY AND INSTALL THE FOLLOWING HAND HELD FIRE EXTINGUISHERS IN ACCORDANCE WITH AS2444: 9 KG DRY CHEMICAL FIRE EXTINGUISHER

ADJACENT MAIN ELECTRICAL SWITCHBOARD. • 1 No. 4.5 KG DRY CHEMICAL FIRE EXTINGUISHERS TO WAREHOUSE DISTRIBUTION BOARD

DURING CONSTRUCTION, NOT LESS THAN ONE FIRE EXTINGUISHER TO SUIT CLASS A, B, AND C FIRES AND ELECTRICAL FIRES MUST BE PROVIDED AT ALL TIMES ON EACH STOREY ADJACENT TO EACH REQUIRED EXIT OR TEMPORARY STAIRWAY OR EXIT.

BE REQUIRED DRY POWDER FIRE EXTINGUISHER. REFER TO ENGINEERS DRAWINGS FOR DETAIL.

LIGHTING LEGEND:

ALL EMERGENCY LIGHTING AND EXIT SIGNS TO COMPLY WITH AS 2293. AND B.C.A.

DENOTES HIGH EFFICIENCY HI BAY LIGHTING MAXIMUM 10W/m2 IN ACCORDANCE WITH PART J6.1-6.6 OF THE BCA AND THE SPECIFICATION J6.

DENOTES MAX 6W/m2 HIGH EFFICIENCY LOW VOLTAGE RECESSED DOWNLIGHT

DENOTES 1 X 10w MAINTAINED PHOTOLUMINESCEN EXIT EMERGENCY SIGN MOUNTED ABOVE ALL EXIT DOOR OPENINGS B/W 2100-2400MM HIGH



Ceramic wall tiles to

Laminated bench top

to builders range.

Laminated c'pd

doors to builders

Bench to sit on stainless steel

range.

range.

splashback to builders

BRAILLE AND TACTILE SIGNAGE COMPLYING WITH SPEC. D3.6 AND INCORPERATING THE INTERNATIONAL SYMBOL OF ACCESS OR DEAFNESS OR OTHER SYMBOL AS APPROPRIATE MUST BE PROVIDED TO THE DISABLED SANITARY FACILITY.

PROVIDE WEATHER PROOF SIGNAGE IN COOL ROOMS

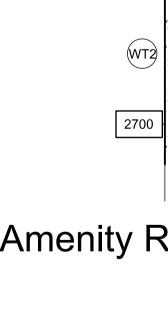
Stainless steel sink to

Fridge location under

bench if required.

builders range.

joist system @ @ 450mm c/c's or similar approved. (2700mm high unless stated otherwise. 2700



Amenity Ref. Ceiling Plan 1:100

kicker to manuf's spec's. Indicative Lunch Room **Bench Elevation**

BB DESIGN GROUP **BUILDING DESIGNERS**

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Fax (03) 9354 8044 Email info@bbdesigngroup.com.au Web www.bbdesigngroup.com.au

FIRST FLOOR MEZZANINE PLAN

drawing title

drg no. A3 job no. 131022 checked B.B.

orientation

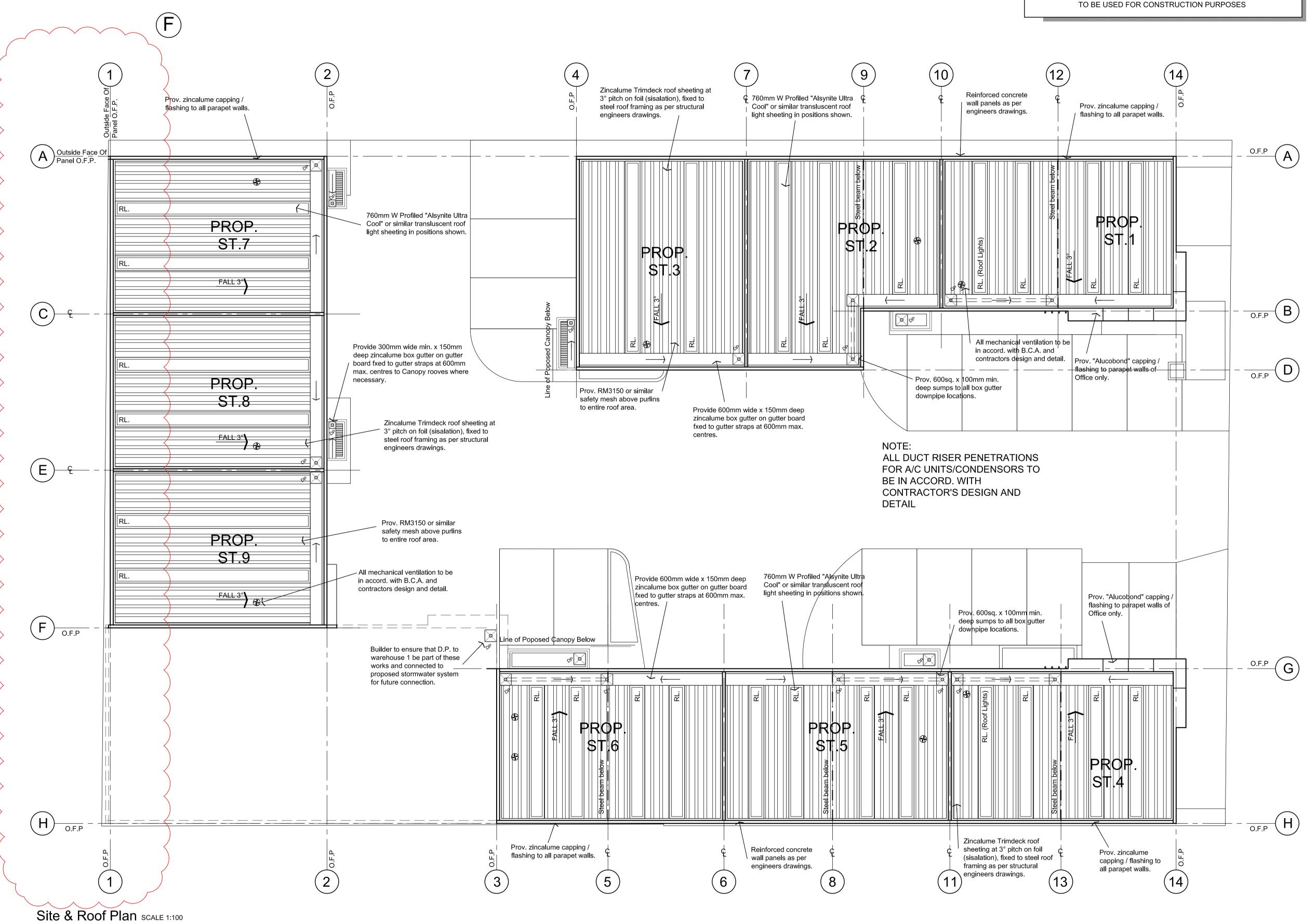
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DEAFNESS OR OTHER SYMBOL AS APPROPRIATE MUST BE PROVIDED TO THE DISABLED SANITARY

VILNO P./L

client

CONSTRUCTION ISSUE



ROOFING NOTES:

METAL ROOF SHEETING TO COMPLY WITH AS 1562.1

PROVIDE ZINCALUME TRIMDECK ROOF SHEETING AT 3.0° PITCH TO WAREHOUSE & 2.0° PITCH TO OFFICE AS PER SPEC.

ROOF SHEETING TO BE FIXED AND INSTALLED AS PER MANUFACTURERS REQUIREMENTS.

PROVIDE 3mm ZINC COATED SAFETY MESH 150mm X 300mm (150 BEING THE SPACING OF LONGITUDINAL WIRES PARALLEL TO THE CORRIGATIONS) UNDER ALL ROOF SHEETING.

DO NOT USE ANY LEAD NAILS OR ANY LEAD A FLASHING, WASHERS, ETC.

USE RECOMMENDED SEALANTS BY ROOFING MANUFACTURER.

ALL SILICON ON EXPOSED GUTTERS OR RAINWATER GOODS TO BE PAINTABLE GRADE SILICON.

ALL DOWNPIPES TO BE 150mm Ø MINIMUM, UNLESS OTHERWISE NOTED. REFER TO CIVIL ENGINEERS DRAWINGS FOR DETAILS.

ALL PENETRATIONS IN ROOF SHEETING TO BE FLASHED WITH ZINCALUME FLASHING AS SUPPLIED BY ROOFING MANUFACTURER.

PROVIDE WIRE MESH TO TOP OF ALL SUMPS.

PROVIDE 300mm SOAKER GUTTERS AS REQUIRED TO ALL ROOF MOUNTED EQUIPMENT.

PROVIDE WAREHOUSE BOX GUTTERS WITH 600 X 600 X 150MM DEEP SUMPS. PROVIDE 600 X 100MM OVERFLOW IN SUMP LOCATED CENTRAL. 30MM ABOVE BASE OF BOX GUTTER.

ALL GUTTERS TO BE PROVIDED WITH A MINIMUM GRADE OF 1:200.

BOX GUTTERS ARE TO BE SUPPORTED WITH "SPANDEK" ZINCALUME GUTTER BOARDS AND GALVANISED PROPT. GUTTER STRAPS AT CENTRES SUFFICIENT TO SUPPORT GUTTER AND IMPOSED LIVE LOADS.

INSULATION, SISALATION AND

SAFETY MESH

SUPPLY AND INSTALL AS SPECIFIED INSULATION, SISALATION AND SAFETY MESH OVER MILD STEEL PURLINS PRIOR TO LAYING AND FIXING ROOF SHEETS.

SAFETY MESH TO BE FIXED TO RIDGE PURLIN AND PULLED TIGHT IN CONTINUOUS LENGTH FOR FULL SPAN OF ROOF, LAY SISALATION AND/OR INSULATION OVER SAFETY MESH IMMEDIATELY PRIOR TO LAYING ROOF SHEETS.

ENSURE SISALATION/INSULATION IS ADEQUATELY LAPPED WITH ADJACENT SHEETS TO PROVIDE A CONTINUOUS INSULATION BARRIER TO THE FULL EXTENT OF ROOF. ENSURE INSULATION IS CONTINUED UNDER BOX GUTTERS AND FIXED IN POSITION. CHECK ALL INTERNAL EXPOSED SURFACES OF INSULATION FOR CONTINUITY AND MAKE GOOD AS REQUIRED.

PLANT PLATFORMS

CONTRACTOR IS TO PROVIDE GALVANISED MILD STEEL ROOF MOUNTED PLANT PLATFORMS TO ROOF MOUNTED UNITS.

ROOF PENETRATIONS

CUT ROOF PENETRATIONS & INSTALL UNDERFLASHINGS WHERE DIRECTED OR AS SHOWN ON ARCHITECTURAL & MECHANICAL DRAWINGS. ENSURE UNDERFLASHING HAS SUFFICIENT UPTURN TO ALLOW OVERFLASHINGS TO BE SECURELY FIXED IN FINAL POSITION.

USE A SUFFICIENCY OF SILICON SEALANT TO ENSURE UNDERFLASHING PROVIDES A WATERPROOF SEAL.

ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS AS PREPARED J.LIAPIS & ASSOCIATES ENGINEERS.

NOTE:

ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH CIVIL DESIGN DRAWINGS AS PREPARED J. LIAPIS & ASSOCIATES ENGINEERS.

NOTE:

ALL AMENITY EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & **CONTRACTORS DESIGN & DETAIL**

REVISIONS:			
DATE	DESCRIPTION	APP'D.	
15.04.14	BUILDING PERMIT PRELIMINARY ISSUE	M.A.	
04.08.16	AMENDED AS PER SURVEYOR REQUEST	N.S.	
07.02.17	REDUCED STORE 6 BY 500mm	M.C.	
09.02.17	AMENDED AS PER CLIENT REQUEST	M.C.	
01.08.17	AMENDED AS PER CLIENT REQUEST	D.G.	
	DATE 15.04.14 04.08.16 07.02.17 09.02.17	DATE DESCRIPTION 15.04.14 BUILDING PERMIT PRELIMINARY ISSUE 04.08.16 AMENDED AS PER SURVEYOR REQUEST 07.02.17 REDUCED STORE 6 BY 500mm 09.02.17 AMENDED AS PER CLIENT REQUEST	

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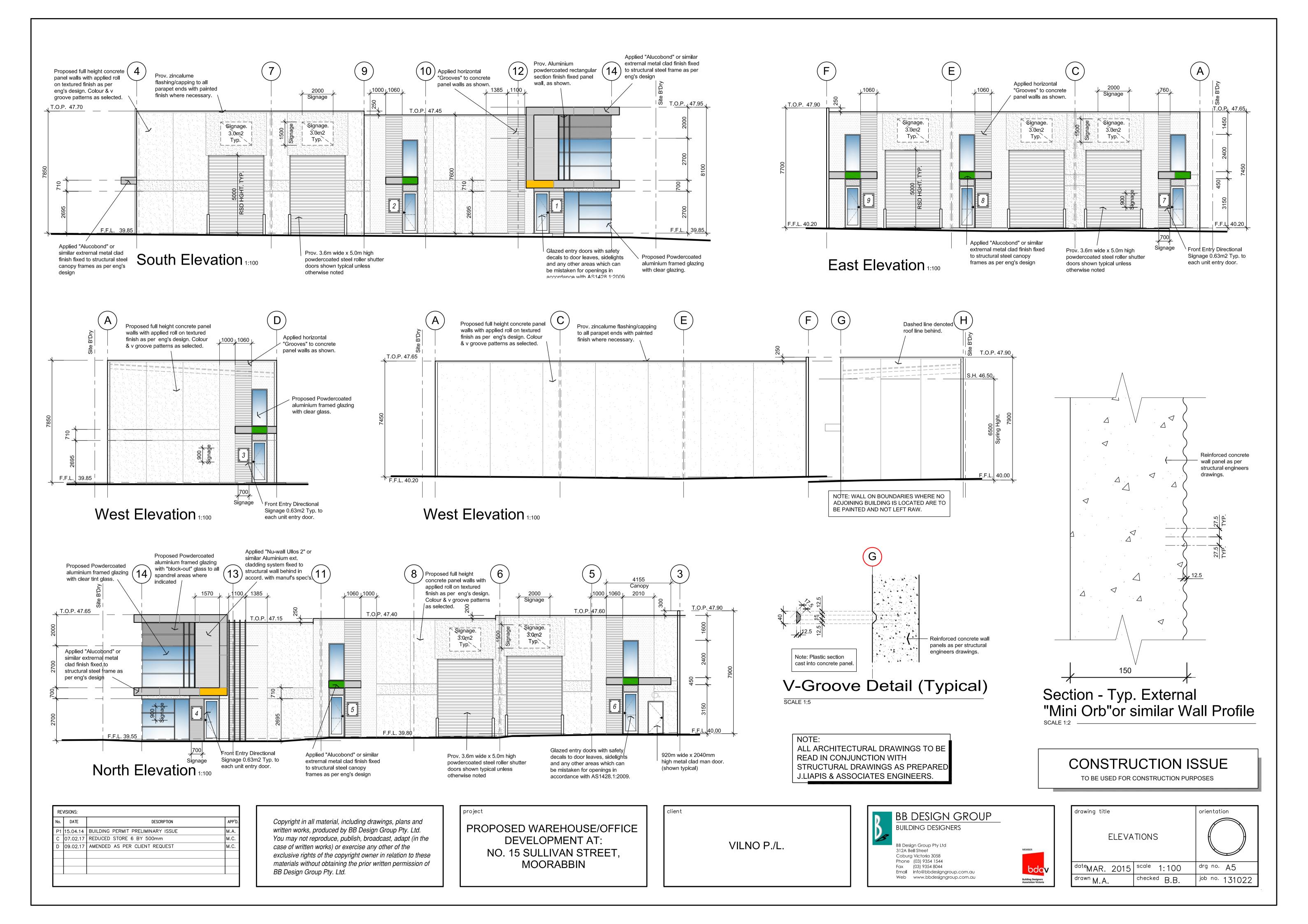
PROPOSED WAREHOUSE/OFFICE **DEVELOPMENT AT:** NO. 15 SULLIVAN STREET, **MOORABBIN**

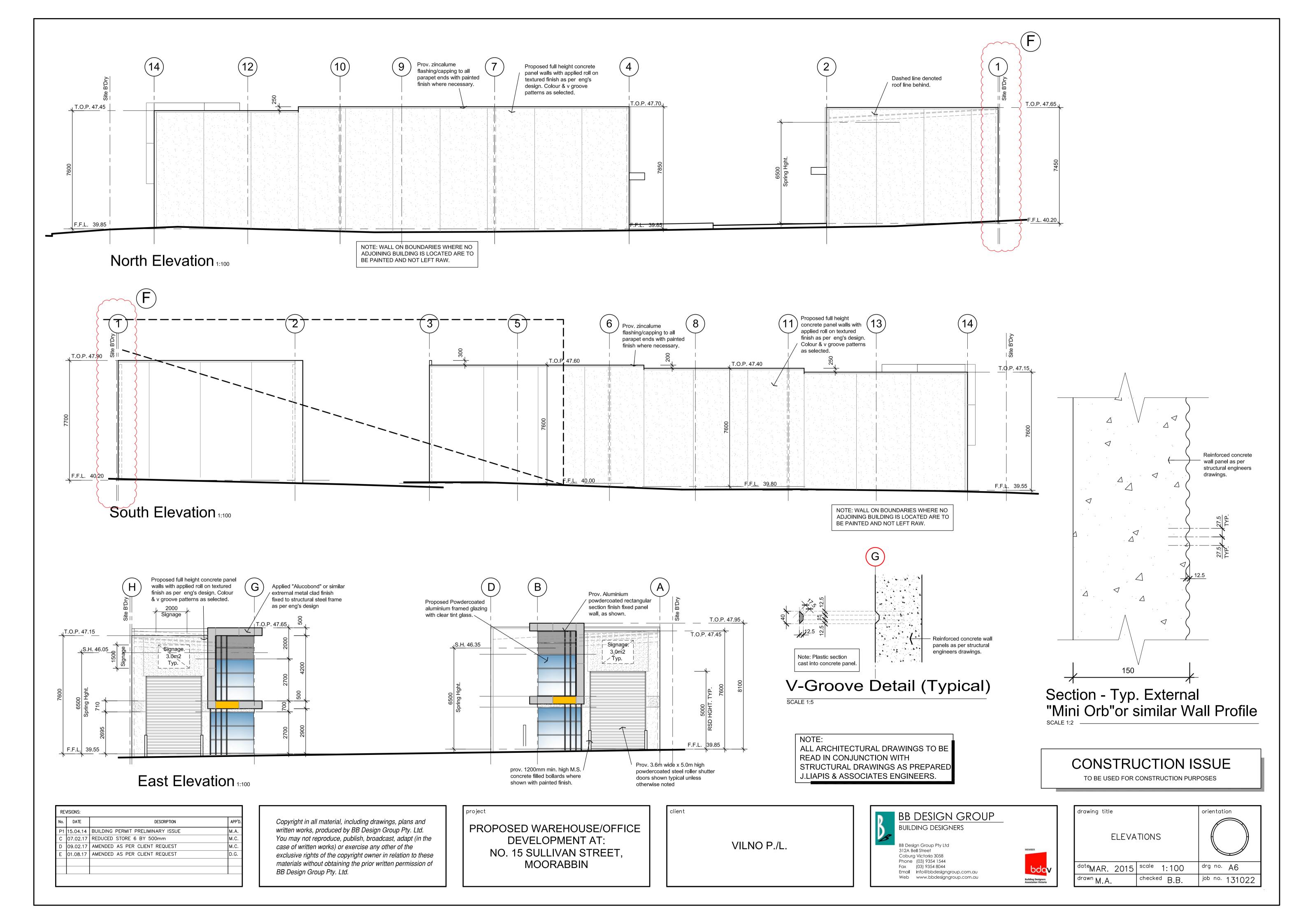
project

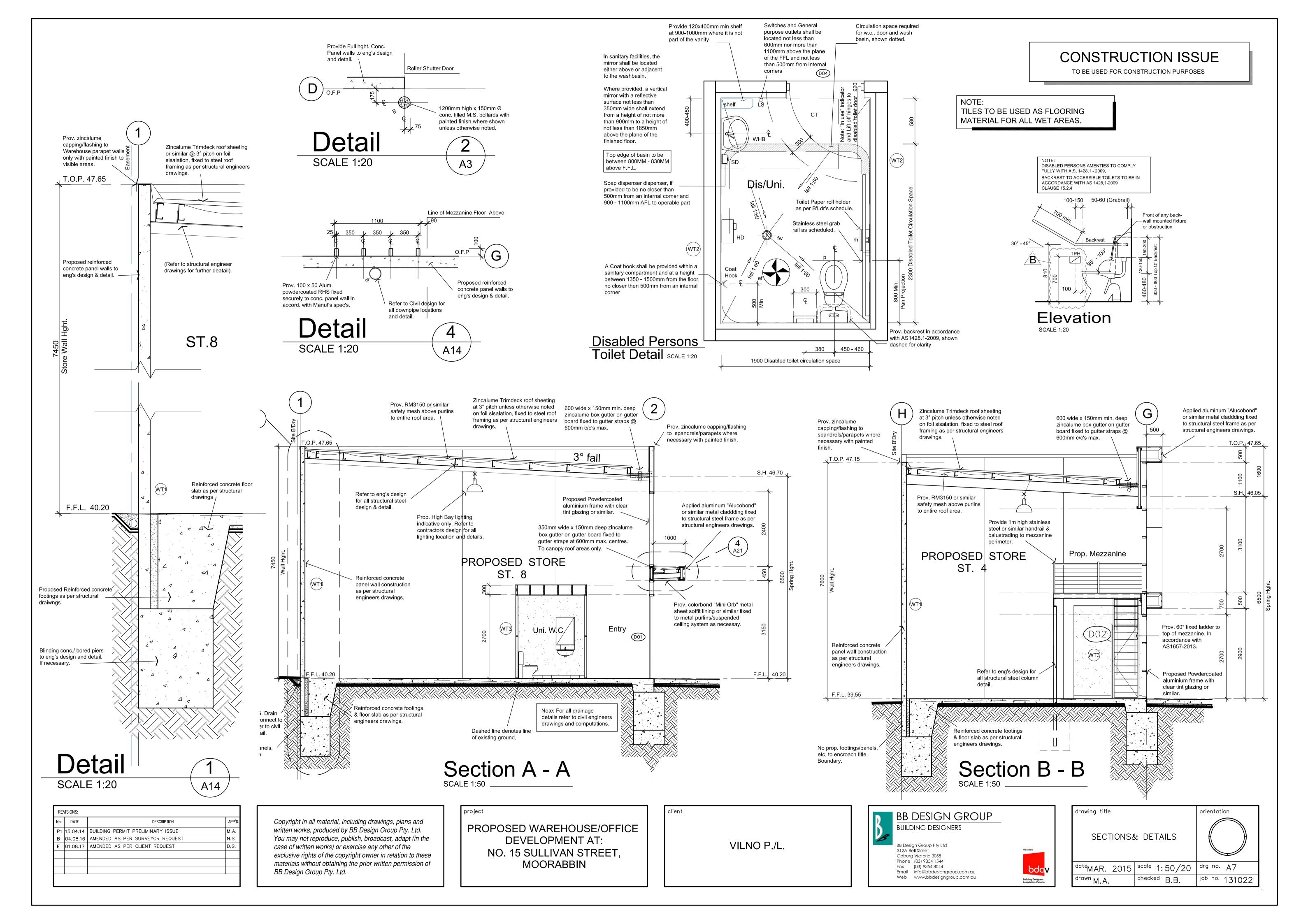
client VILNO P./L.

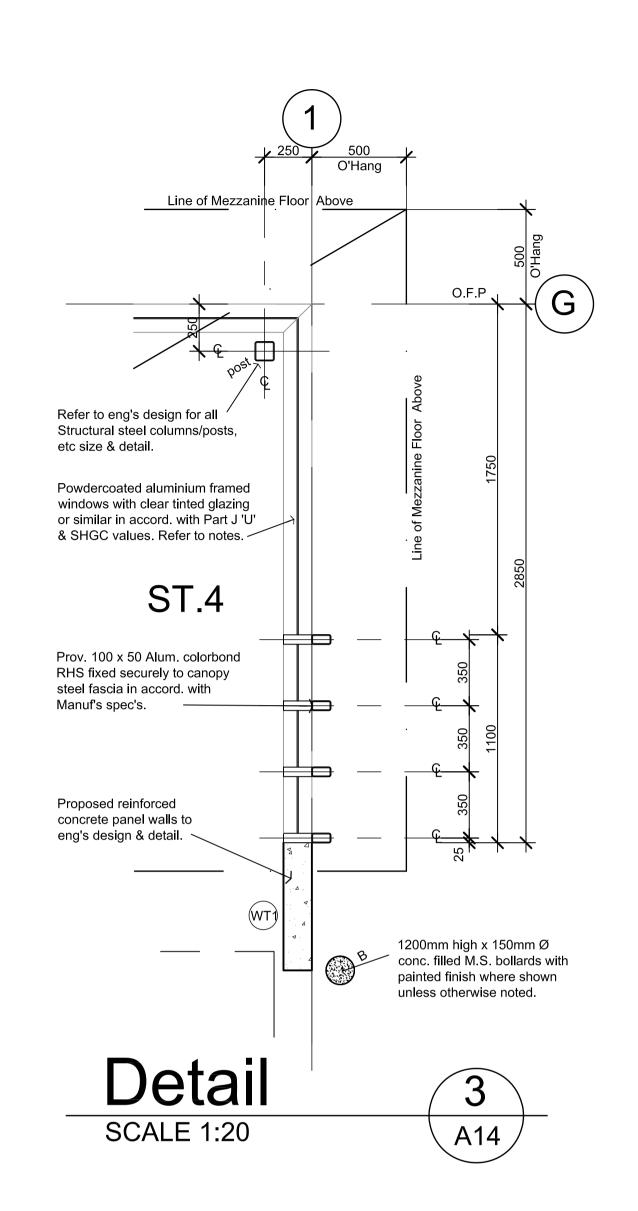


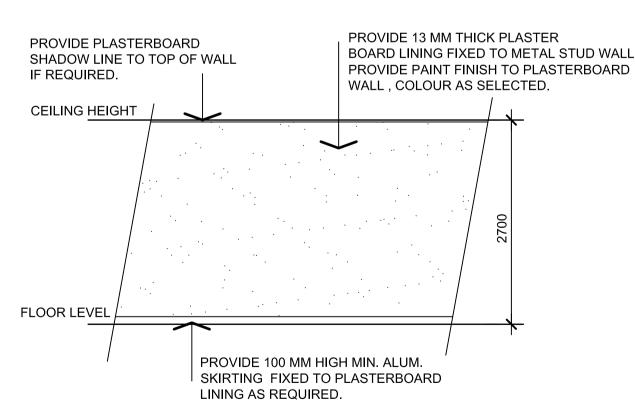
drawing title		orientation
ROOF	PLAN	
^{date} MAR. 2015	scale 1:100	drg no. A4
^{drawn} M.A.	checked B.B.	^{job no.} 131022









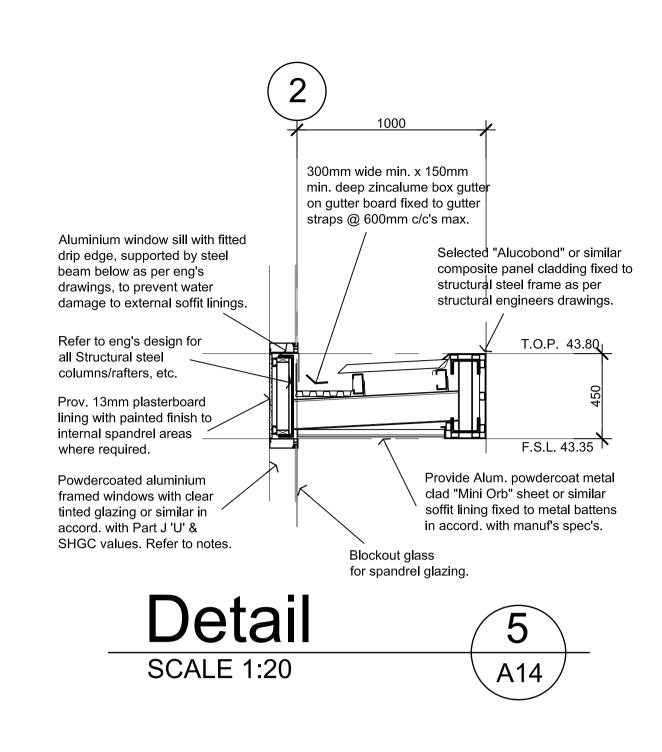


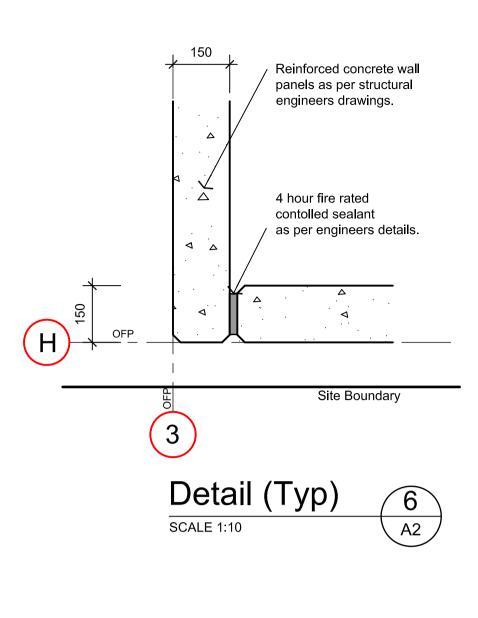
Full height Plasterboard lined partition Wall (WT2)

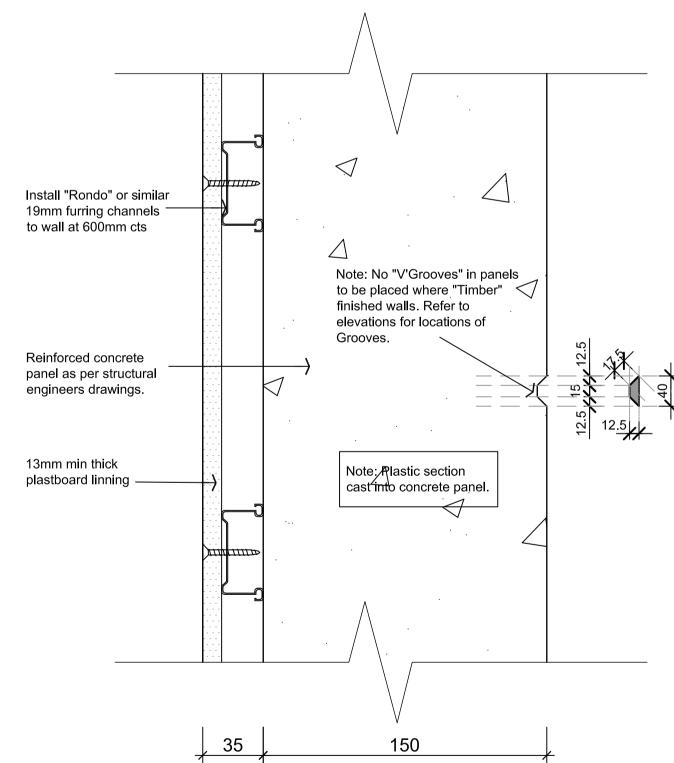
REVISIONS:

P1 15.04.14 BUILDING PERMIT PRELIMINARY ISSUE

B 04.08.16 AMENDED AS PER SURVEYOR REQUEST





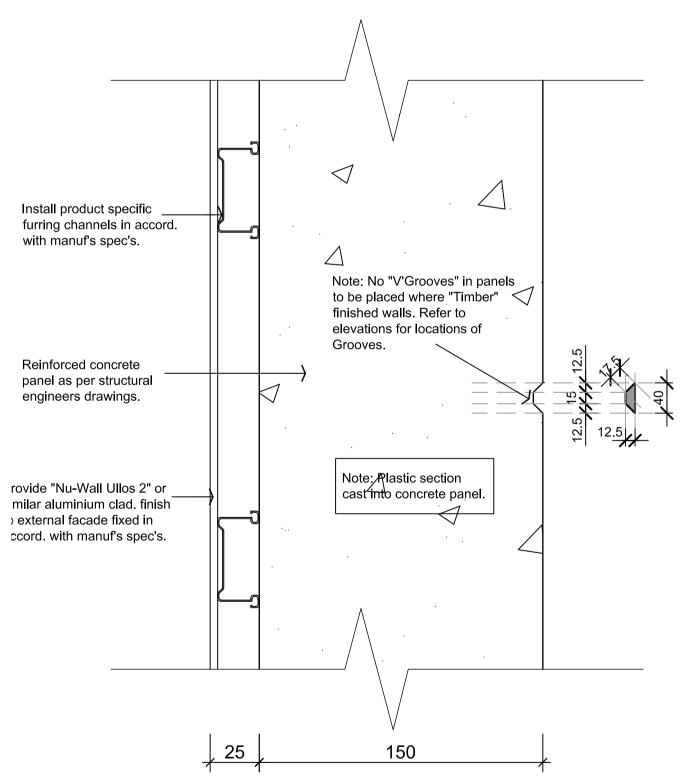


Section - Typ. External Wall Treatment "WT2"

SCALE 1:2 (WT1 SIMILAR NO PLASTERBOARD. REFRER TO ELEVATIONS FOR FURTHER DETAIL)

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PROPOSED WAREHOUSE/OFFICE DEVELOPMENT AT: NO. 15 SULLIVAN STREET, MOORABBIN



Section - Typ. External Wall Treatment "WT4"

CONSTRUCTION ISSUE

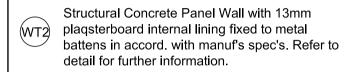
TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:

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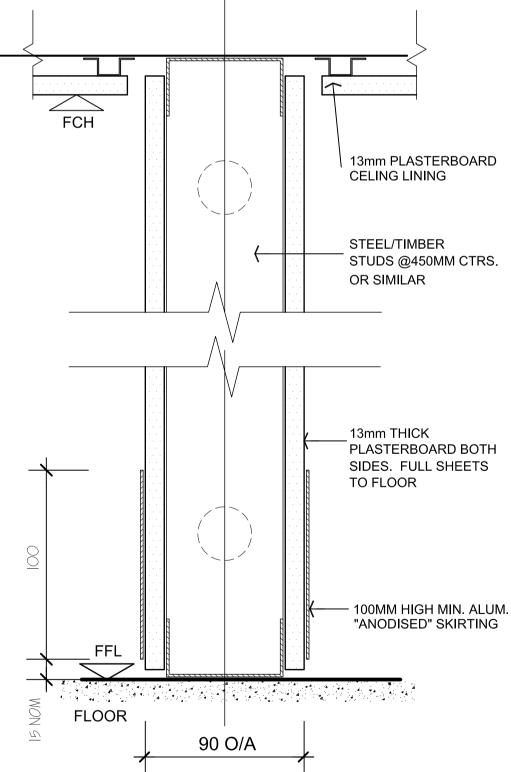
WALL TYPE LEGEND:

Structural Concrete Panel Wall to eng's design and detail. Prov. external finishes in accord. with material and color schedule including all grooves. (Vert. & Horiz.)



WT3 Solid partition (Timber stud & plasterboard) to 2700mm high (floor to ceiling) unless otherwise noted.

Concrete Panel external walls to parapet height with "Nu-Wall Ullos 2" or similar aluminium clad. finish to external facade in accord. with manuf's spec's. Refer to material and color schedule.



Section - Typ. Internal Partition Type "WT3"

VILNO P./L.



drawing title		orientation
WALL PARTITIO		
^{date} MAR. 2015	scale 1:2/20	drg no. A8
drawn M A	checked BB	job no. 131022