

Note:
As per Planning Permit No. KP-678/2014 condition 1g), that the said proposed approved development, be built & developed in accordance with all mandatory requirements of the approved Environmental Sustainable Design Report prepared by "Lid Consulting" dated 13.03.2015.

AREA ANALYSIS: NO. 15

TOTAL SITE AREA = 1995.10 SQ M
 PROPOSED WAREHOUSE/STORES/MEZZANINE :
 TOTAL STORE 1 - 9 = 782.60 SQ M
 WAREHOUSE 1 = 179.00 SQ M
 FIRST FLOOR MEZZ. = 81.30 SQ M
 TOTAL BUILD. AREA = 1042.90 SQ M.
 SITE COVERAGE = 52.30%

CARPARK ANALYSIS

WAREHOUSE 1 / MEZZ. : 218.30m2
 (191.00 m2 net - minus loading bay 27.40m2)

Carspaces Required for warehouses 1.
 2 cars per tenancy + 1.5 x 191.00/100m2 = 4.90
4 Cars

STORE/MEZZANINE : 824.60m2
 (560.40m2 net - minus loading bays + stair voids 264.20m2)

Carspaces Required for Stores 1 - 9
 10% of the Site area considered applicable to the store use: 173.20m2 / 21.10m2 =
8 Cars.

TOTAL CARSPACE REQUIRED : 11
 TOTAL CARSPACE PROVIDED: 16

Allocation of Carspaces provided on site
 Warehouse/Mezz. 1: 4 Carspaces
 Store/Mezzanine 1 - 9 : 1 Carspace each
 Visitor's Space : 2 carspaces
 Disabled Carspace : 1 Carspace

* Refer to Traffic report completed by O'Brien Traffic for detailed justification.

LEGEND:

- HATCH DENOTES ALL WEATHER SEALED CONCRETE PATTERN PAVED PATHS WITH "CHARCOAL" COLOR FINISH.
- DENOTES SIGNAGE. SIGNAGE TO HAVE FOLLOWING: "ALL VEHICLES MUST EXIT IN A FORWARD FACING DIRECTION."
- DENOTES WALL MOUNTED 100W FLUORESCENT SECURITY LIGHT FITTING.
- FINISHED FLOOR LEVEL
- EXTERNAL LIGHTING
- STORMWATER DRAINAGE TO CONNECT TO LEGAL POINT OF DISCHARGE TO LOCAL AUTHORITY REQUIREMENTS
- AREA FOR WASTE BIN/REFUSE
- BOLLARDS
- BICYCLE RACKS TO BE PROVIDED TO EACH STORE
- Location of External Taps

A. STORMWATER DRAINAGE.

A.1 CONNECT TO EXISTING

CONNECT INTO EXISTING STORMWATER DRAINAGE SYSTEM.

CARRY OUT THE EXCAVATION NECESSARY TO LOCATE AND EXPOSE THE CONNECTION POINT. ON COMPLETION REINSTATE THE SURFACES AND ELEMENTS WHICH HAVE BEEN DISTURBED SUCH AS ROADS, PAVEMENTS, KERBS, FOOTPATHS AND NATURE STRIPS.

A.2 STORMWATER DRAINS

INSTALL THE STORMWATER DRAINS NECESSARY TO CONNECT DOWNPIPES, SURFACE DRAINS, SUBSOIL DRAINS AND STORMWATER AND INLET PITS TO THE OUTLET POINT OR POINT OF CONNECTION.

LAY PIPELINES TO REQUIRED LEVELS AND GRADIENTS WITH THE SPIGOT ENDS IN THE DIRECTION OF FLOW. KEEP THE NUMBER OF JOINTS TO A MINIMUM.

WHERE LENGTHS OF STORMWATER DRAIN ARE NOT ACCESSIBLE FROM PITS, PROVIDE INSPECTION OPENINGS WITH COVERS AT BENDS AND JUNCTIONS AND CHANGES OF GRADE.

PROVIDE ANCHOR BLOCKS WHERE NEEDED TO RESTRAIN LATERAL MOVEMENT OF THE PIPELINES AT JUNCTIONS AND CHANGES OF DIRECTION.

TURN UP THE DRAIN BRANCH PIPELINE WITH A SUITABLE BEND TO MEET THE DOWNPIPE, TO FINISH 50MM ABOVE FINISHED GROUND OR PAVEMENT LEVEL.

DURING CONSTRUCTION PROVIDE TEMPORARY COVERS TO OPENINGS AND KEEP THE PIPELINE FREE OF DEBRIS. ON COMPLETION FLUSH THE PIPELINES WITH WATER AND LEAVE THEM CLEAN.

B. SITEWORKS.

B.1 QUALITY/INSPECTIONS/TESTING

B.1.1 PROOF ROLLING

PROOF ROLL THE ENTIRE EXTENT OF THE BUILDING AND PAVEMENT AREAS TO DETERMINE THE EXTENT IF ANY OF BAD GROUND.

CARRY OUT PROOF ROLLING IN THE PRESENCE OF THE PROJECT OR GEOTECHNICAL ENGINEER OR SITE MANAGER WHERE NECESSARY.

OBTAIN A 'CERTIFICATE OF INSPECTION' (IF BY PROJECT OR GEOTECHNICAL ENGINEER) WHICH IDENTIFIES THE AREA PROOF ROLLED AND THE RESULTS OF THE PROOF ROLLING INCLUDING ANY IDENTIFIED SOFT SPOTS OR BAD GROUND.

PROOF ROLL ANY IDENTIFIED AREAS AFTER RECTIFICATION AND SUBMIT THE CERTIFICATE AS ABOVE.

B.1.2 INSITU COMPACTION DENSITY TESTING

PROVIDE INDEPENDENT N.A.T.A. APPROVED TESTING TO ALL AREAS OF FILL WHICH WILL SUPPORT NON-SPANNING CONCRETE GROUND SLABS, ROADS, PAVED AREAS.

TESTING FREQUENCY TO BE NOT LESS THAN ONE TEST PER LAYER PER 1000M2. DISTRIBUTE TESTING EVENLY THROUGHOUT THE FILL TO LOCATIONS AS DIRECTED BY THE PROJECT OR GEOTECHNICAL ENGINEER AND/OR SITE MANAGER.

B.2 TOP SOIL CLEARANCE

STRIP TOP SOIL AFTER REMOVAL OF VEGETATION AND REMOVE FROM SITE. WHERE REQUESTED STOCKPILE ON SITE FOR FUTURE USE IN LANDSCAPING AND MOUNDING.

B.3 SPOIL -SITE WORKS

STRIP/EXCAVATE SURPLUS STRUCTURAL MATERIAL AND REMOVE OFF SITE.

B.4 TREE PROTECTION

IDENTIFY AND ENSURE PROTECTION OF "NOMINATED TO REMAIN TREES": ALL TREES NOT IDENTIFIED FOR PROTECTION ARE TO BE REMOVED FROM SITE INCLUDING GRUB OUT STUMP AND ROOTS GREATER THAN 50MM DIAMETER.

B.5 SITE RESTORATION

RESTORE EXISTING GROUND SURFACES TO CONDITION PRIOR TO COMMENCEMENT OF WORKS.

B.6 GRADING SURROUNDING AREAS

GRADE ALL AREAS TO GIVE FALL AWAY FROM BUILDINGS, MINIMUM 1 IN 100 OR AS DIRECTED BY THE CONTRACTOR.

GRADE ALL AREAS, CUT DRAINAGE SWALES, TO PREVENT PONDING OF WATER.

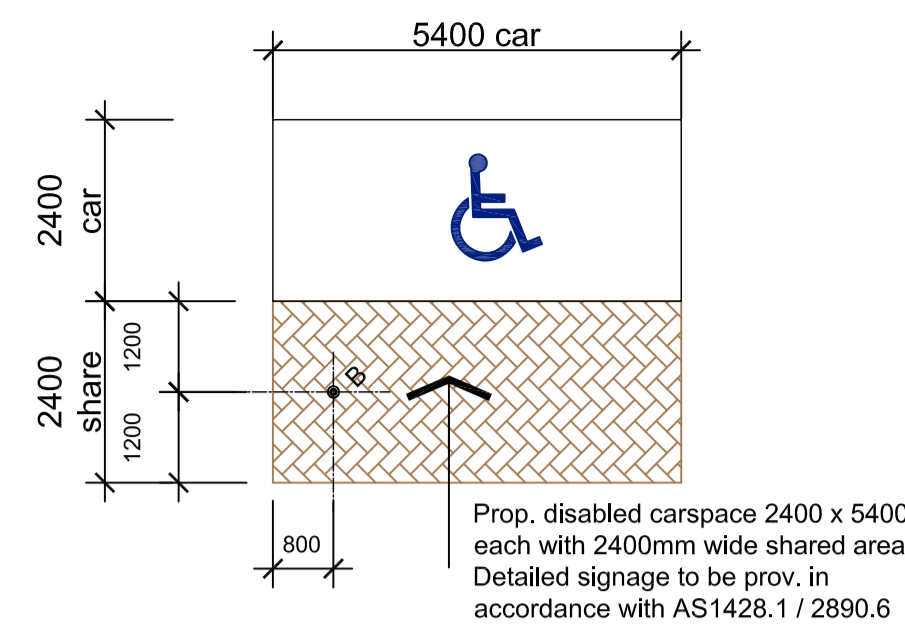
C. MECHANICAL, HVAC.

C.1 MECHANICAL VENTILATION TO SHOP/AMENITIES

PROVIDE VENTILATION TO CONFORM TO BCA AND TO REQUIREMENTS OF AS1668.2 TO ALL AMENITIES/OFFICE AREAS.

NOTE:
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Disabled Car Space Layout

DRAWING REGISTER

DWG. NO.	DRAWING TITLE	DWG. REV.	DATE
- A0	COVER SHEET	P1	15.04.15
- A1	OVERALL SITE PLAN	D	09.02.17
- A2	GROUND FLOOR PLAN	D	09.02.17
- A3	FIRST FLOOR MEZZANINE PLAN	B	04.08.16
- A4	ROOF PLAN	D	09.02.17
- A5	ELEVATIONS	D	09.02.17
- A6	ELEVATIONS	D	09.02.17
- A7	SECTIONS & DETAILS	B	04.08.16
- A8	WALL PARTITION & DETAILS	B	04.08.16

CONSTRUCTION ISSUE

TO BE USED FOR CONSTRUCTION PURPOSES

**PROPOSED STORE DEVELOPMENT
 AT: NO. 15 SULLIVAN STREET,
 MOORABBIN
 PROJECT NO. :131022**

No.	DATE	DESCRIPTION	APP'D.
P1	15.04.14	BUILDING PERMIT PRELIMINARY ISSUE	M.A.

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project
PROPOSED WAREHOUSE/OFFICE DEVELOPMENT AT: NO. 15 SULLIVAN STREET, MOORABBIN

client
VILNO P./L.

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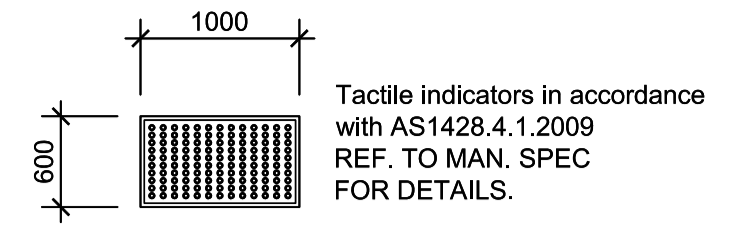
drawing title		orientation
COVER SHEET		
date MAR. 2015	scale 1:100	drg no. A0
drawn M.A.	checked B.B.	job no. 131022

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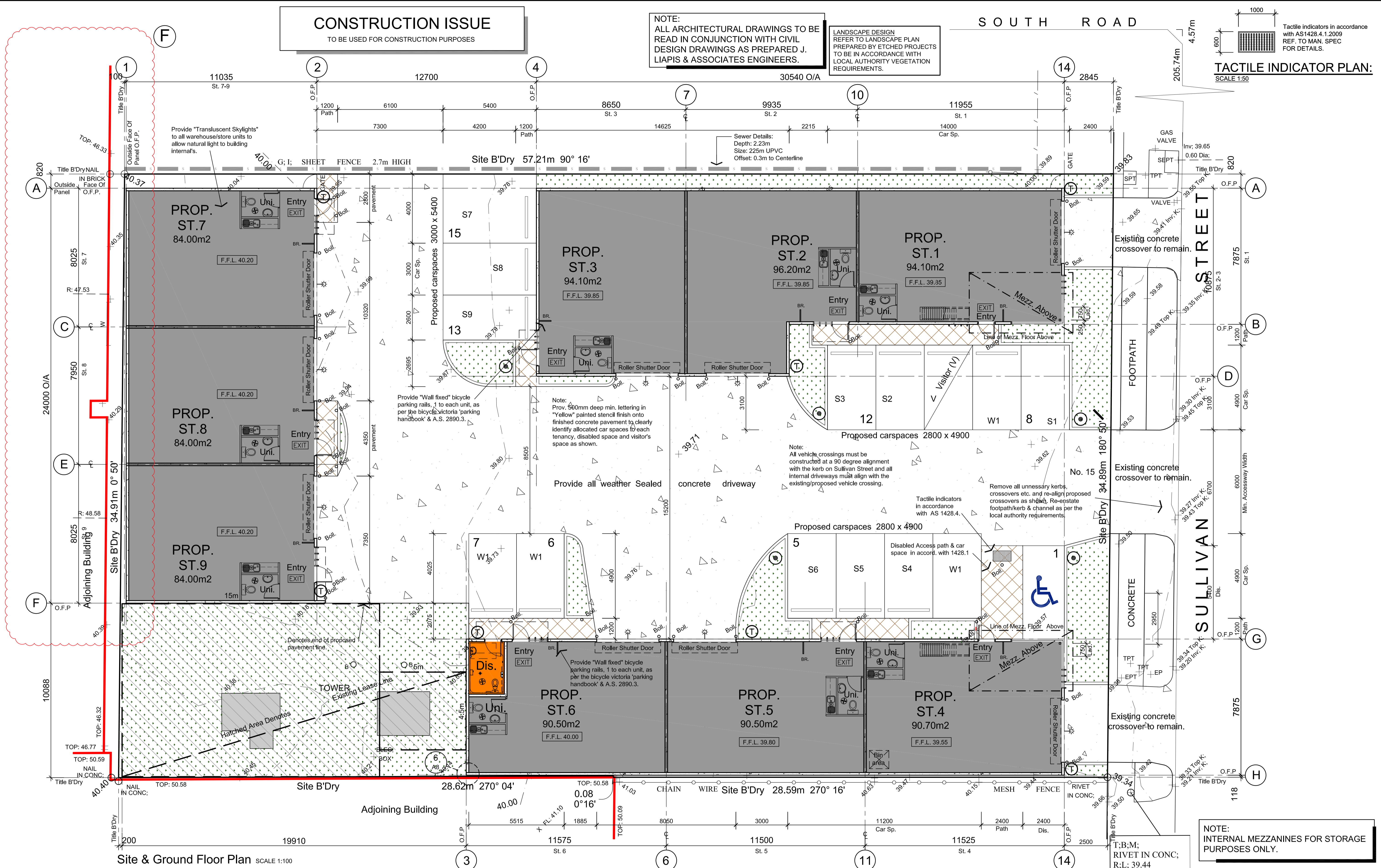
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DESIGN DRAWINGS AS PREPARED BY
LIAPIS & ASSOCIATES ENGINEERS.

LANDSCAPE DESIGN
REFER TO LANDSCAPE PLAN
PREPARED BY ETCHED PROJECTS
TO BE IN ACCORDANCE WITH
LOCAL AUTHORITY VEGETATION
REQUIREMENTS.

SOUTH ROAD



TACTILE INDICATOR PLAN:
SCALE 1:50



Site & Ground Floor Plan SCALE 1:100

NOTE:
INTERNAL MEZZANINES FOR STORAGE
PURPOSES ONLY.

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	E	01.08.17	AMENDED AS PER CLIENT REQUEST	D.G.

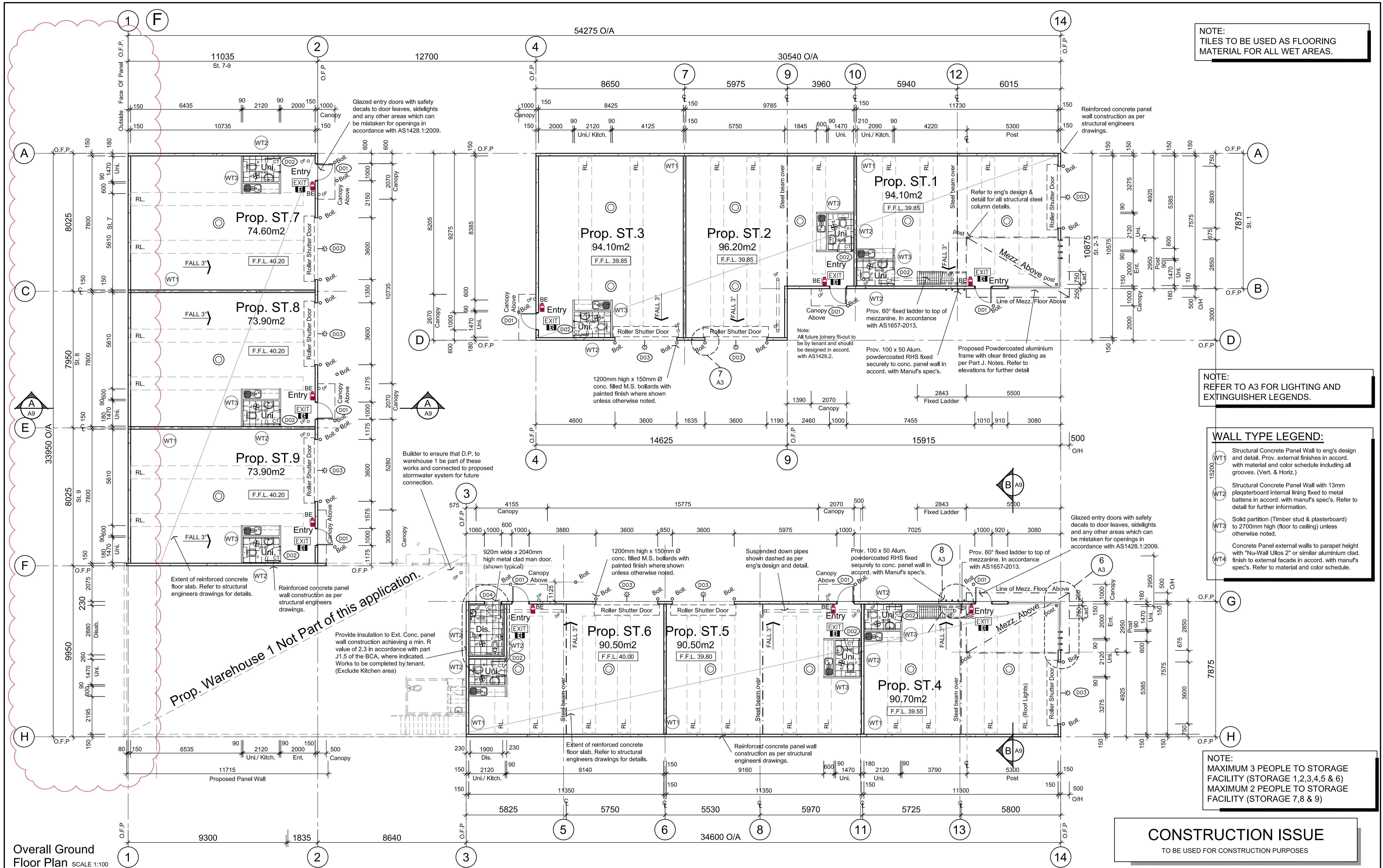
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drawing title OVERALL SITE PLAN	orientation
date MAR. 2015	scale 1:100
drawn M.A.	checked B.B.
drg no. A1	job no. 131022



NOTE:
TILES TO BE USED AS FLOORING
MATERIAL FOR ALL WET AREAS.

NOTE:
REFER TO A3 FOR LIGHTING AND
EXTINGUISHER LEGENDS.

WALL TYPE LEGEND:

- WT1 Structural Concrete Panel Wall to eng's design and detail. Prov. external finishes in accord. with material and color schedule including all grooves. (Vert. & Horiz.)
- WT2 Structural Concrete Panel Wall with 13mm plasterboard internal lining fixed to metal battens in accord. with manu's spec's. Refer to detail for further information.
- WT3 Solid partition (Timber stud & plasterboard) to 2700mm high (floor to ceiling) unless otherwise noted.
- WT4 Concrete Panel external walls to parapet height with "Nu-Wall Ullos 2" or similar aluminum clad. finish to external facade in accord. with manu's spec's. Refer to material and color schedule.

NOTE:
MAXIMUM 3 PEOPLE TO STORAGE
FACILITY (STORAGE 1,2,3,4,5 & 6)
MAXIMUM 2 PEOPLE TO STORAGE
FACILITY (STORAGE 7,8 & 9)

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Overall Ground Floor Plan SCALE 1:100

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drawing title	GROUND FLOOR PLAN		orientation		
date	MAR. 2015	scale	1:100	drw no.	A2
drawn	M.A.	checked	B.B.	job no.	131022

CONSTRUCTION ISSUE

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ROOFING NOTES:

METAL ROOF SHEETING TO COMPLY WITH AS 1562.1

PROVIDE ZINCALUME TRIMDECK ROOF SHEETING AT 3.0° PITCH TO WAREHOUSE & 2.0° PITCH TO OFFICE AS PER SPEC.

ROOF SHEETING TO BE FIXED AND INSTALLED AS PER MANUFACTURERS REQUIREMENTS.

PROVIDE 3mm ZINC COATED SAFETY MESH 150mm X 300mm (150 BEING THE SPACING OF LONGITUDINAL WIRES PARALLEL TO THE CORRIGATIONS) UNDER ALL ROOF SHEETING.

DO NOT USE ANY LEAD NAILS OR ANY LEAD A FLASHING, WASHERS, ETC.

USE RECOMMENDED SEALANTS BY ROOFING MANUFACTURER.

ALL SILICON ON EXPOSED GUTTERS OR RAINWATER GOODS TO BE PAINTABLE GRADE SILICON.

ALL DOWNPIPES TO BE 150mm Ø MINIMUM, UNLESS OTHERWISE NOTED. REFER TO CIVIL ENGINEERS DRAWINGS FOR DETAILS.

ALL PENETRATIONS IN ROOF SHEETING TO BE FLASHED WITH ZINCALUME FLASHING AS SUPPLIED BY ROOFING MANUFACTURER.

PROVIDE WIRE MESH TO TOP OF ALL SUMPS.

PROVIDE 300mm SOAKER GUTTERS AS REQUIRED TO ALL ROOF MOUNTED EQUIPMENT.

PROVIDE WAREHOUSE BOX GUTTERS WITH 600 X 600 X 150MM DEEP SUMPS. PROVIDE 600 X 100MM OVERFLOW IN SUMP LOCATED CENTRAL, 30MM ABOVE BASE OF BOX GUTTER.

ALL GUTTERS TO BE PROVIDED WITH A MINIMUM GRADE OF 1:200.

BOX GUTTERS ARE TO BE SUPPORTED WITH 'SPANDEK' ZINCALUME GUTTER BOARDS AND GALVANISED PROPT. GUTTER STRAPS AT CENTRES SUFFICIENT TO SUPPORT GUTTER AND IMPOSED LIVE LOADS.

INSULATION, SISALATION AND SAFETY MESH

SUPPLY AND INSTALL AS SPECIFIED INSULATION, SISALATION AND SAFETY MESH OVER MILD STEEL PURLINS PRIOR TO LAYING AND FIXING ROOF SHEETS.

SAFETY MESH TO BE FIXED TO RIDGE PURLIN AND PULLED TIGHT IN CONTINUOUS LENGTH FOR FULL SPAN OF ROOF. LAY SISALATION AND/OR INSULATION OVER SAFETY MESH IMMEDIATELY PRIOR TO LAYING ROOF SHEETS.

ENSURE SISALATION/INSULATION IS ADEQUATELY LAPPED WITH ADJACENT SHEETS TO PROVIDE A CONTINUOUS INSULATION BARRIER TO THE FULL EXTENT OF ROOF. ENSURE INSULATION IS CONTINUED UNDER BOX GUTTERS AND FIXED IN POSITION. CHECK ALL INTERNAL EXPOSED SURFACES OF INSULATION FOR CONTINUITY AND MAKE GOOD AS REQUIRED.

PLANT PLATFORMS

CONTRACTOR IS TO PROVIDE GALVANISED MILD STEEL ROOF MOUNTED PLANT PLATFORMS TO ROOF MOUNTED UNITS.

ROOF PENETRATIONS

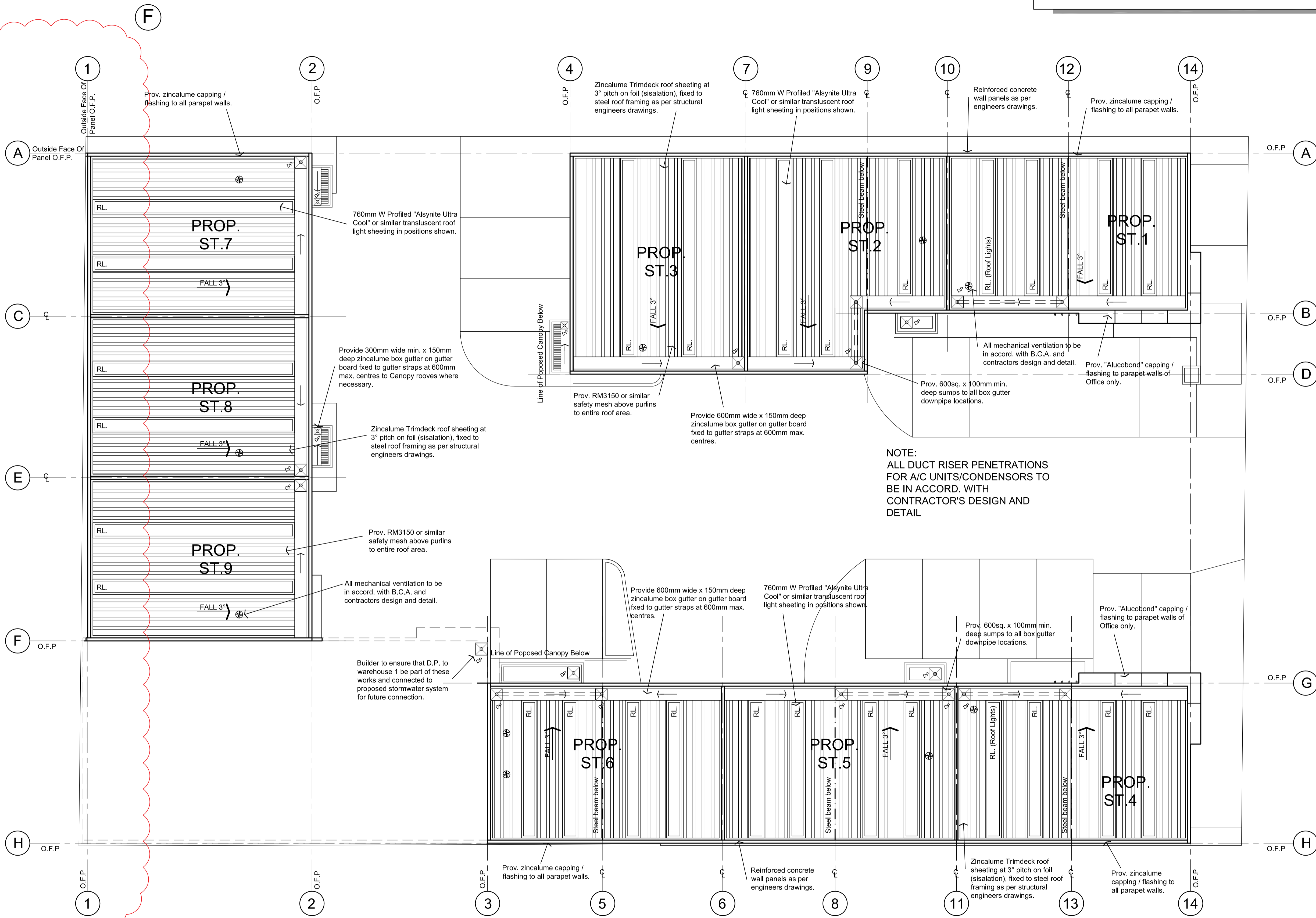
CUT ROOF PENETRATIONS & INSTALL UNDERFLASHINGS WHERE DIRECTED OR AS SHOWN ON ARCHITECTURAL & MECHANICAL DRAWINGS. ENSURE UNDERFLASHING IS SUFFICIENT UP TURN TO ALLOW OVERFLASHINGS TO BE SECURELY FIXED IN FINAL POSITION.

USE A SUFFICIENCY OF SILICON SEALANT TO ENSURE UNDERFLASHING PROVIDES A WATERPROOF SEAL.

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NOTE:
ALL AMENITY EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & CONTRACTORS DESIGN & DETAIL



Site & Roof Plan SCALE 1:100

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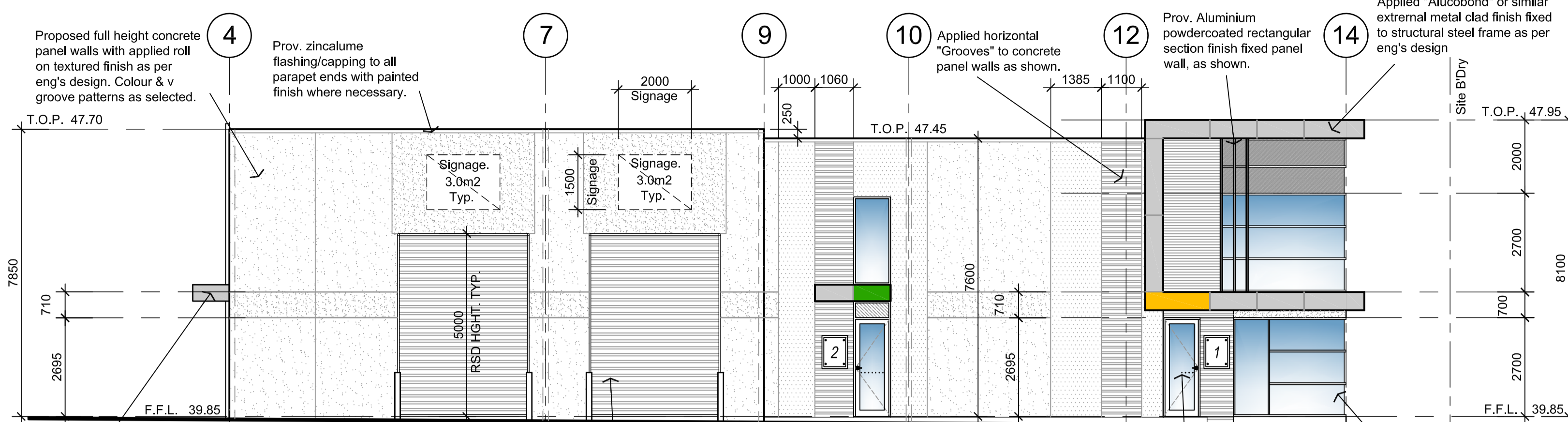
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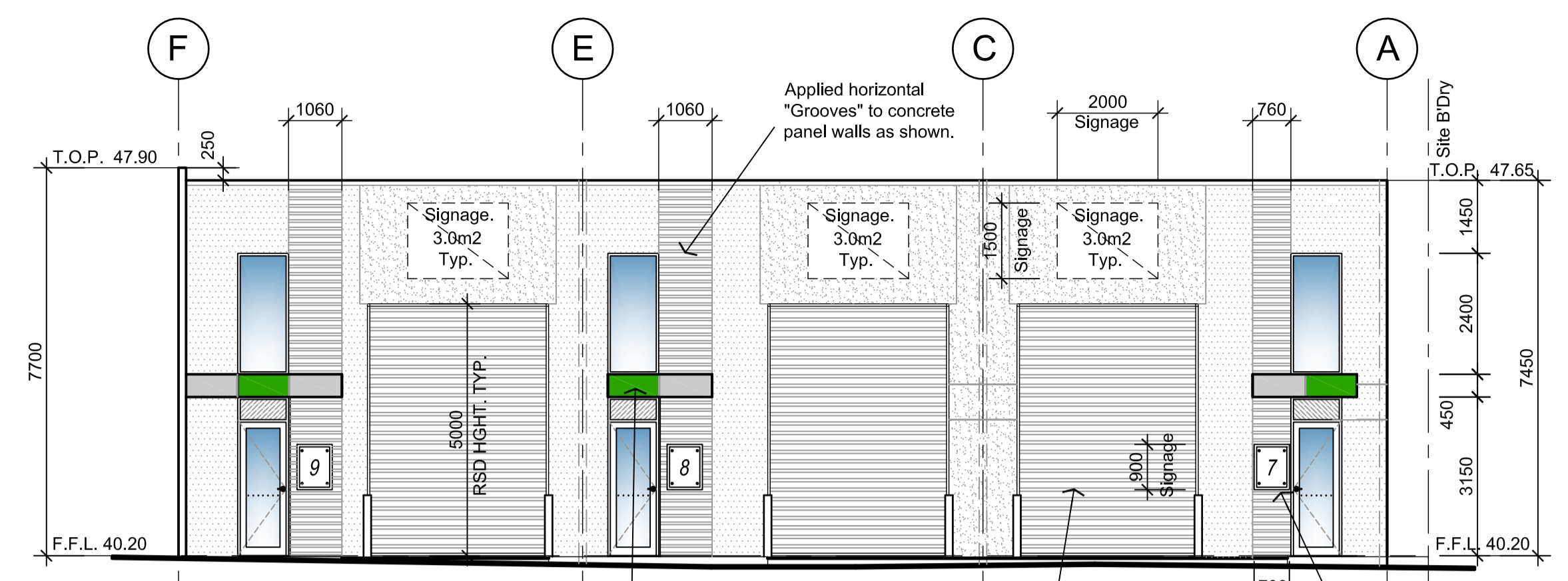
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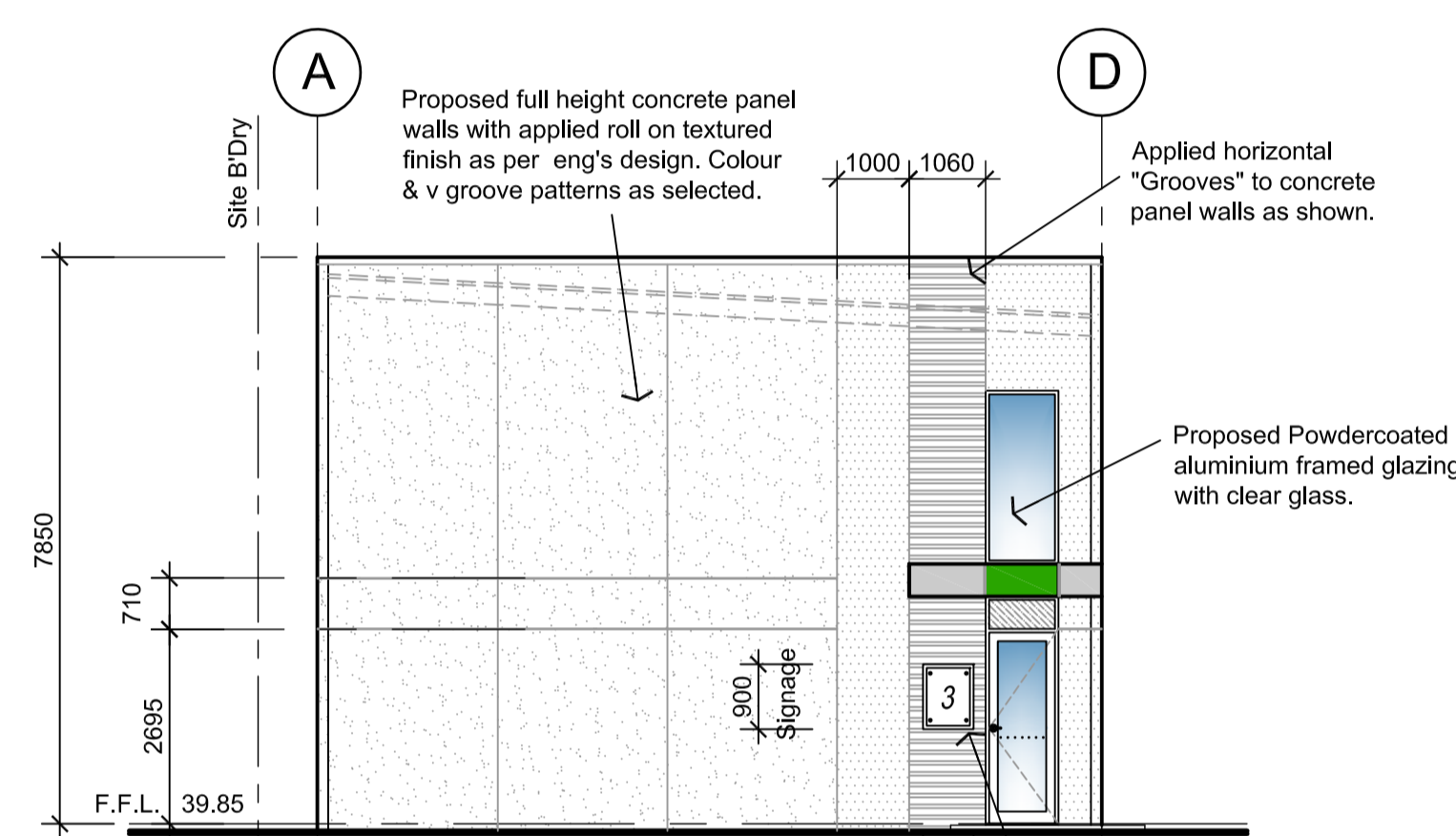
drawing title	orientation
ROOF PLAN	
date MAR. 2015	scale 1:100
drawn M.A.	checked B.B.
	drg no. A4
	job no. 131022



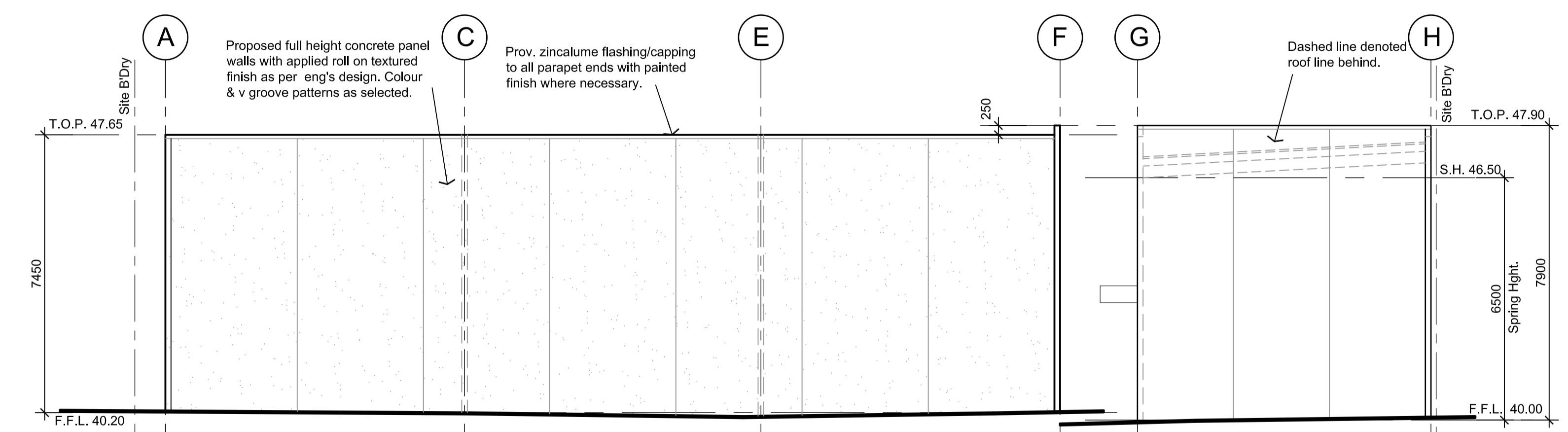
South Elevation 1:100



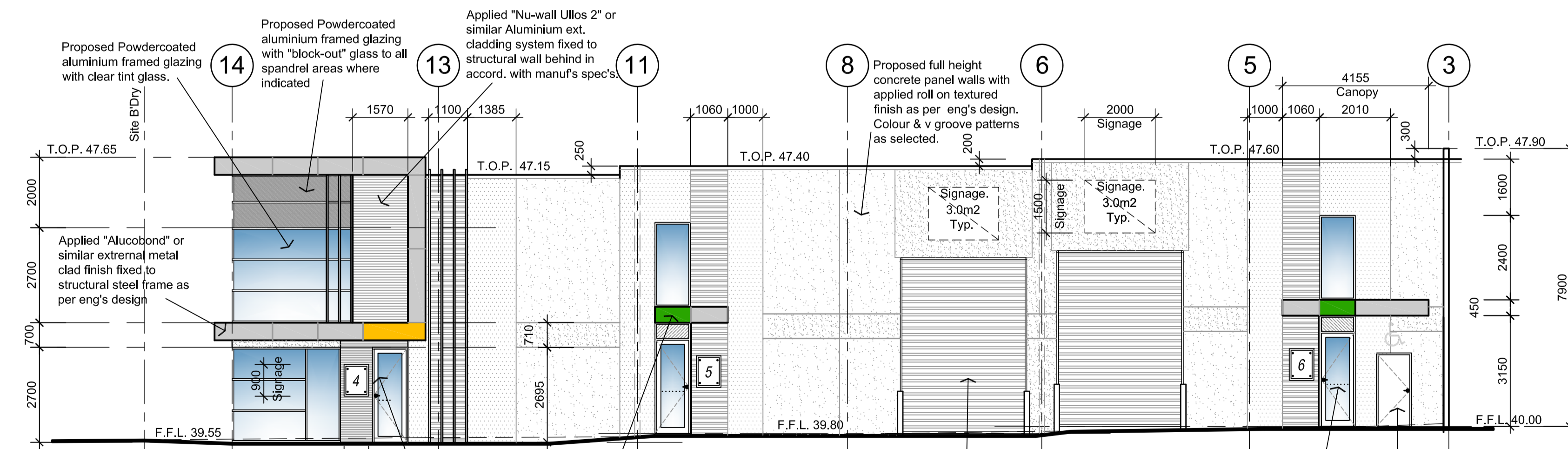
East Elevation 1:100



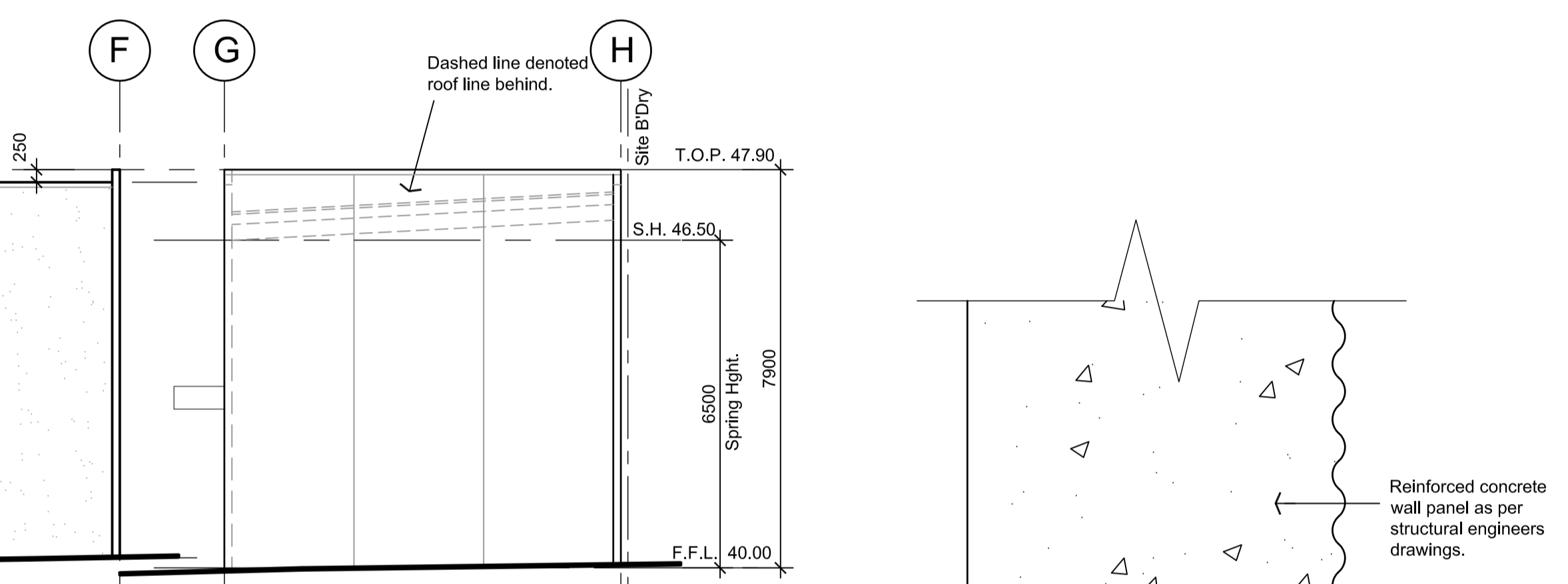
West Elevation 1:100



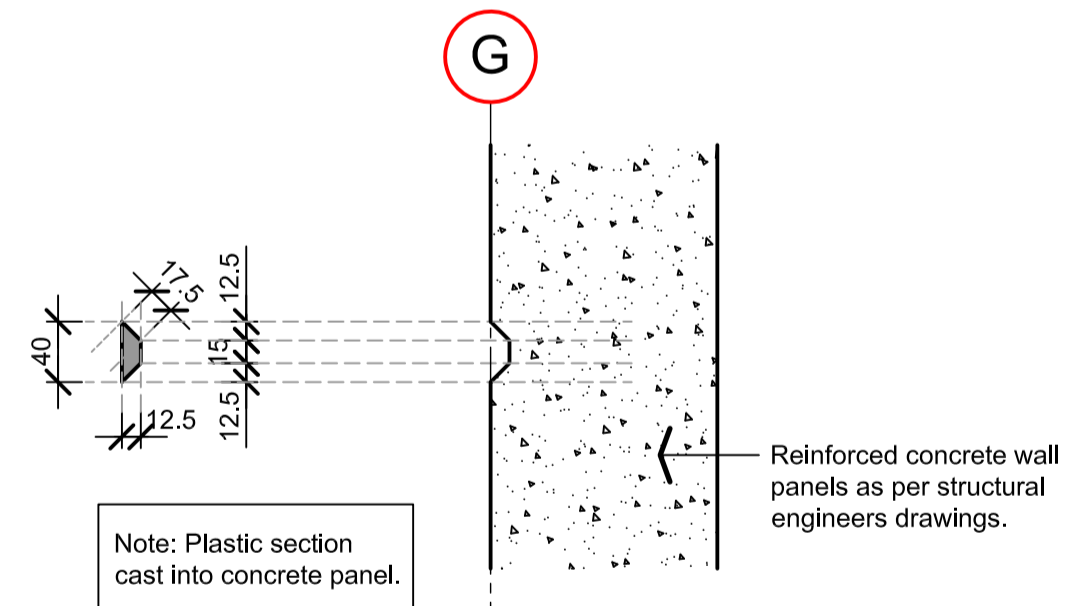
West Elevation 1:100



North Elevation 1:100



Section - Typ. External "Mini Orb" or similar Wall Profile
SCALE 1:2



V-Groove Detail (Typical)
SCALE 1:5

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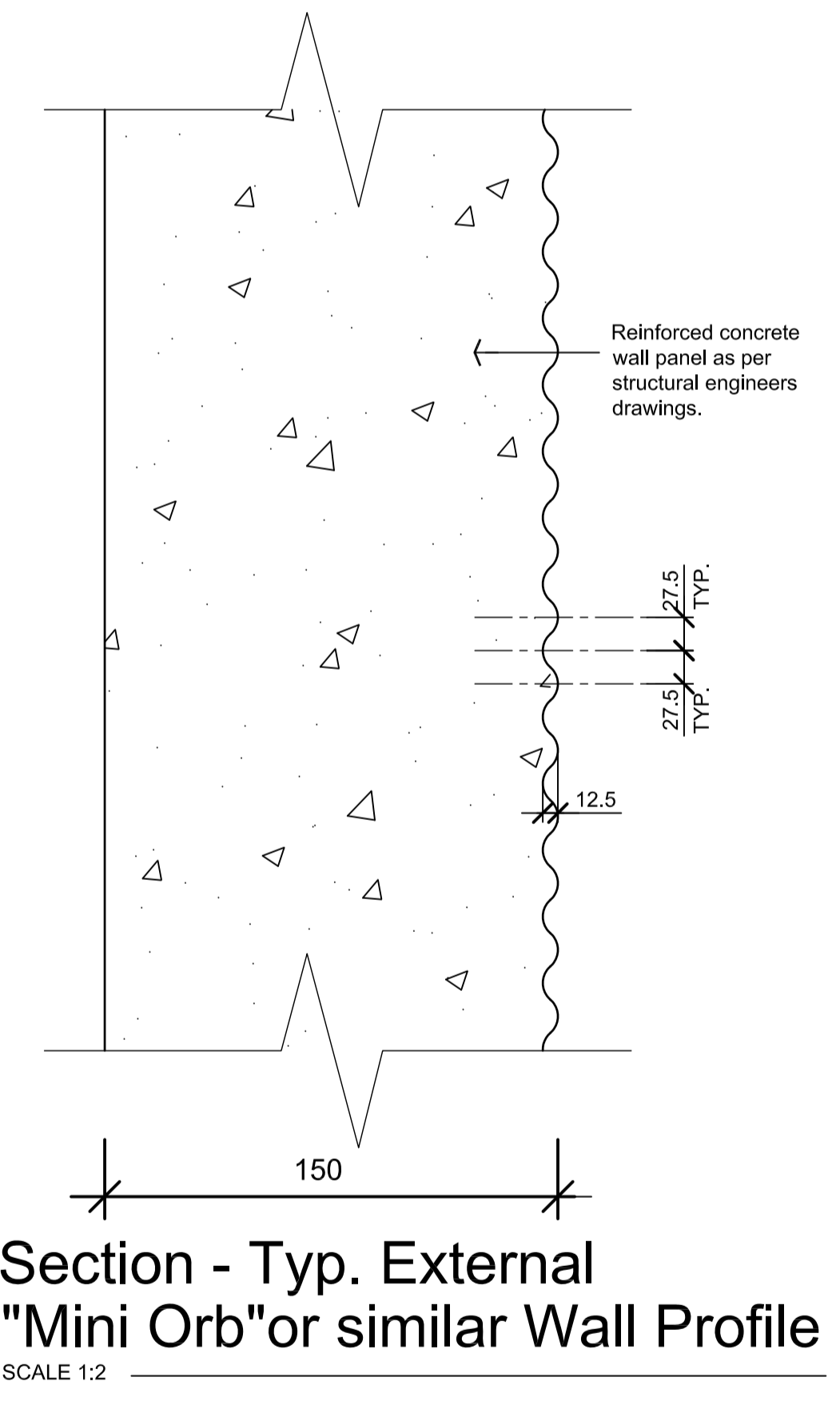
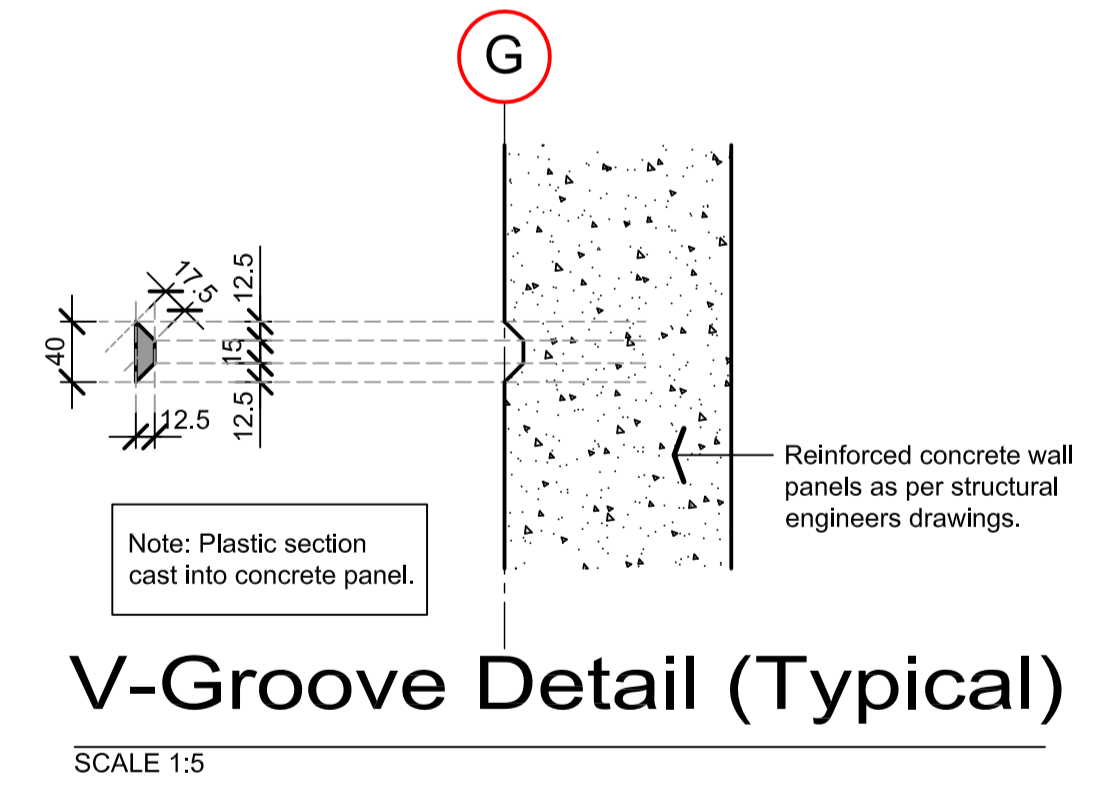
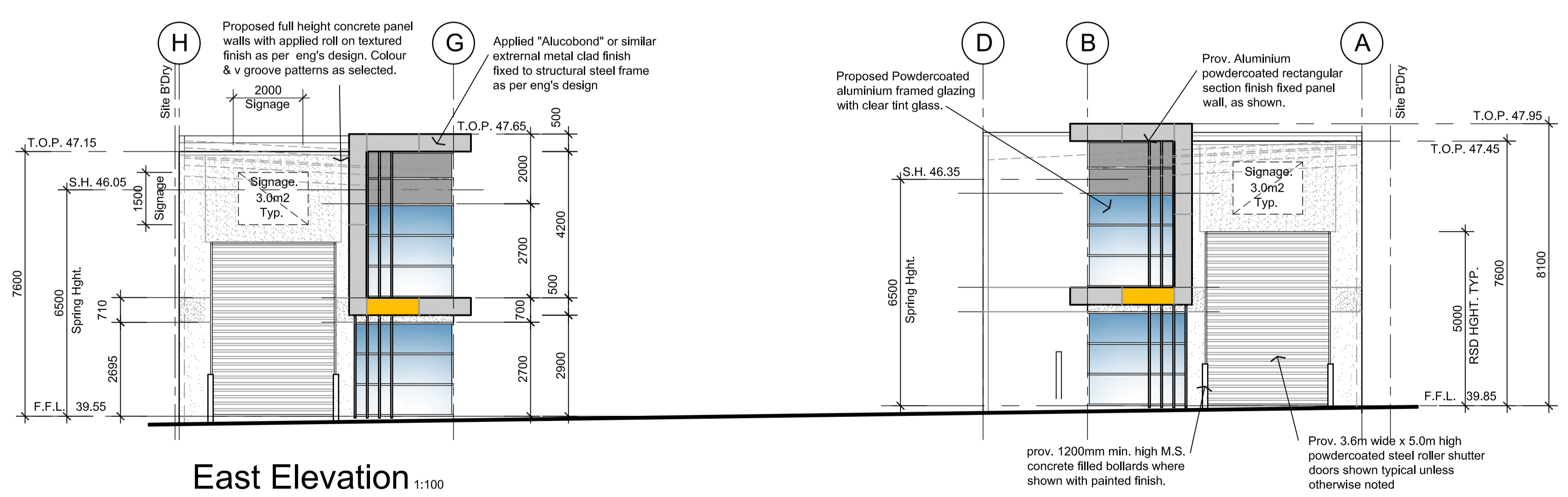
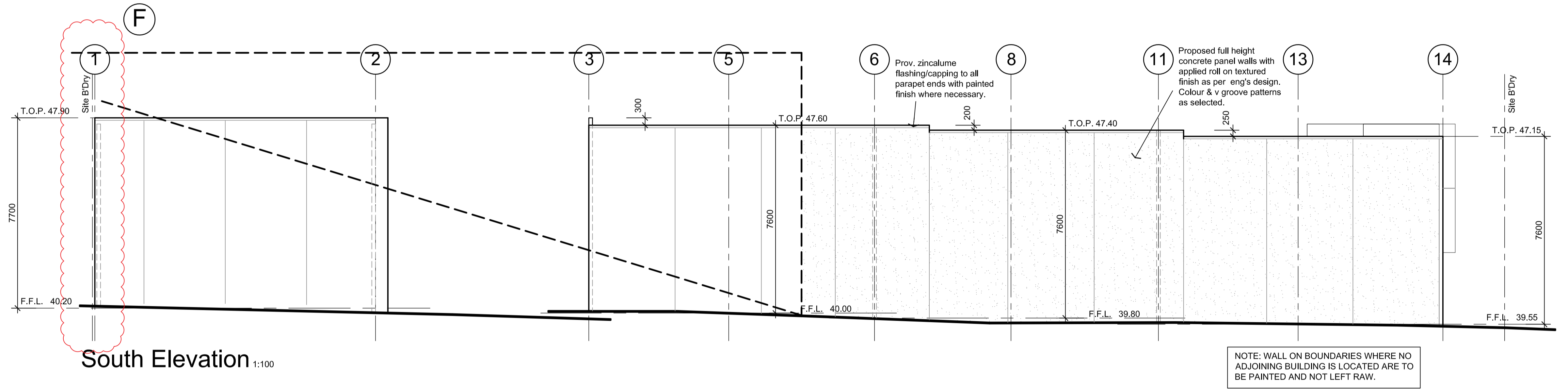
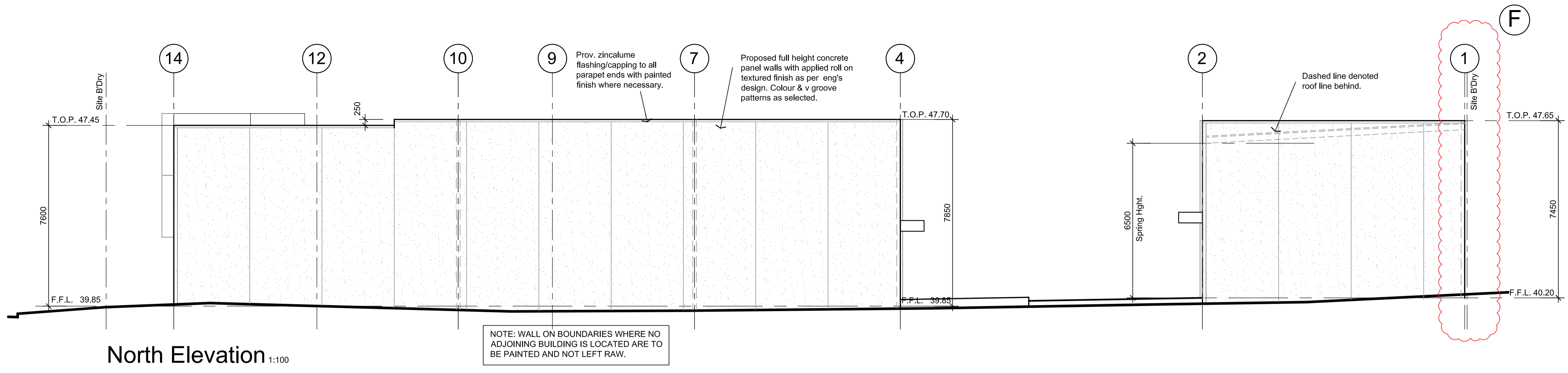
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drawing title		orientation	
ELEVATIONS			
date MAR. 2015	scale 1:100	drw no. A5	
drawn M.A.	checked B.B.	job no. 131022	



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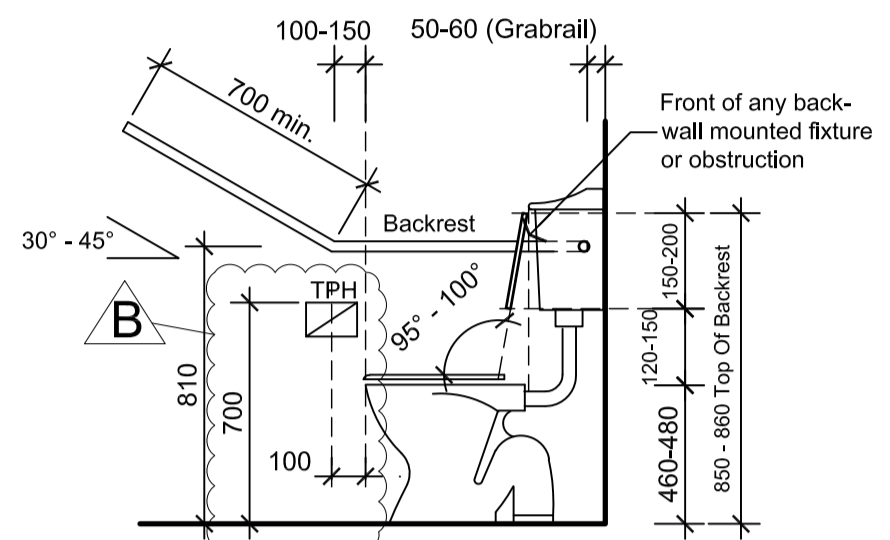
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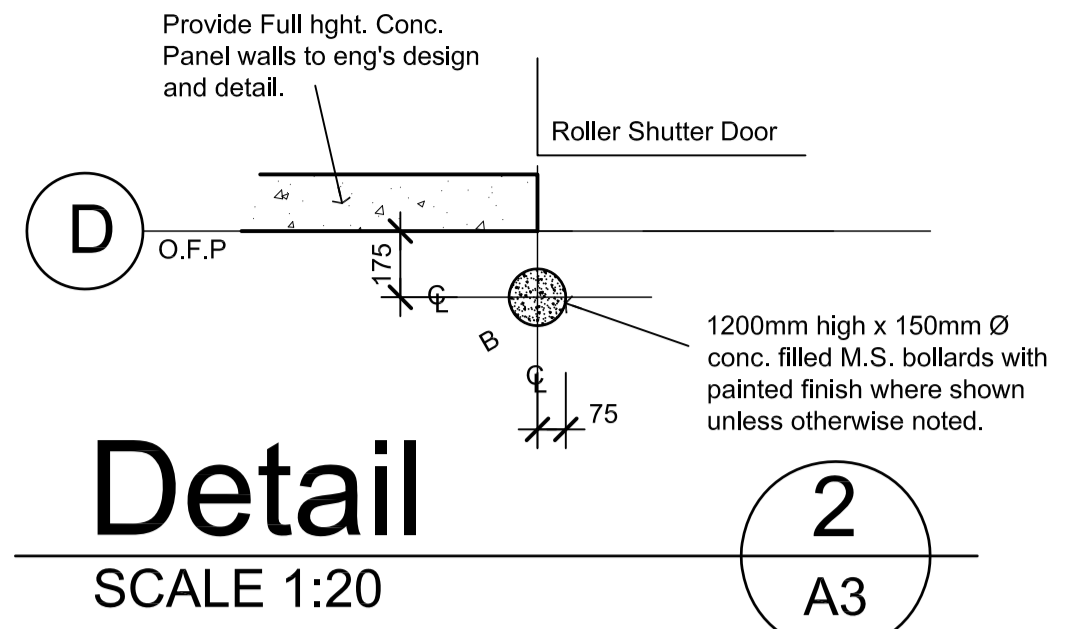
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TILES TO BE USED AS FLOORING MATERIAL FOR ALL WET AREAS.

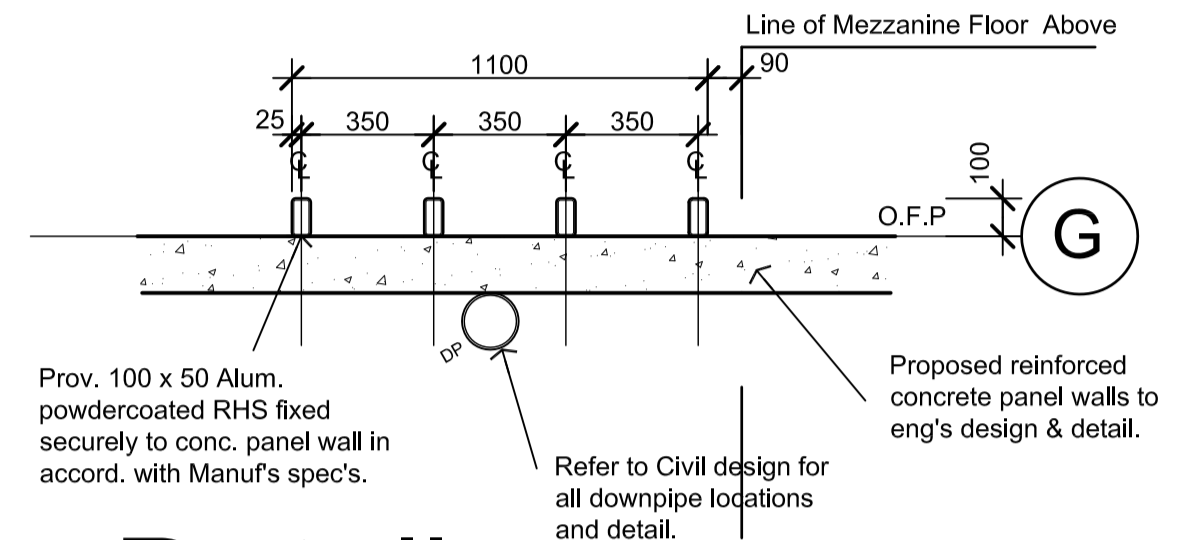
NOTE:
DISABLED PERSONS AMENITIES TO COMPLY FULLY WITH A.S. 1428.1 - 2009. BACKREST TO ACCESSIBLE TOILETS TO BE IN ACCORDANCE WITH AS 1428.1-2009 CLAUSE 15.2.4



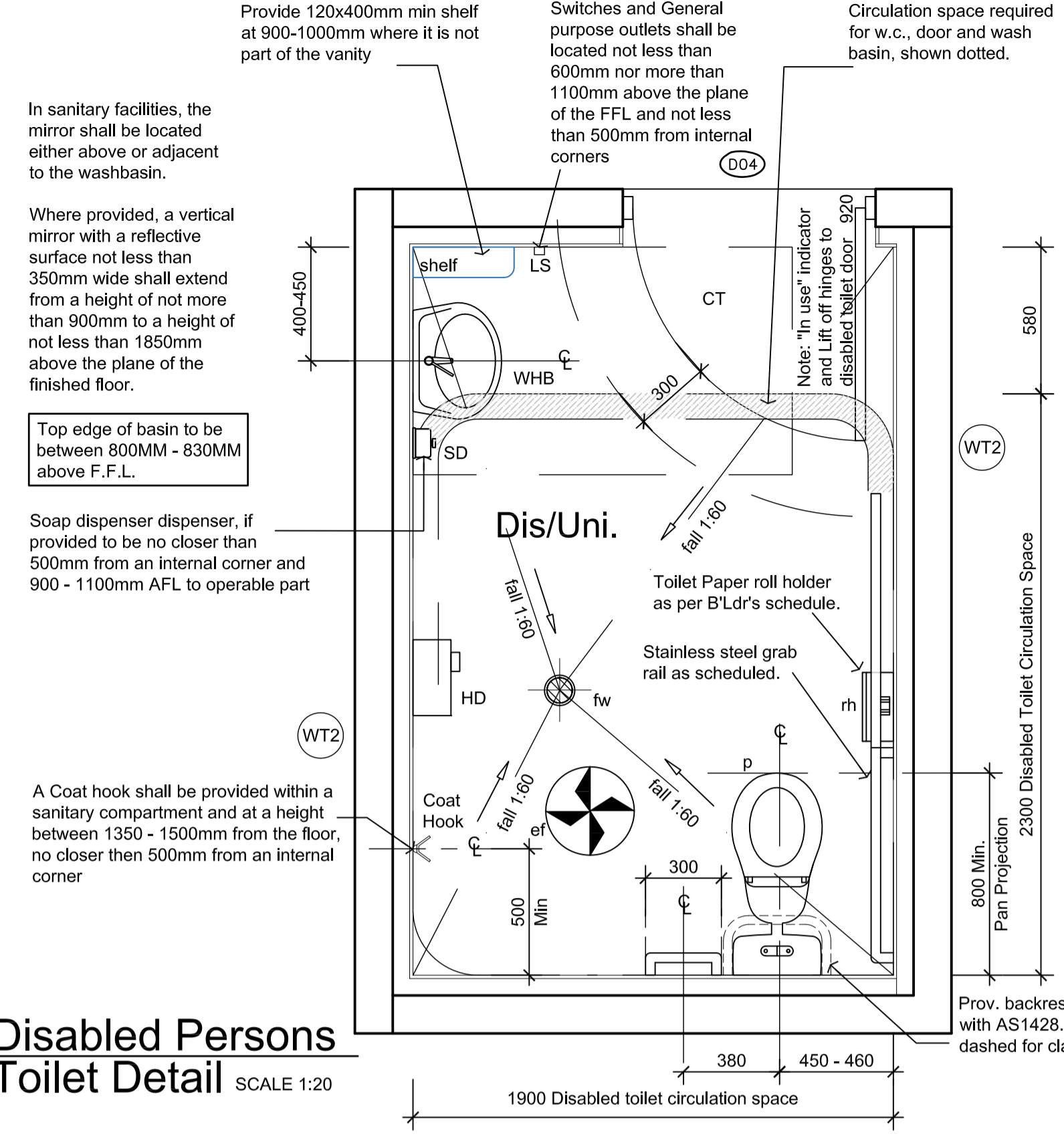
Elevation
SCALE 1:20



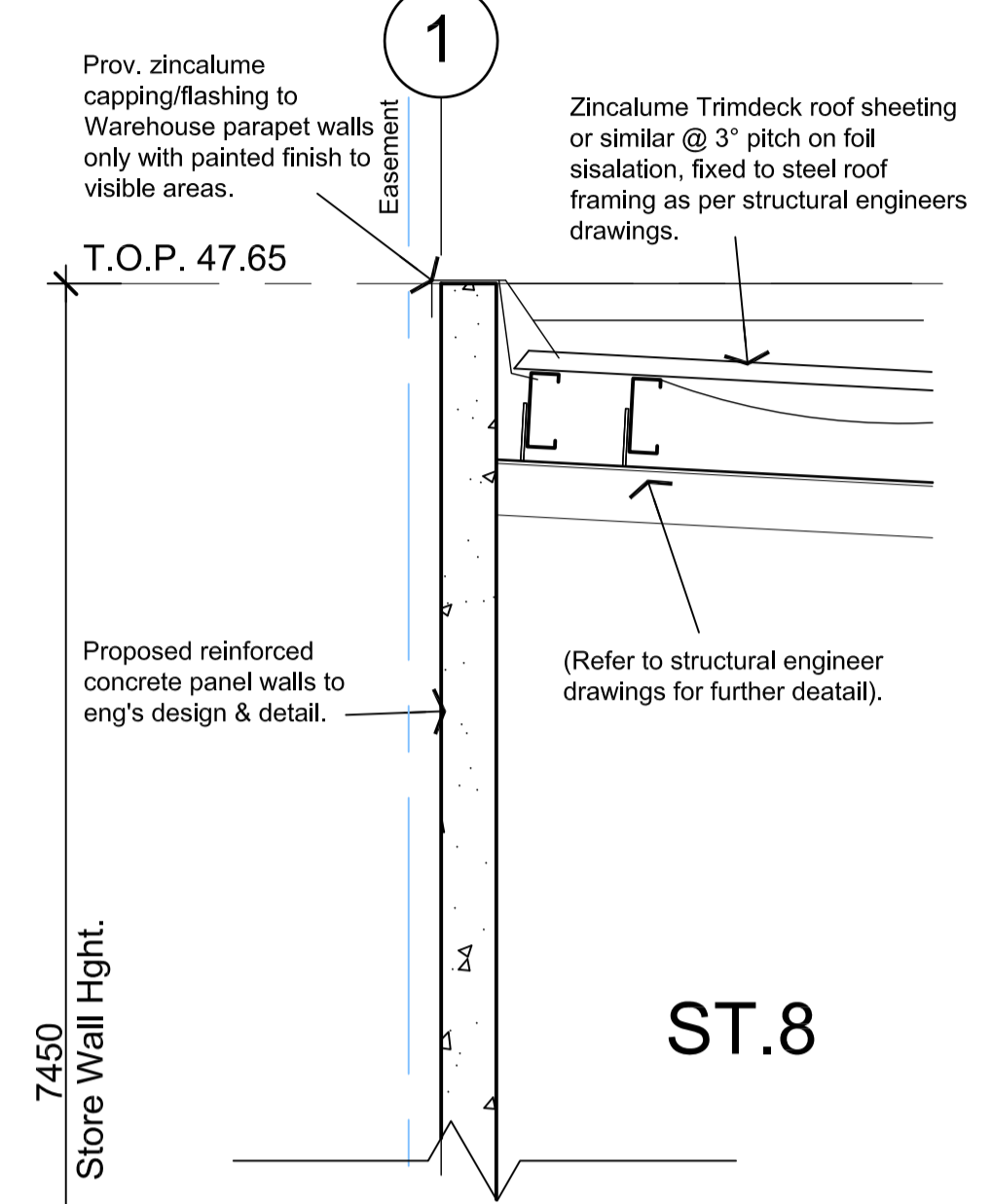
Detail
SCALE 1:20



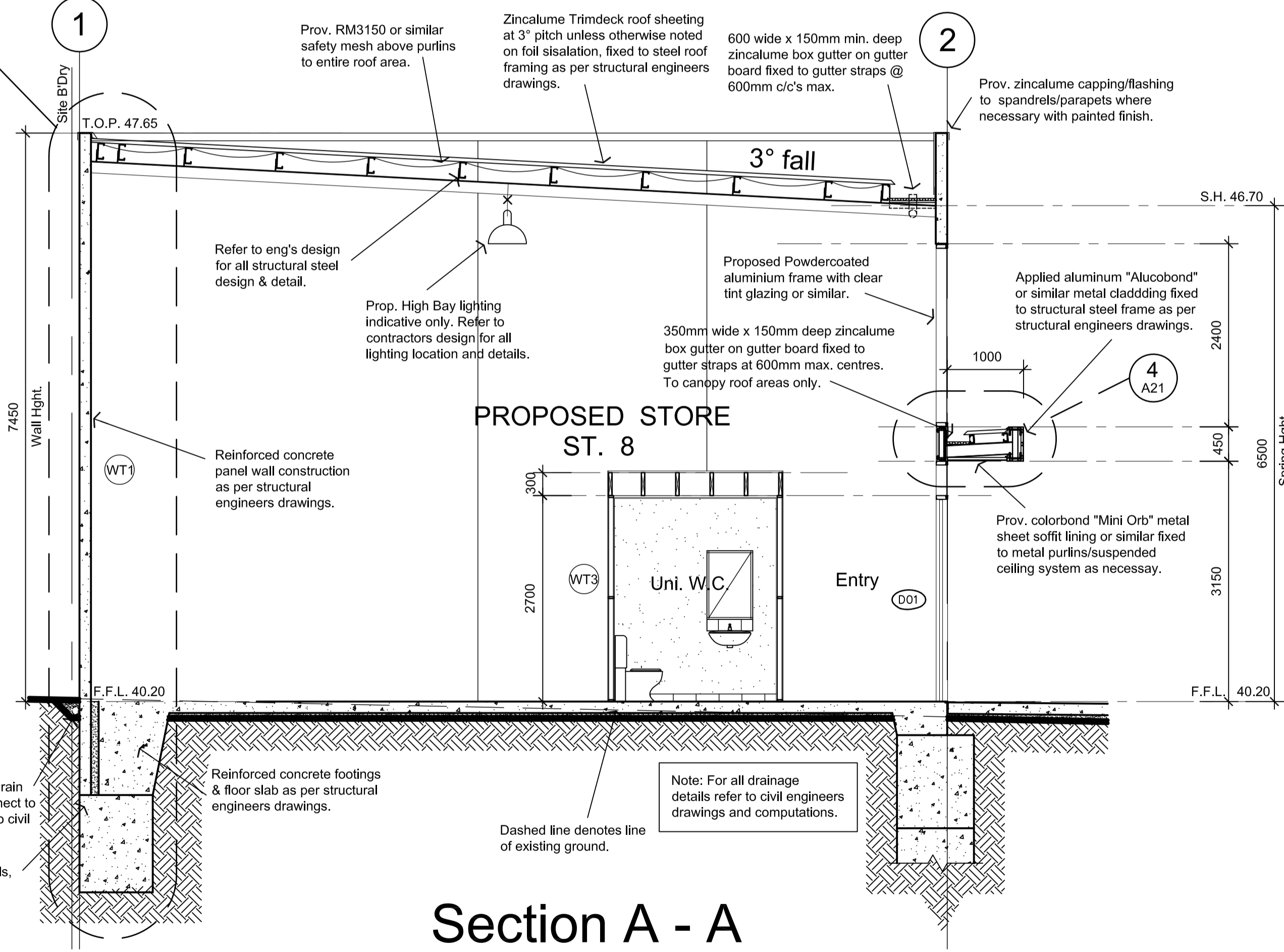
Detail
SCALE 1:20



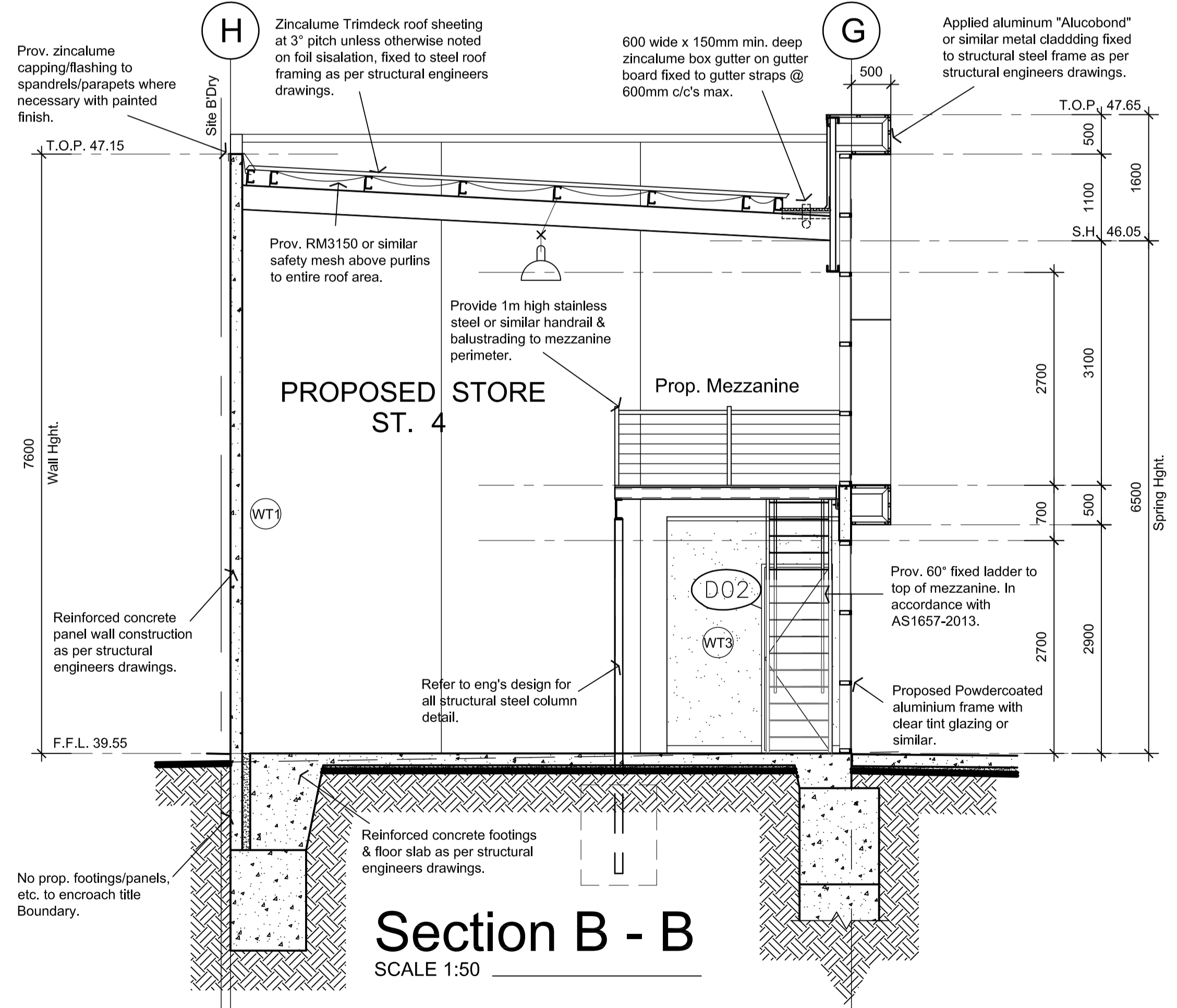
Disabled Persons Toilet Detail
SCALE 1:20



ST.8



Section A - A
SCALE 1:50



Section B - B
SCALE 1:50

Detail
SCALE 1:20

1
A14

No.	DATE	DESCRIPTION	APP'D.
P1	15.04.14	BUILDING PERMIT PRELIMINARY ISSUE	M.A.
B	04.08.16	AMENDED AS PER SURVEYOR REQUEST	N.S.
E	01.08.17	AMENDED AS PER CLIENT REQUEST	D.G.

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project
**PROPOSED WAREHOUSE/OFFICE DEVELOPMENT AT:
NO. 15 SULLIVAN STREET,
MOORABBIN**

client
VILNO P./L.

BB DESIGN GROUP
BUILDING DESIGNERS

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drawing title	orientation
SECTIONS & DETAILS	
date MAR. 2015	scale 1:50/20
drawn M.A.	checked B.B.
drg no. A7	job no. 131022

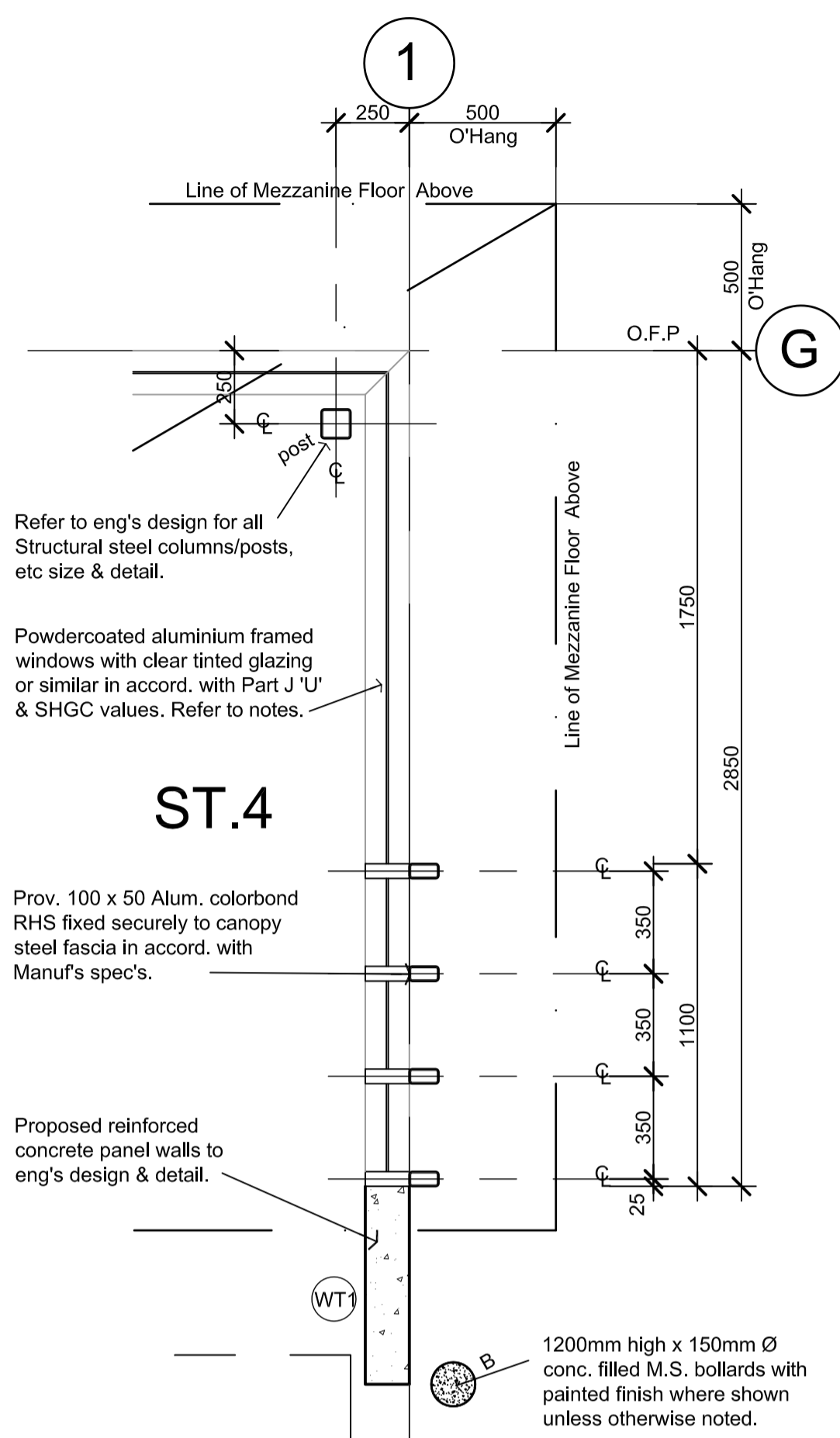
CONSTRUCTION ISSUE

TO BE USED FOR CONSTRUCTION PURPOSES

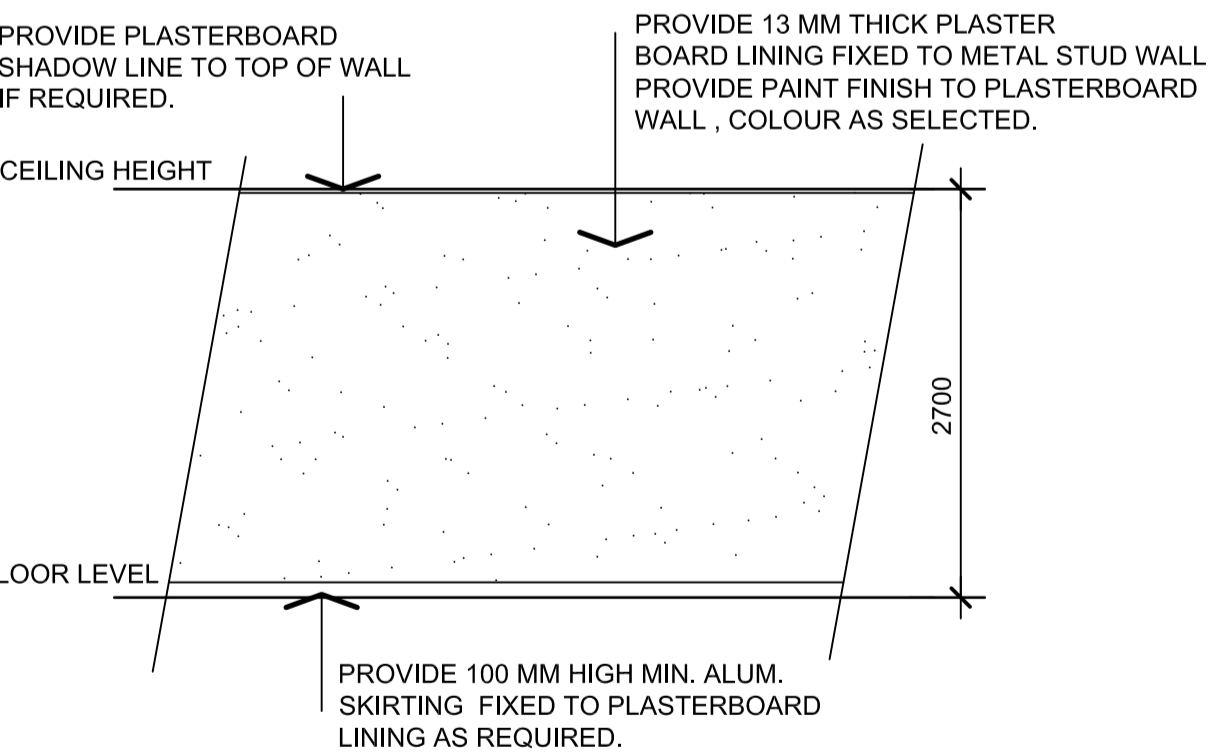
NOTE:
ALL ARCHITECTURAL DRAWINGS TO BE
READ IN CONJUNCTION WITH
STRUCTURAL DRAWINGS AS PREPARED
J.LIAPIS & ASSOCIATES ENGINEERS.

WALL TYPE LEGEND:

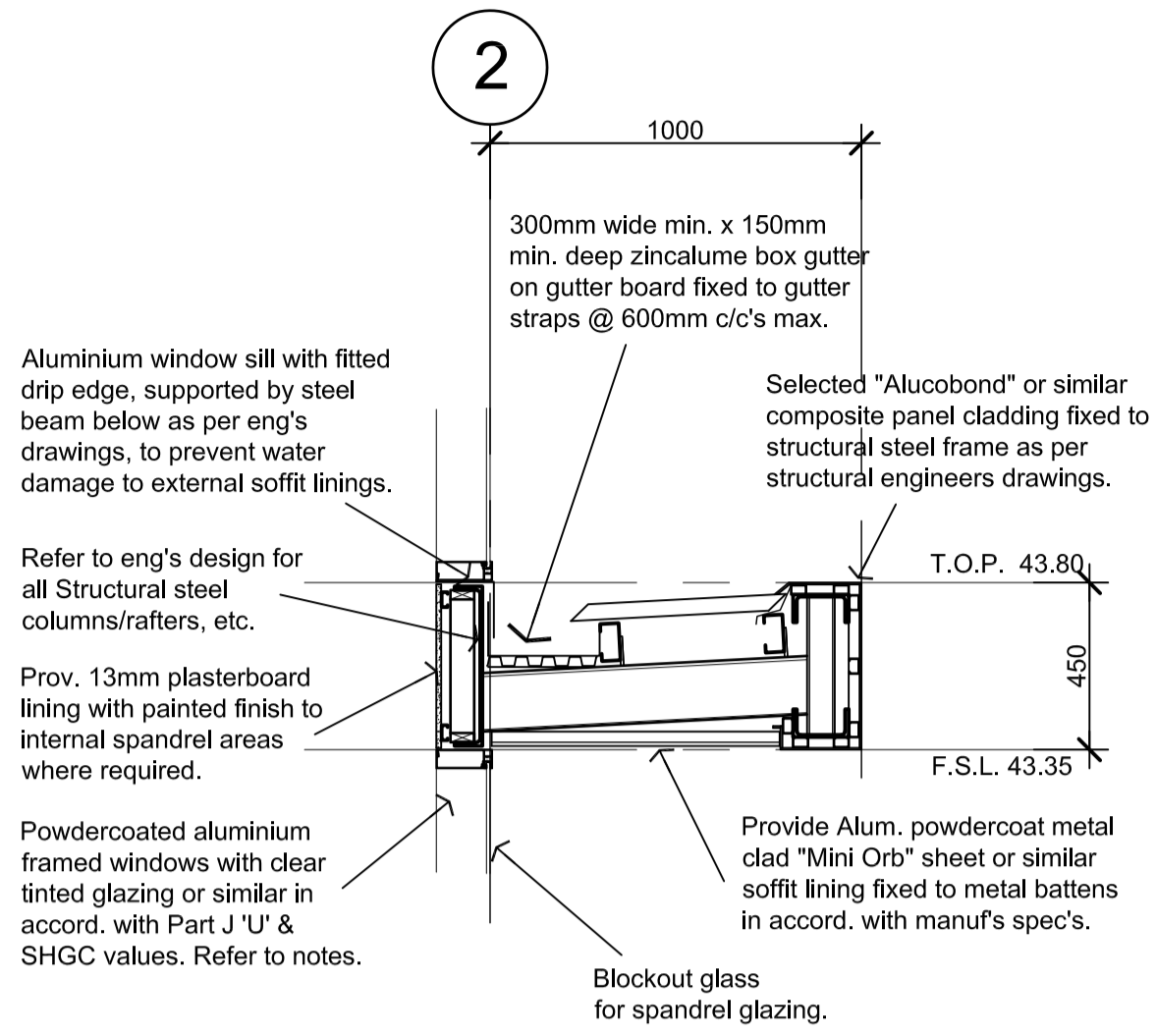
- WT1 Structural Concrete Panel Wall to eng's design and detail. Prov. external finishes in accord. with material and color schedule including all grooves. (Vert. & Horiz.)
- WT2 Structural Concrete Panel Wall with 13mm plasterboard internal lining fixed to metal battens in accord. with manuf's spec's. Refer to detail for further information.
- WT3 Solid partition (Timber stud & plasterboard) to 2700mm high (floor to ceiling) unless otherwise noted.
- WT4 Concrete Panel external walls to parapet height with "Nu-Wall Ullos 2" or similar aluminium clad. finish to external facade in accord. with manuf's spec's. Refer to material and color schedule.



Detail
SCALE 1:20
A14



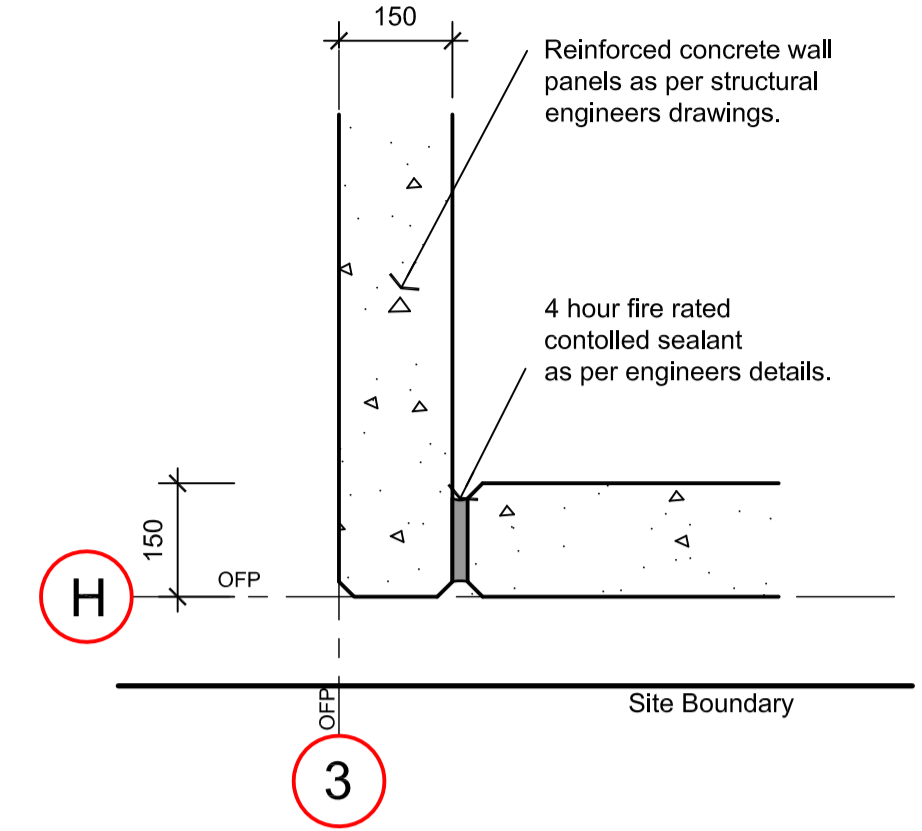
Full height Plasterboard lined partition Wall (WT2)



Detail
SCALE 1:20
A14

Section - Typ. External Wall Treatment "WT2"

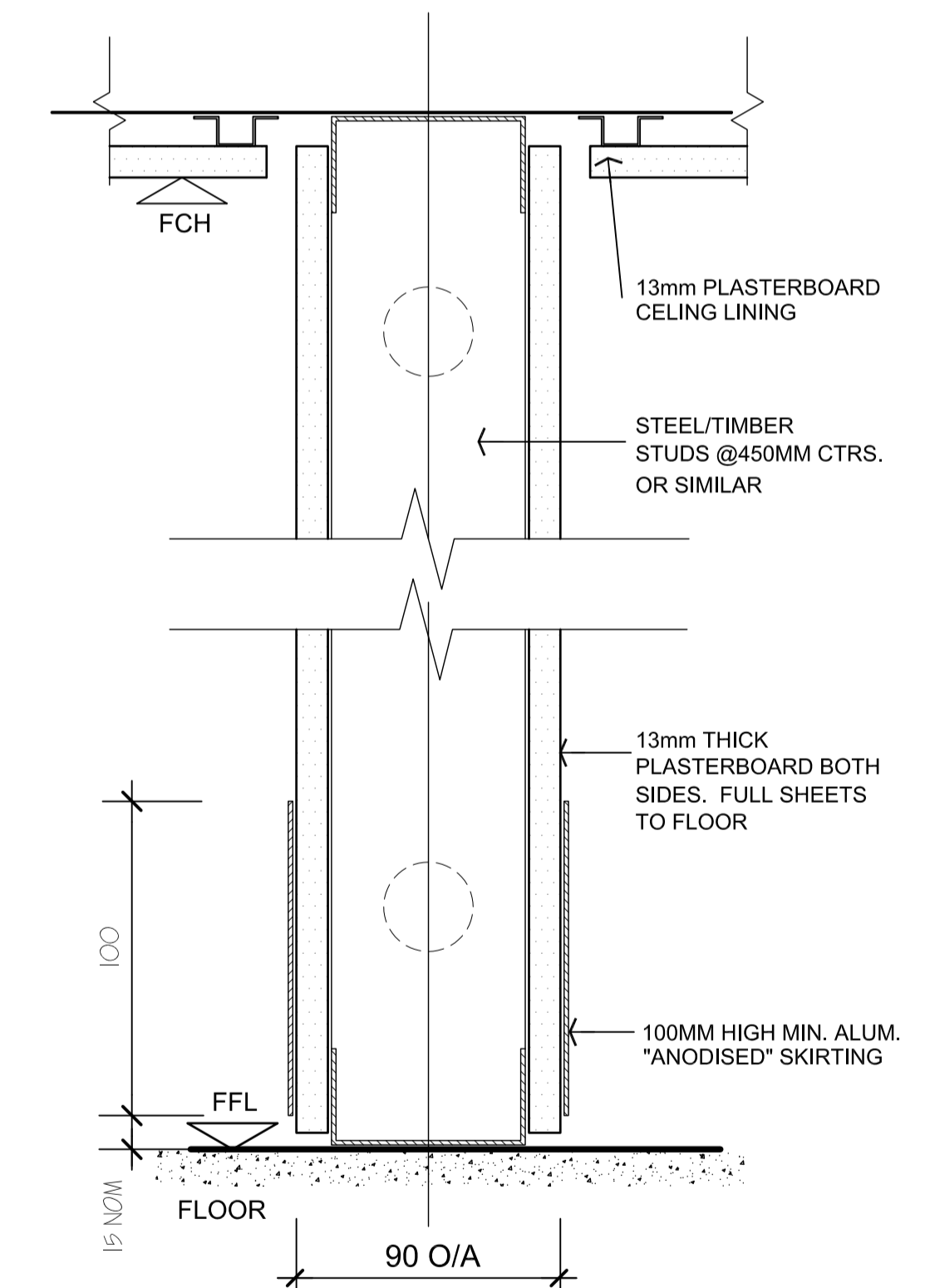
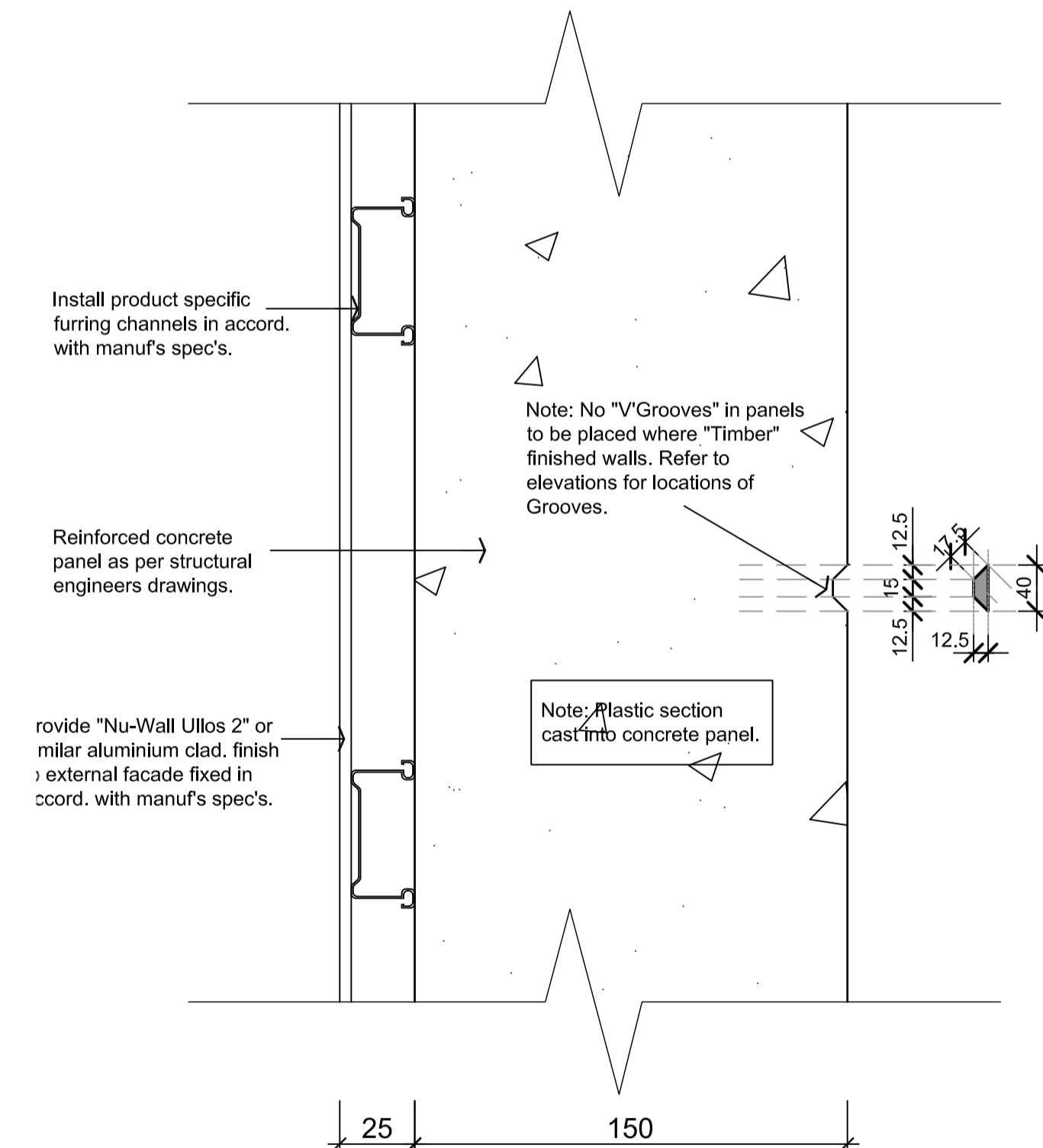
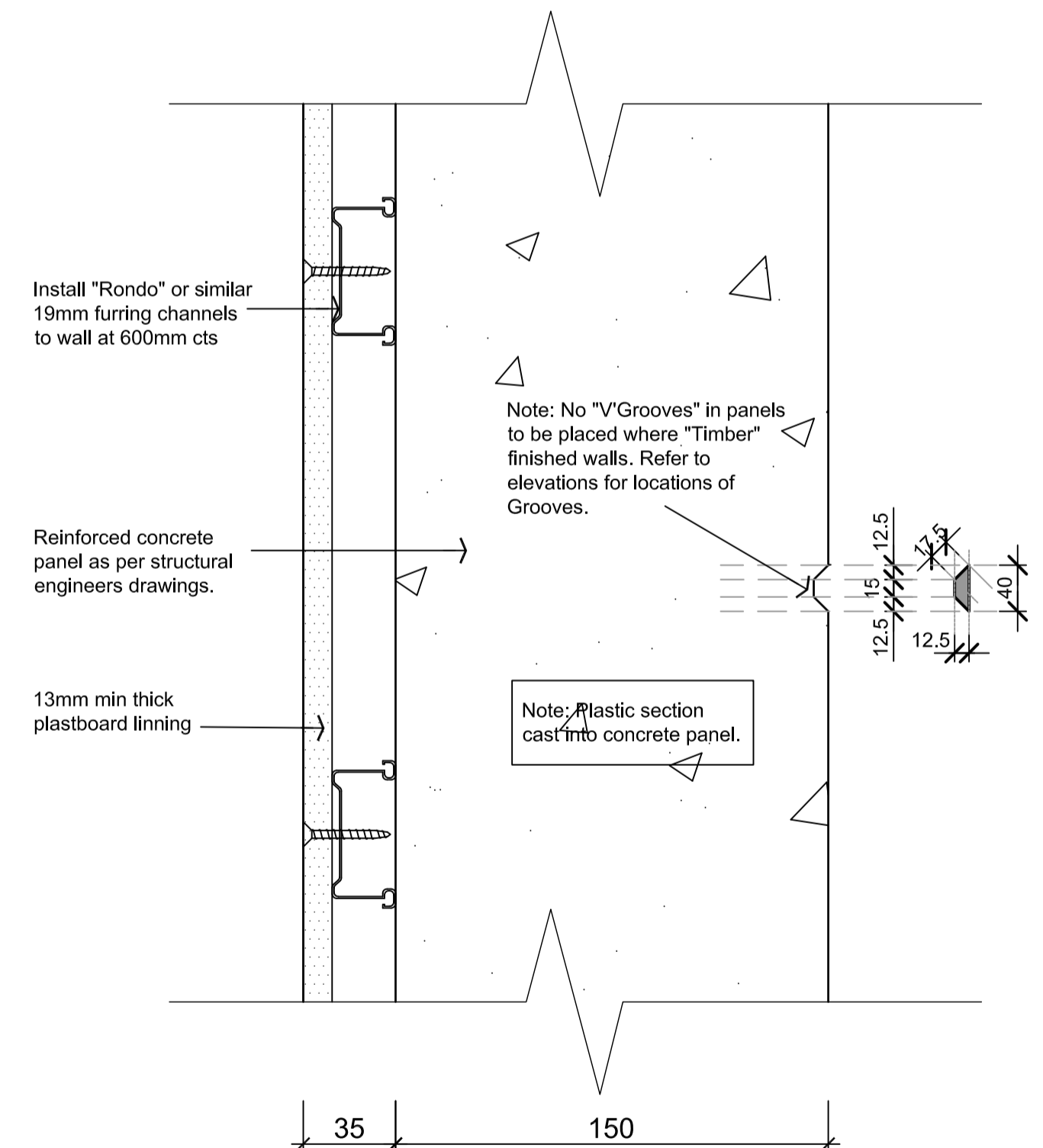
SCALE 1:2 (WT1 SIMILAR NO PLASTERBOARD. REFER TO ELEVATIONS FOR FURTHER DETAIL)



Detail (Typ)
SCALE 1:10
A2

Section - Typ. External Wall Treatment "WT4"

SCALE 1:2



Section - Typ. Internal Partition Type "WT3"

SCALE 1:2

REVISIONS:			
No.	DATE	DESCRIPTION	APP'D.
P1	15.04.14	BUILDING PERMIT PRELIMINARY ISSUE	M.A.
B	04.08.16	AMENDED AS PER SURVEYOR REQUEST	N.S.

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MEMBER
bdcv
Building Designers
Association of Victoria

drawing title		orientation
WALL PARTITION & DETAILS		
date MAR. 2015	scale 1:2/20	drw no. A8
drawn M.A.	checked B.B.	job no. 131022