

Gympie Hospital

Coles &  
Gympie CBD

Bruce Highway

University of the  
Sunshine Coast



Outline & locations indicative only

**LOT 57 BANKS POCKET ROAD,  
GYMPIE QLD 4570**

# INFORMATION MEMORANDUM

PREPARED BY RAY WHITE SPECIAL PROJECTS QLD  
MAY 2019





Gympie State  
High School

Coles &  
Gympie CBD

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# THE OPPORTUNITY

Ray White Special Projects (Queensland) have pleasure in offering for sale, the property at Lot 57 Banks Pocket Road, Gympie.

An opportunity exists to acquire a 8.418Ha\* approved residential development site in Gympie. Property highlights include:

- 40 minutes\* to Noosa
- Land area 8.418Ha\*
- Zoned Urban (Rural Residential) - min lot size 4,000m<sup>2</sup>
- Includes current DA for 54 x small lot subdivision (average 802m<sup>2</sup>\*) and further subdivision opportunity
- 3.5km\* from Gympie Town Centre

As the exclusive marketing agent, I encourage your strong consideration of this outstanding asset and look forward to assisting you with your enquiries. Price guidance is \$650,000 but owner will consider all offers.



**Andrew Burke**  
**Ray White Special Projects (QLD)**

M 0417 606 128

E [andrew.burke@raywhite.com](mailto:andrew.burke@raywhite.com)

\*Approximately

^Subject to Council Approval

Important: Prospective purchasers conduct due diligence investigations of the properties strictly at their own expense and risk, and the vendor will have no liability in relation to such expenses. Consent by the vendor to the conduct by any potential purchaser of due diligence activities or investigation will not in any circumstance be construed as a representation that the vendor will be exercising, or refraining from exercising its rights to deal with the properties, or any representation that the vendor intends to contract with that potential buyer, or at all.

# PROPERTY OVERVIEW

Address	48-52 Banks Pocket Road, Gympie (also referred to as Lot 57 Banks Pocket Road, Gympie)
Real Property Details	Lot 57 on SP202504
Title Reference	50669642
Land Area	8.418Ha*
Local Authority	Gympie Regional Council
Zoning	Urban (Rural Residential)
Frontage	290m* to Banks Pocket Road
Services	Sewer located nearby to the south at 23 Banks Pocket Road. Includes overhead electricity, underground telecommunications (within NBN area) and reticulated water
Town Planning	The property is zoned "Rural Residential" under the current Town Planning Scheme for the Gympie Regional Council. The site is within the Urban Footprint; under the South East Queensland Regional Plan.
Overlays	Council records indicate that the property is subject to the following critical overlays: <ul style="list-style-type: none"><li>• Bushfire Hazard – Medium bushfire risk (most of property)</li><li>• Conservation Significant (minor only about 2800m2)</li><li>• Good Quality Agricultural Land – Class C (all of property)</li></ul>
Road and Access	The site benefits from approximately 285 metres of road frontage to Bank Pocket Road, along the sites eastern boundary. Banks Pocket Road forms a local thoroughfares within the Gympie Region, connecting with Bath Terrace to the south.
GST	Not applicable



\*Approximately

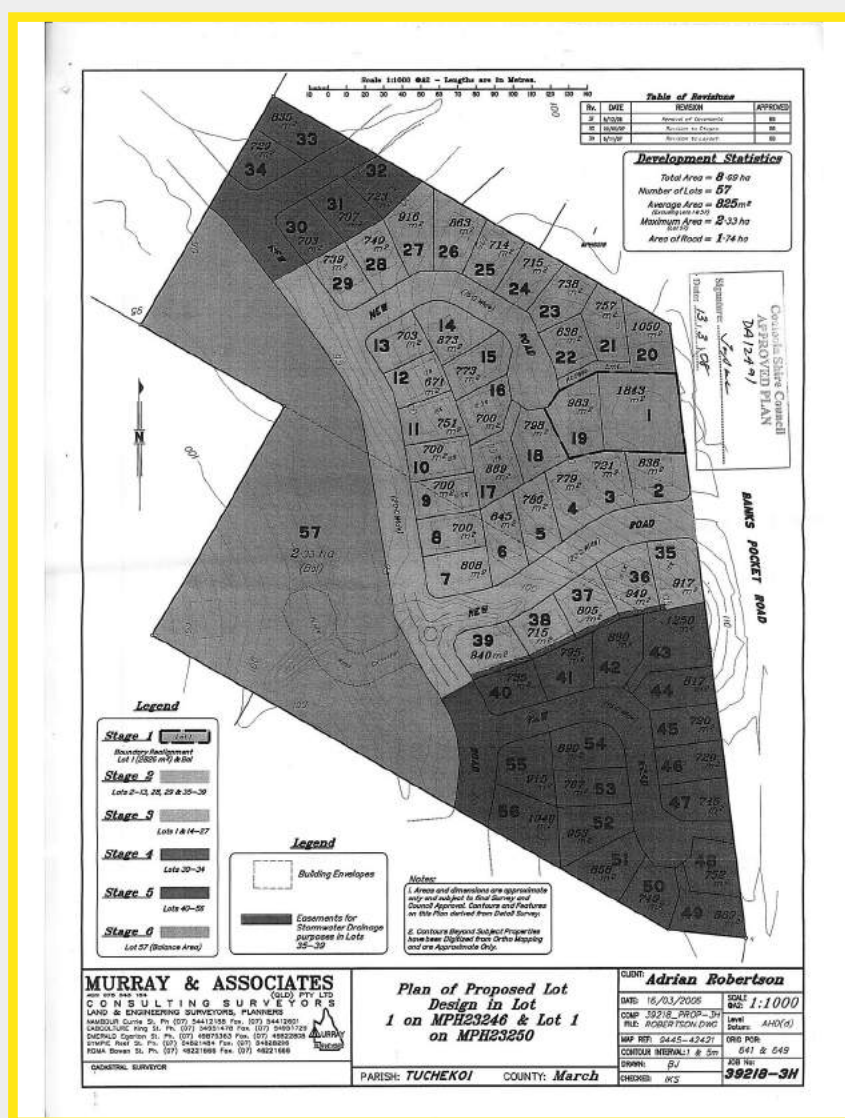
# DEVELOPMENT OVERVIEW

A development permit for both a material change of use of premises to change the land use entitlements to the Housing Zone and for reconfiguring a lot being a subdivision of the Lot 1 on MPH23250 and Lot 1 on MPH23246 into fifty-six (56) additional Lots was issued by the former Cooloolo Shire Council on 31st May 2007 under Council reference DA12491. Council subsequently agreed to formal request to extend the currency period of the 2007 development approval until the 31 August 2014 in an amended decision notice dated 16 August 2013. There were no conditions in the 2013 amended development approval that nominated dates by which plans for reconfiguring for Stage 2 and 6 need to be lodged with Council for Council's approval. Consequently the development approval for reconfiguring a lot for stages 2 to 6 did not lapse and therefore remains valid in perpetuity.

The current development approval involves the subdivision of Lot 57 on SP202504 into proposed Lots 2 to 57 (55 lots and balance lot). The proposed lots in Stages 2- 6 will range from 636 m<sup>2</sup> to 1,250 m<sup>2</sup> and have a median lot size of 795m<sup>2</sup>.

Once Approved Stage 6 is completed there would be an area of approximately 2.33 hectares remaining undeveloped ("the remaining area"). It would be possible to lodge a development application with Council to request a development permit to reconfigure this remaining area into urban residential lots as a potential Stage 7.

Please refer to Town Planning Due Diligence Report in the Annexures for further information.



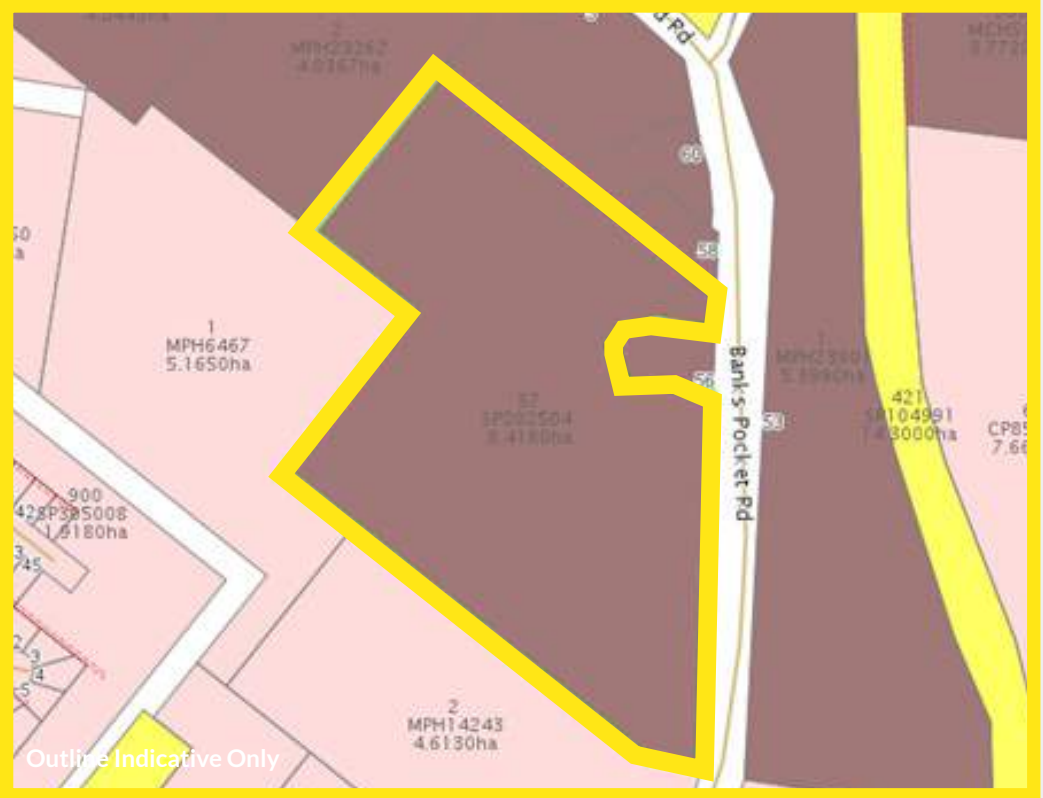
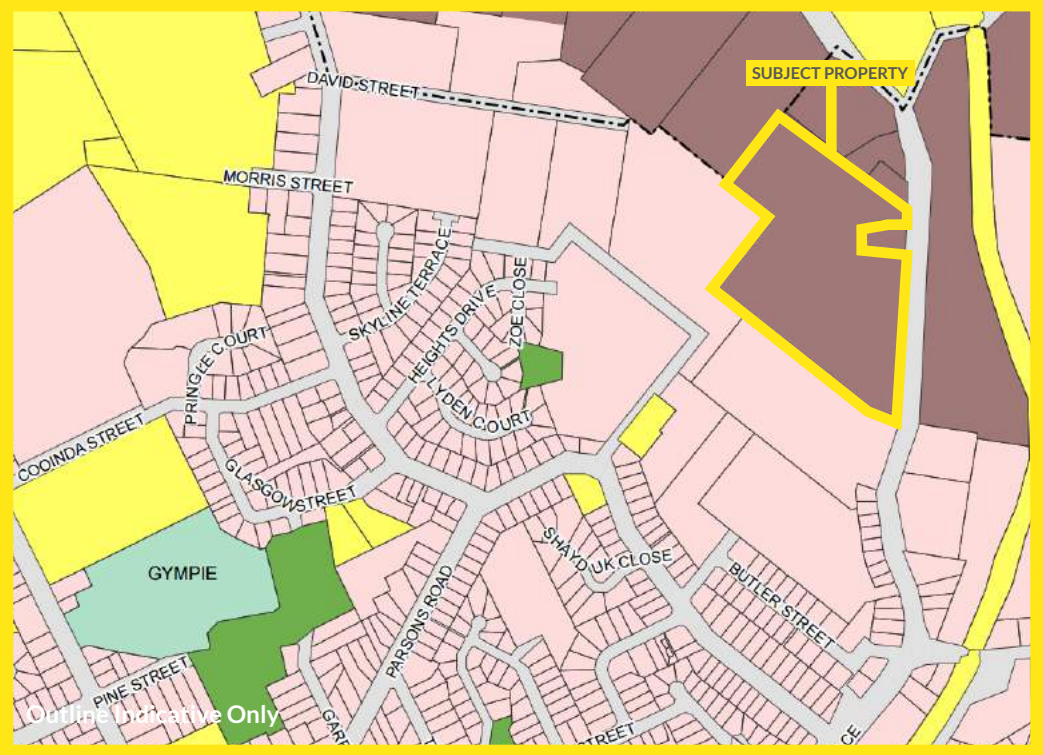
\*Approximately



# TOWN PLANNING

## GYMPIE TOWN PLAN

(Source: Gympie Regional Council)



Residential zones category	
<span style="display:inline-block; width:10px; height:10px; background-color:lightpink;"></span>	Character Residential
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral;"></span>	Residential Living
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral;"></span>	Rural Residential
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral;"></span>	Residential Choice
<span style="display:inline-block; width:10px; height:10px; background-color:lightcoral;"></span>	Tourist Accommodation
Other zones category	
<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>	Community Purposes
<span style="display:inline-block; width:10px; height:10px; background-color:darkgreen;"></span>	Extrative Industry
<span style="display:inline-block; width:10px; height:10px; background-color:darkgreen;"></span>	Environmental Management and Conservation
<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span>	Limited Development (Constrained Land)
<span style="display:inline-block; width:10px; height:10px; background-color:lightyellow;"></span>	Township
<span style="display:inline-block; width:10px; height:10px; background-color:lightyellow;"></span>	Rural
<span style="display:inline-block; width:10px; height:10px; background-color:gray;"></span>	Road

\*Approximately

# LOCATION OVERVIEW

## GYMPIE PROFILE

Gympie, located on the Mary River, is about 170 kilometres\* north of the state capital, Brisbane and is an important service centre in the Wide Bay-Burnett region. It is approximately 50 minutes\* drive to Noosa Heads on the Sunshine Coast and 40 minutes\* drive to Tin Can Bay.

The subject is located just east of the major township, and provides good proximity to all key retail and healthcare amenity within town. The site is positioned in close proximity to the recently completed Bruce Highway Bypass, and is only a few minutes by car from local schools and the General hospital.

The Council identifies the sub-tropical region as “the southern gateway to Fraser Island and also contains the tourism towns of Rainbow Beach and Tin Can Bay”, located “on the doorstep of the World Heritage listed Fraser Island, a short drive to the Sunshine Coast, and is home to an abundance of state and national parks and part of the Great Sandy Biosphere.”

Mary Street is the main strip and retail / commercial precinct of Gympie and is located only 3.5km\* from Subject Property.

State primary schools in the area include Gympie West, Chatsworth, Monkland, Gympie East and Gympie South. State secondary schools include James Nash and Gympie State High and Private schools include Victory College, Cooloola Christian College and St Patrick's. Tertiary campuses include the Wide Bay Institute of TAFE and University of the Sunshine Coast (USC), offering undergraduate study in primary education, nursing, business, and commerce.

The Mary Valley provides rich farm land for livestock and cropping activities; Gympie's primary industries. Other industries include fishing, forestry, gold mining, timber and tourism.

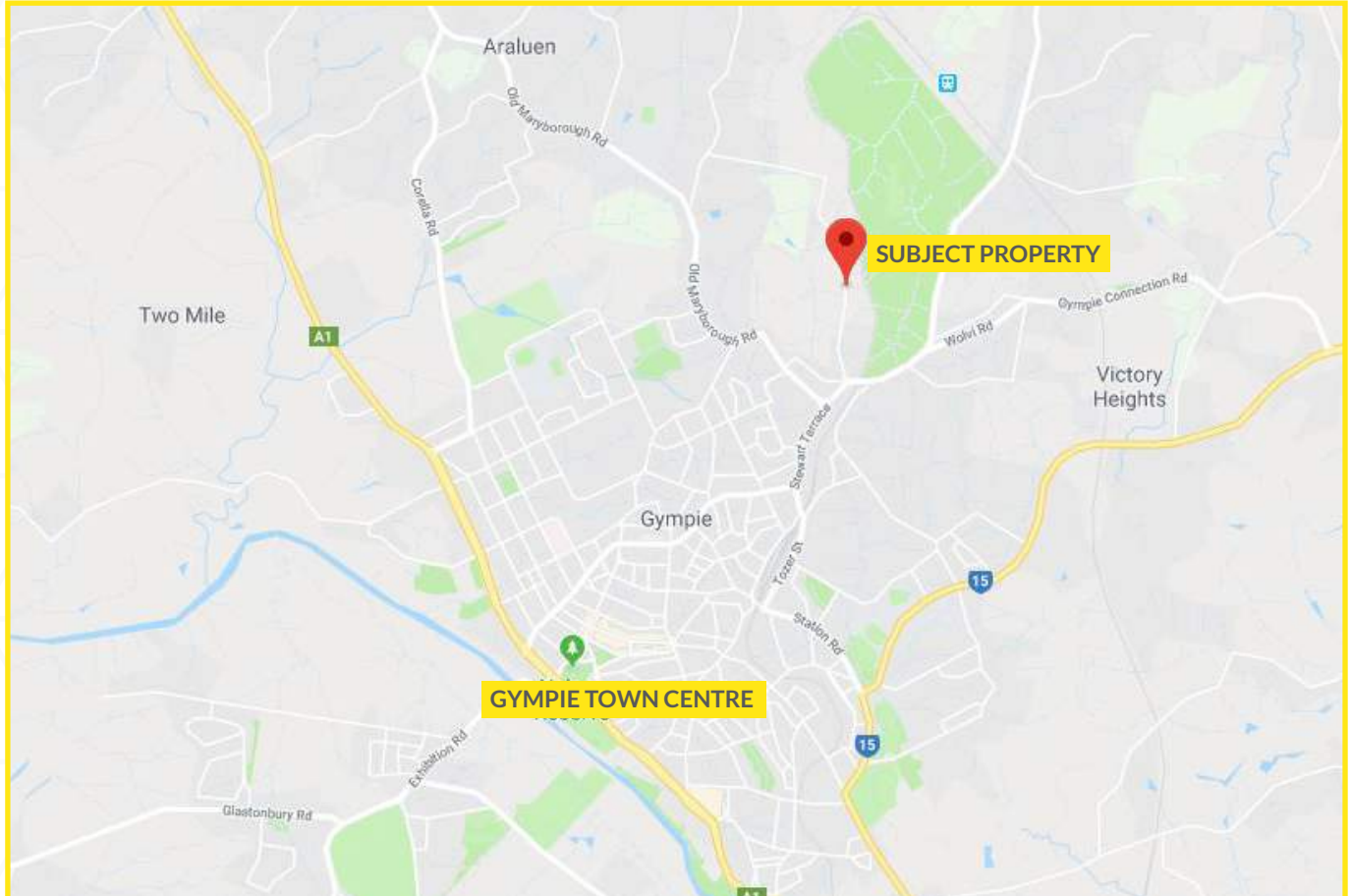
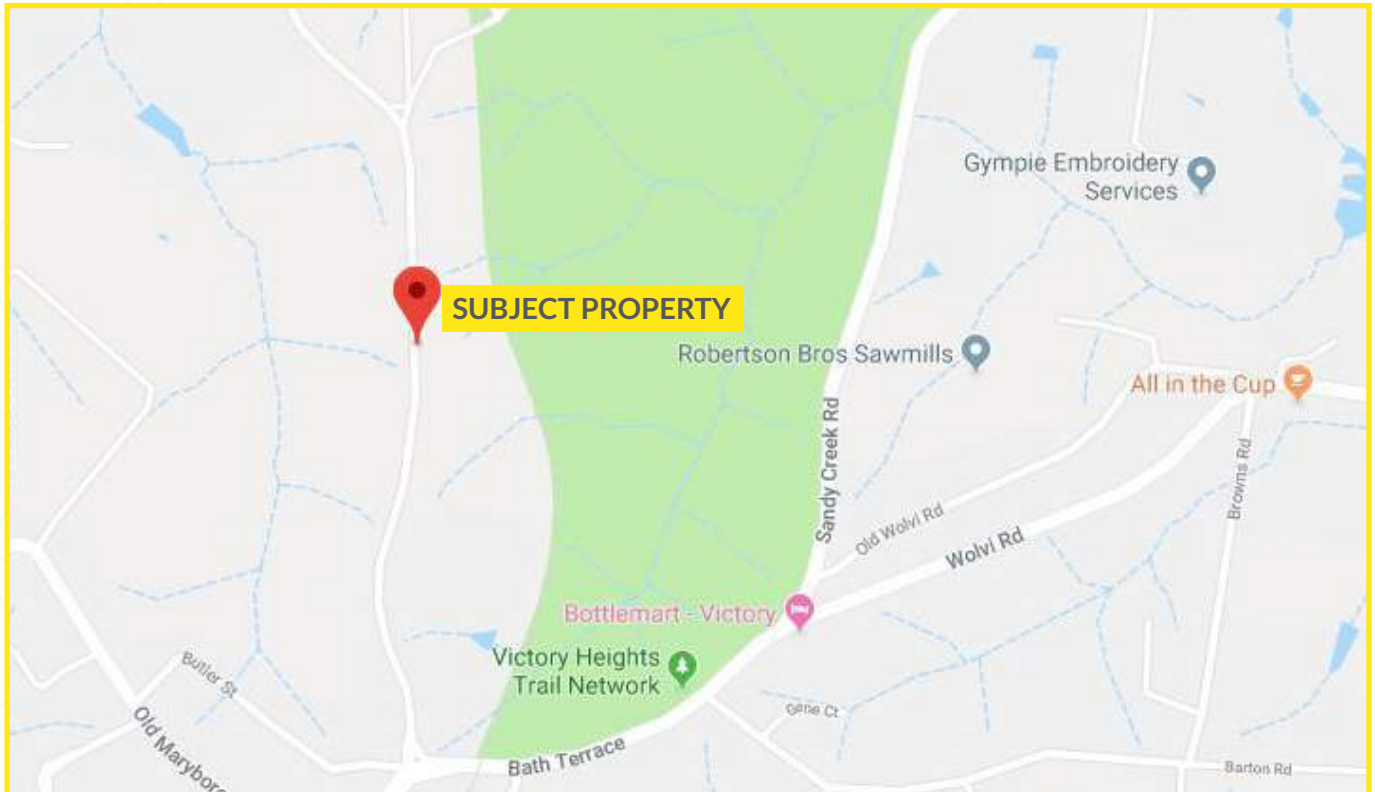
There are several new developments in Gympie in close proximity to the subject property. These include the nearby restoration of the Gympie Train Station to an appealing cafe/ function centre (Mary Valley Rattler) and the Gympie Aquatic Recreation Centre.



\*Approximately



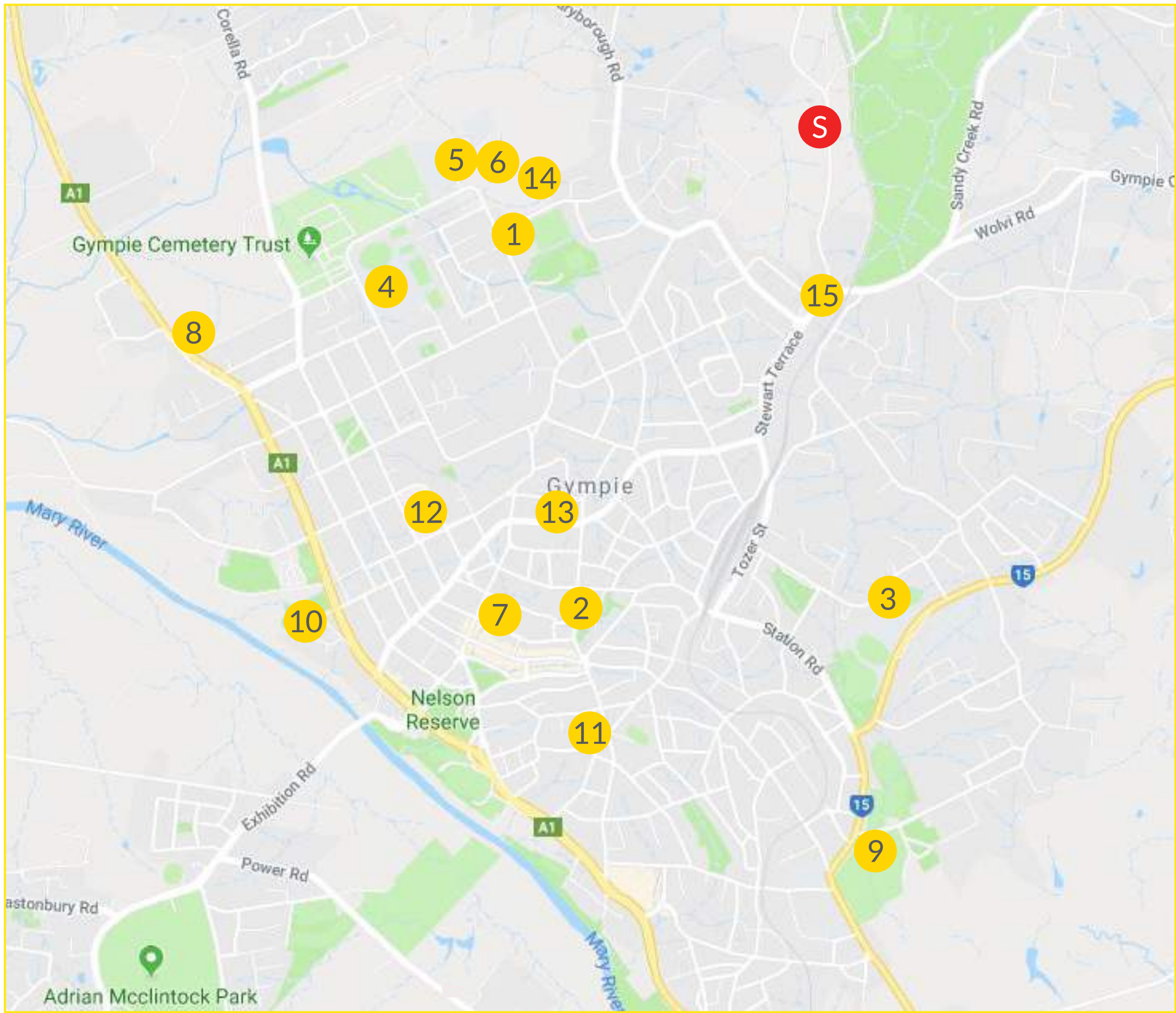
# LOCATION MAP



\*Locations indicative only  
Source: Google Maps



# AMENITIES MAP



**EDUCATION**

- 1. Gympie West Primary School
- 2. Gympie Central Primary School
- 3. Gympie High School
- 4. James Nash State High School
- 5. Gympie Institute Tafe
- 6. Sunshine Coast University Gympie Campus

**SHOPPING**

- 7. Goldfields Plaza

**RECREATION AND PARKS**

- 8. Gympie Golf Course
- 9. One Mile Recreation Area
- 10. Archery Park

**MEDICAL**

- 11. St Patricks Villa
- 12. Gympie Hospital
- 13. Cooloola Community Private Hospital
- 14. Cooina Aged Care Centre

**PUBLIC TRANSPORT**

- 15. Gympie North Station

**S** Subject Property

\*Locations indicative only  
Source: Google Maps



# DISCLAIMER

The information contained in this Information Memorandum and any other verbal or written information given in respect of the properties ("Information") is provided to the recipient ("you") on the following conditions:

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2. All visual images (including but not limited to plans, photographs, specifications, artist impressions) are indicative only and are subject to change. Any measurement noted is indicative and not to scale. All outlines on photographs are indicative only.
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5. We are not valuers and make no comment as to value. "Sold/ leased" designations show only that stock is "currently not available" – not that the properties is contracted/ settled. If you require a valuation we recommend that you obtain advice from a registered valuer.
6. The Information does not and will not form part of any contract of sale for the properties. If an interested party makes an offer or signs a contract for the properties, the only information, representations and warranties upon which you will be entitled to rely will be as expressly set out in such a contract.
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8. We will not be liable to you (to the full extent permitted by law) for any liabilities, costs or expenses incurred in connection with the Information or subsequent sale of the properties whatsoever, whether the loss or damage arises in connection with any negligence, default or lack of care on our part.
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12. The Information must not be reproduced, transmitted or otherwise made available to any other person without our prior written consent.



# SOURCE OF INFORMATION

Page	Content	Source
Page 03	Property Overview	RP Data
Page 04	Development Approval	Gympie Regional Council
Page 05	Town Planning	Gympie Regional Council
Page 06	Location Overview	RP Data
Page 07	Location Map	Google Maps
Page 08	Amenities Map	Google Maps
Annexure A	Photography	Skyepics
Annexure B	Offers to Purchase Form	Ray White Special Projects
Annexure C	Title Search	GlobalX
Annexure D	Town Planning Due Dilligence Report	Martoo Consulting
Annexure E	Comparable Sales Evidence	RP Data
Annexure F	Approved Plans	Owner
Annexure G	Operational Works Approval (Lapsed)	Owner



# ANNEXURE A

## PHOTOGRAPHY















# ANNEXURE B

## OTP FORM

# OFFERS TO PURCHASE FORM

## Offers to Purchase (OTP) Form / Particulars

I / We register our Offer to Purchase to enter into negotiations to purchase the property located at Lot 57 Banks Pocket Road, Gympie QLD 4570 ("the Property").

### Property Details

Address Lot 57 Banks Pocket Road, Gympie QLD 4570

Real Property Description Lot 57 on SP202504

Local Authority Gympie Regional Council

Land Area 8.418Ha\*

### Offer to Purchase

Proposed Price: \$ excluding GST

Proposed Deposit: 10% of the Purchase Price

Proposed Settlement Date:

Further Details / Information:  
(Finance, Conditions etc.)

### Details of Proposed Buyer

Full Name(s):

If Company Name:  
ABN:  
Registered for GST: Yes or No (please circle one)

Contact Details Address:  
Mobile:  
Email:

FIRB approval require to purchase the Property: Registered for GST: Yes or No (please circle one)  
Buyers should consult their legal advisers if in doubt

Proposed Guarantors\* (please complete if the proposed Buyer is a company or trustee of a trust): Name:  
Address:  
Telephone:  
Email:

\*Guarantors should be directors of a company Buyer or principal beneficiaries if trustee Buyer



### Details of Proposed Buyer's Solicitor (if known)

---

Firm:

---

Name / Contact:

---

Address:

---

Contacts:

Telephone:

Email:

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### Proposed Buyer Acknowledgment

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In submitting an Offer to Purchase to buy the subject property ("OTP"), the Proposed Buyer agrees to the following conditions:

1. The Proposed Buyer agrees to and accepts all disclaimers, limitations and qualifications in any written or verbal brochure, advertisement, representation, search, advice or information issued by the Vendors or Ray White or anyone on behalf of either of them ("Marketing Material").
2. The Proposed Buyer acknowledges that the Proposed Buyer has to satisfy itself about the characteristics, value, potential and features of the subject property by relying only on the Buyer's own enquiries and investigations and not on any Marketing Material. Therefore, neither the Vendors nor Ray White (or their respective employees and agents) will be liable if any Marketing Material is incorrect, incomplete or misleading.
3. The Proposed Buyer accepts and agrees to the terms of the Disclaimer in the Information Memorandum containing this OTP form.
4. The Proposed Buyer agrees that the Vendors will not be obliged to sell the subject property in response to this or any particular OTP.
5. The Vendors may sell the subject property to any person they choose, as a result of the OTP process or otherwise, or not at all. The Proposed Buyer cannot assume or expect that:
  - the Vendors will negotiate, or not negotiate, with the Proposed Buyer or any other respondent;
  - the Vendors will accept the highest purchase price offered;
  - the Vendors will consider any particular feature of an OTP or other proposal to buy the subject property as determinative; or
  - the submission of the Proposed Buyer's OTP will lead to any particular outcome.
6. No claim can be made against the Vendors or Ray White in relation to any costs or expenses incurred by a respondent in evaluating the subject property or submitting an OTP.
7. This OTP constitutes an Offer to Purchase by the Proposed Buyer to negotiate for the possible sale and purchase of the subject property.

### Execution

---

Signed by the Proposed Buyer:

Signature

---

Full Name:

---

# ANNEXURE C

## TITLE SEARCH



CURRENT TITLE SEARCH  
NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 30890585

Search Date: 27/03/2019 11:47

Title Reference: 50669642

Date Created: 19/06/2007

Previous Title: 18635080  
18779143

REGISTERED OWNER

Dealing No: 716417857 08/04/2015

GRAHAM WILLIAM PRATT  
LYNETTE MARGARET PRATT JOINT TENANTS

ESTATE AND LAND

Estate in Fee Simple

LOT 57 SURVEY PLAN 202504  
Local Government: GYMPIE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 18635080 (Lot 1 on CP MPH23246)  
Deed of Grant No. 18779143 (Lot 1 on CP MPH23250)

ADMINISTRATIVE ADVICES - NIL  
UNREGISTERED DEALINGS - NIL

CERTIFICATE OF TITLE ISSUED - No

\*\* End of Current Title Search \*\*

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Requested By: D-ENQ GLOBAL X

# ANNEXURE D

# TOWN PLANNING DUE

# DILIGENCE REPORT

(INCLUDES DEVELOPMENT APPROVAL)

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# Town Planning Due Diligence Report

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**Lot 57 on SP202504  
48 to 52 Banks Pocket Road, Gympie**



**January, 2019**

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**5.0 Potential Development of Stage 7 ..... 8**

**6.0 Summary ..... 9**

**Prepared by:**  
Martoo Consulting Pty Ltd

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## 1.0 Introduction

The subject property is described as Lot 57 on SP202504 ("**Lot 57**") and located at 48 to 52 Banks Pocket Road, Gympie. This property is currently located in the local government area for the Gympie Regional Council ("**Council**") and positioned about 2.5 kilometres from Gympie's city centre.

Lots 1 and 57 on SP202504 were created in 2007 when then existing boundaries between Lot 1 on MPH23250 and Lot 1 on MPH23246 ("**the original development site**") were rearranged. This boundary rearrangement represented the first stage of an approved six stage subdivision of the original development site. Stages 2 to 6 of this current development approval involve the subdivision of Lot 57 on SP202504 into proposed Lots 2 to 57. Once approved Stage 6 is completed there would be an area of approximately 2.33 hectares remaining undeveloped ("**the remaining area**"). It would be possible to lodge a development application with Council to request a development permit to reconfigure this remaining area into urban residential lots as a potential Stage 7.

This report explains the following matters so as to assist in due diligence investigations on town planning related considerations associated with the possible future subdivision of Lot 57 into urban residential lots:-

- the details of Lot 57 in terms of its titling and certain development related provisions in both previous and current planning schemes over Lot 57;
- the background to the current development approval over Lot 57;
- matters to consider when completing the approved development of Stages 2 to 6; and
- matters to consider for the potential development of Stage 7.

Council is presently in the advanced phases of its review of the current 2013 Gympie planning scheme (Version 2) and the draft review of this planning scheme is expected to undergo public notification and consultation during 2019. The details of this draft reviewed planning scheme are not currently available to the public and therefore have not been considered when compiling this report.

It is however considered relevant that there is an existing development approval for residential subdivision of Lot 57 and that Lot 57 is currently included in the Urban Footprint in the State's Wide Bay Burnett Regional Plan. The State's Wide Bay Burnett Regional Plan has a major influence over Council's review of its planning scheme.

## 2.0 Property details

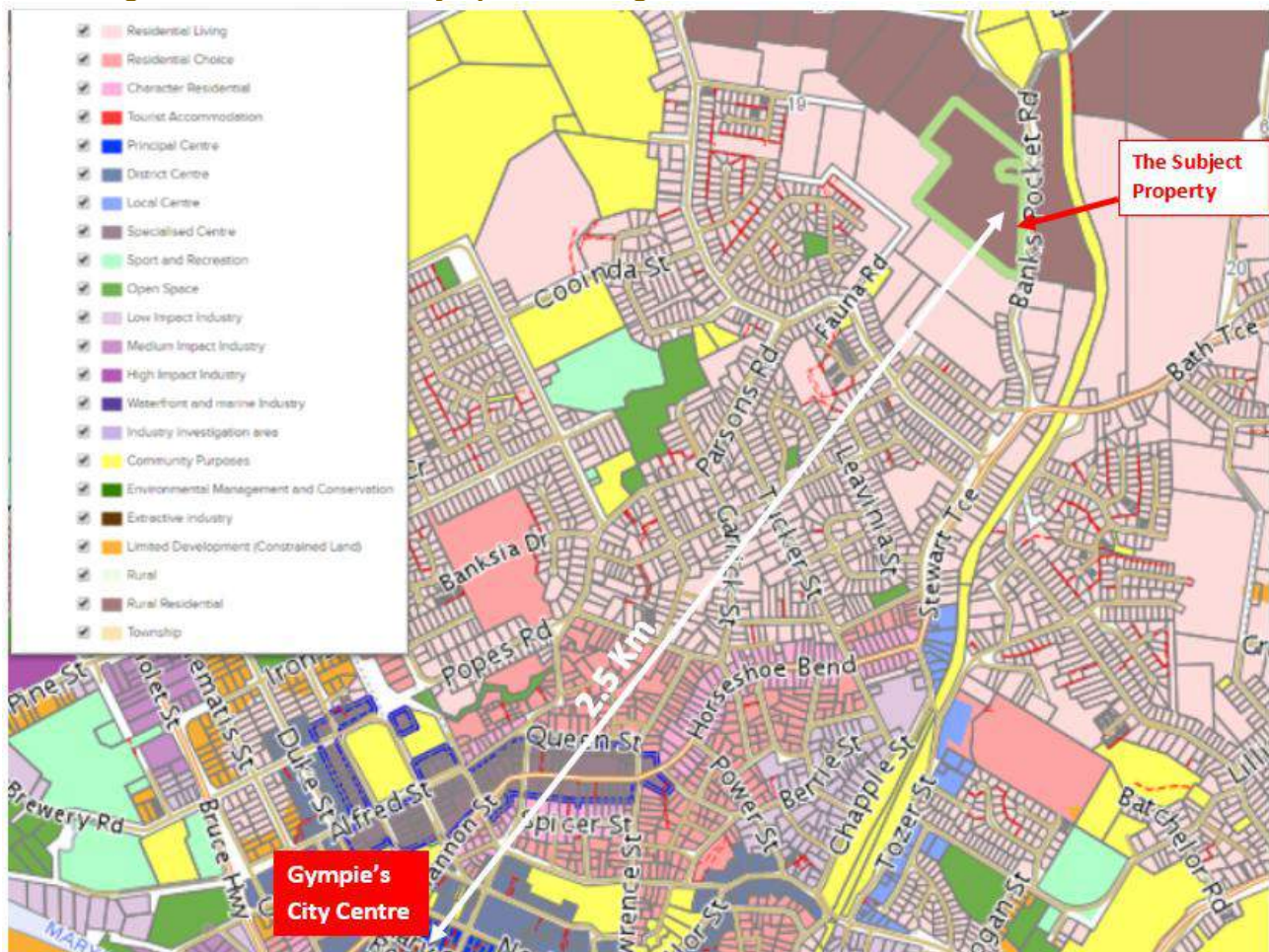
Some of the important details of the property from a town planning perspective have been summarised in **Table 1** below. Many of these details will be referred and explained in the remainder of this report.

**Table 1: Property Details**

Characteristic	Property Details
Real Property Description	Lot 57 on SP202504 ("Lot 57")
Address	48-52 Banks Pocket Road, Gympie Qld 4570
Tenure	Freehold
Area	8.41 Hectares (i.e. 84180 m <sup>2</sup> )
Frontage	290 metres to Banks Pocket Road
Existing Structures	vacant
Existing Services	<ul style="list-style-type: none"> <li>two lane sealed bitumen roadway (Banks Pocket Road)</li> <li>overhead electricity</li> <li>reticulated water supply</li> <li>underground telecommunications (within NBN area)</li> </ul>
Local Government	Gympie Regional Council
<b>Local Government Planning</b>	
Current Planning Scheme	2013 Gympie Regional Council Planning Scheme (version 2)
Strategic Plan Zone	Urban
Planning Scheme Zone	Rural Residential Zone (See Figure 1)
Planning Overlays Applicable	<ul style="list-style-type: none"> <li>Bushfire Hazard – Medium bushfire risk (most of property)</li> <li>Conservation Significant (minor only about 2800m<sup>2</sup>)</li> <li>Good Quality Agricultural Land – Class C (all of property)</li> </ul>
<b>State Government Planning</b>	
State Government Region	Wide Bay Burnett
Regional Plan	Wide Bay Burnett Regional Plan 2011
Regional Plan Zone	Urban Footprint
State Planning Policy Mapping	<ul style="list-style-type: none"> <li>Information Services - Administration layers (Regional plan)</li> <li>Information Services - Administration layers (Climatic region (stormwater))</li> <li>Environment &amp; Heritage – Biodiversity (MSES - Regulated vegetation (intersecting a watercourse))</li> <li>Environment &amp; Heritage – Biodiversity (MSES - Regulated vegetation (category R))</li> <li>Safety &amp; Resilience to Hazards – Bushfire Prone Areas (Medium Potential Bushfire Intensity &amp; Potential Impact Buffer)</li> </ul>



Figure 1: Current 2013 Gympie Planning Scheme



### 3.0 Existing Development Approval

The whole of the original development site, being described as Lot 1 on MPH23250 and Lot 1 on MPH23246, were wholly included in the Rural Zone under the 2005 Cooloolool Shire Council planning scheme (“**2005 Cooloolool planning scheme**”).

A development permit for both a material change of use of premises to change the land use entitlements to the Housing Zone and for reconfiguring a lot being a subdivision of the Lot 1 on MPH23250 and Lot 1 on MPH23246 into fifty-six (56) additional Lots was issued by the former Cooloolool Shire Council on 31st May 2007 (“**2007 development approval**”). Council’s reference for the 2007 development approval is DA12491. Council subsequently agreed to formal request to extend the currency period of the 2007 development approval until the 31 August 2014 in an amended decision notice dated 16 August 2013.

A copy of this amended decision notice (“**2013 amended development approval**”) is included in **Annexure 1** of this report. This 2013 amended development approval included conditions requiring the development to be undertaken generally in accordance with the proposal plan submitted with that application (“**approved 2013 proposal plan**”) being identified in that approval as Plan No 39218-3H which was drawn by Murray and Associates and dated 6 November 2007. A copy of the approved 2013 proposal plan is included in **Annexure 2** of this report.

It is relevant that this development application was first assessed and that the 2007 development approval issued under the then *Integrated Planning Act 1997* and the then 2005 Cooloolool planning scheme. The

The original development site was included in the Rural Zone under 2005 Cooloola planning scheme because it was being held for future urban development. As a result, Council then required a development permit for material change of use to apply those development entitlements applicable to the Housing Zone to the original development site. Consequently it was possible to simultaneously obtain a development permit to undertake a residential subdivision as then allowed on land within the Housing Zone in the 2005 Cooloola planning scheme and for lots created by such a subdivision to enjoy those land use entitlements offered to land in the Housing Zone.



The structure and terminology used in the 2013 amended development approval was that commonly preferred by Cooloolool Shire Council when issuing development approvals at that time under the 2005 Cooloolool planning scheme and the then *Integrated Planning Act 1997*. The then State Department of Natural Resources and Water and the then State Department of Transport were both concurrence agencies to the 2007 development approval as provided for under the then *Integrated Planning Regulations 1998*.

The approved 2013 proposal plan and the 2013 amended development approval referenced six stages as shown in **Table 2** below.

**Table 2: Stages Approved in 2013 Amended Development Approval**

Stage Number	Proposed Lots Included in Each Approved Stage
1	Boundary realignment creating Lot 1 of 2286 m <sup>2</sup>
2	Lots 2 to 13, 28, 29 & 35 to 39
3	Lots 1 & 14 to 27
4	Lots 30 to 34
5	Lots 40 to 56
6	Lot 57 (Remaining Area)

The approved 2013 proposal plan indicated a possible future road opening in proposed Lot 57 (i.e. Stage 6) but did not identify any potential future lot boundaries within proposed Lot 57 (**"the remaining area"**). Stage 7 in this report is taken to be the subdivision of the remaining area into residential lots as discussed in **Section 5** of this report.

The conditions of the 2013 amended development approval are generally grouped into four (4) sections being those conditions:-

- relating to approved Stage 1;
- relating to approved Stages 2 to 6;
- relevant to the subsequent development applications for operational works; and
- as provided by the then State Department of Natural Resources and Water (note no conditions were imposed by the then State Department of Transport).

These conditions are to be discussed further in **Section 5** below.

In effect, there is no Stage 6 approved as a distinct stage in its own right in either the 2007 development approval or the 2013 amended development approval because Stage 6 will be created as a remaining area when completing Stage 5.

The 2013 amended development approval stated that that permit would lapse on 31<sup>st</sup> August 2014 unless the use has commenced beforehand. The then *Integrated Planning Act 1997* required a plan for the reconfiguration (i.e. known also as a plan of survey or subdivision) is to be lodged with Council within 4 years of the day the development approval took effect.

SP202504 was the plan of subdivision for approved Stage 1. SP202504 was lodged with Council for approval and signed by Council following its approval on 13<sup>th</sup> June 2007. Stage 1 was fully completed with the registration of SP202504 which created Lot 1 on SP202504 and Lot 57 on SP202504 (**"Lot 57"**). A copy of SP202504 is included in **Annexure 3** of this report.

## 4.0 Matters to Consider When Completing Stages 2 to 6

A plan of approved reconfiguring of a lot (i.e. SP202504 for Stage 1) was submitted to Council for approval before 31st August 2014. A use permitted in the Housing Zone had also commenced within the currency period. There were no conditions in the 2013 amended development approval that nominated dates by which plans of reconfiguring for Stage 2 to 6 need to be lodged with Council for Council's approval. Consequently the development approval for reconfiguring a lot for stages 2 to 6 did not lapse and therefore remains valid in perpetuity. Council has since agreed that such an interpretation to be correct.

The conditions in the 2013 amended development approval for Stages 2 to 6 were compiled as was common practice by Council at the time that the original 2007 development approval and the 2013 amended development approval were both issued.

The following matters in relevant conditions need to be considered as part of any development of Lot 57 under the 2013 amended development approval:-

- Given that Council has approved and signed SP202504 it can be assumed that all conditions relating to Stage 1 have been complied with to Council's satisfaction.
- The subdivision in stages 2 to 6 are to be undertaken generally in accordance with the approved 2013 proposal plan is included in **Annexure 2** of this report.
- A development permit/s is/are required to be obtained from Council for those site works, landscaping, water and sewerage reticulation, earthworks, roadworks and stormwater drainage works as identified throughout the 2013 amended development approval. The resulting development applications will be assessed under the planning scheme provisions applicable at the time of lodgement.
- Conditions 1.5, 1.7, 1.8 and 1.16 in the 2013 amended development approval refer to the payment of headworks contributions to Council under the then relevant Council planning scheme policies. It should be appreciated that the unit charges for calculating the total headworks contribution payable for each approved stage under Council's superseded policies are normally updated in Council schedule of fees and charges each financial year. The amount to be paid to Council is based on unit rates applicable as at the date of payment but based on Council's planning scheme and policies applicable when the development approval was first issued. This is considered a financial advantage over having to pay infrastructure charges to Council under Council's current planning scheme.
- The relevance of condition 1.9 is unknown given that the site is not subject to riverine flooding. It is assumed that this conditions does not refer to any local flooding of the development when completed and has been included as a condition in error.
- Conditions 1.19, 1.20 and 1.21 relate to the registration of covenants and easements over those approved lots as identified in these conditions. This remains a preferred practice by Council.
- Section 2 in the 2013 amended development approval identifies those conditions applicable to the required associated development permit/s for operation works as referenced above.

Since the 2013 amended development approval was issued, Council has issued a decision notice dated 29 November 2017 approving the subdivision of four existing lots abutting Lot 57 to the south into 118 additional proposed residential lots in eight (8) proposed stages. Council's reference for the 2017 decision is 2016-0632. It is understood that at the 24 January 2019, the applicant for this adjoining development has not accepted the decision notice and is currently in negotiations with Council. The adjoining developer is understood about to lodge specific representations in the immediate future. These negotiations could result in the approved design on the abutting development site to the south having to be amended further. It is recommended that these negotiations be monitored so as to protect related considerations involving the development of Lot 57.

For examples it is therefore recommended there be liaison with Council to ensure the new road that was



approved in the 2013 amended development approval aligns with the new road that will be approved in the abutting development to the south in 2016-0632 as part of these current negotiations. A possible amended design is included proposal plan is included in **Annexure 4** of this report.

## 5.0 The Potential Development of Stage 7

For the purpose of this report, Stage 7 is assumed to be the subdivision of the remaining area into urban residential lots.

The 2013 amended development approval for material change of use applied the then land use entitlements to the whole of Lot 1 on MPH23250 and Lot 1 on MPH23246 ("the original development site") and referenced the 2013 approved proposal plan. The development of Stage 5 will create the remaining area (i.e. shown as proposed Lot 57 on the 2013 approved proposal plan) of approximately 2.33 hectares. The exact area will depend of the detail designs and approval issued when undertaking the development of approved Stages 2 to 6.

A possible proposal plan for Stage 7 is included in **Annexure 5** of this report. This possible proposal plan adopts a minimum lot size of 600m<sup>2</sup> as preferred under the 2005 Cooloola planning scheme which is obviously greater than the minimum lot size of 500m<sup>2</sup> that was approved by Council for development of the abutting land to the south. That adjoining land to the south is included in the Residential Living Zone under the current 2013 planning scheme which allows a minimum lot size of 500m<sup>2</sup>. The 600m<sup>2</sup> is the minimum lot size adopted for the possible proposal plan in **Annexure 5** and which is consistent with that approved by Council in the 2013 amended development approval.

This design for the possible proposal plan shows 11 possible residential lots with areas ranging from 601m<sup>2</sup> to 9162m<sup>2</sup> fronting a new road opening in the form of a short cul-de-sac. There are also environmental covenants proposed over the four of these proposed lots using a similar rationale as evident when Council recently assessed the abutting development application (2016-0632) to the south.

Council has advised that in order to obtain a development approval for the reconfiguring of the remaining area it would be necessary to lodge a formal change application under the *Planning Act 2016* to further amend the 2013 amended development approval to obtain an approval of Stage 7. It may be possible to propose lots with a 500m<sup>2</sup> minimum area if considered preferable by the applicant for that change application.

## 6.0 Summary

In summary, Council has confirmed that the development approval over Lot 57 for Stages 2 to 6 in the 2013 amended development approval will last for perpetuity.

This 2013 amended development approval allows for the creation of residential lots with lots sizes more generous than that development (2016-0632) currently being proposed and approved on abutting land to the south.

It is recommended that there is ongoing liaison with Council to ensure the intended road and infrastructure linkages between the subdivision of Lot 57 approved by Council in the 2013 amended development approval for stages 2 to 6 remain effective and efficient and align with that residential subdivision development being currently negotiated on abutting land to the south (2016-0632).

That area of land within Lot 57 that remains after the approved development in Stages 2 to 6 has been completed should be able to be further subdivided into urban residential lots as part of Stage 7 through making a formal changes application under the *Planning Act 2016* to amend the 2013 amended development approval.

## **Annexure 1**

### **2013 Amended Development Approval**



# Gympie Regional Council

## **Development Application 12491 Amended Decision Notice**

*Issued under the Integrated Planning Act 1997 (S.3.5.15)*

**The Development Application DA12491 for the purpose of Material Change of Use of Premises to Change the Land Use Entitlements to the Housing Zone & Reconfiguring a Lot – Subdivision to Create Fifty-Six (56) Additional Lots was assessed and:-**

*Approved with Conditions*

The decision was made by Cooloolool Shire Council on **31 May 2007**

*Unless the use has commenced beforehand, this permit will lapse on 31 August 2014*

Local Government Area: *Cooloolool Shire Council*

The following schedule provides all the relevant details.

### **PROPERTY DETAILS**

Street Address & Locality: *56 Banks Pocket Road Gympie*

RPD: *Lot 1 MPH23250 & Lot 1 MPH23246*

Parish: *Gympie*

### **APPLICANT'S DETAILS**

Name: *Gympie Developments Pty Ltd*

Postal Address: *C/- Murray & Associates (Qld) Pty Ltd, PO Box 246, NAMBOUR QLD 4560*

### **REFERRAL AGENCIES**

#### Concurrence Agencies

- 1) The Principal Manager (Land Use)  
Transport Planning Branch  
Queensland Transport  
GPO Box 213  
BRISBANE QLD 4001
- 2) Department of Natural Resources & Water  
PO Box 1167  
BUNDABERG QLD 4670

### **APPLICABLE CODES**

Codes for which self assessable aspects of this development must comply with:

- Nil.

# Gympie Regional Council

## **Development Application 12491 Amended Decision Notice**

### CONDITIONS

#### Assessment Manager's Conditions

##### Stage 1

#### **1.0 Conditions to be satisfied prior to Council Signing and Sealing the Plan of Survey**

1. The development shall be generally in accordance with the plan/s submitted with the application (Plan No/s. 39218-3H drawn by Murray and Associates and dated 6 November 2007).
2. A plan is to be submitted demonstrating the existing on-site sewerage system is fully contained within proposed Lot 1.
3. Contribution is to be made towards Sewerage Headworks in accordance with Council's Planning Scheme Policy 7: *Water Supply and Sewerage Headworks Contributions, Works External and Works Internal*. The contribution is currently assessed at \$4 804, however the actual amount payable will be based on Council's policy and the rate applicable, at the time of payment.  
*Note: This amount will be payable upon connection of Lot 1 to reticulated sewerage.*
4. The whole of the subject land including all approved lots is to be treated for declared plants and cleared of scrap to the satisfaction of Council's Chief Executive Officer. On completion of the treatment and clearing the enclosed Notification of Compliance Form is to be completed and lodged with Council.
5. An agreement is to be entered into with Energex to provide electricity to all approved lots without any financial encumbrance on future owners of the lot.
6. The applicant shall make suitable arrangements for the provision of an underground telephone service to the proposed development. Documentary evidence shall be submitted that an agreement has been reached with an authorised supplier of telephone services, prior to the Plan of Survey being sealed by Council.
7. Undertake at no cost to Council, the alteration of any public utility mains (eg. Electricity, water, sewerage, gas etc.) or other facilities necessitated by the development of the land or associated construction works external to the site.
8. Existing Lot 1 MPH23250 and Lot 1 MPH23246 are to be amalgamated in title.
9. A copy of the noise assessment undertaken as part of the proposal is to be made available to prospective purchasers and a notation will be made on Council's rate records for lot 1 that it is noise affected and individual investigations should be conducted prior to any purchase of the property.
10. A contribution, currently assessed at \$5,000 is to be paid to Council towards providing kerb and channel to the Banks Pocket Road frontage of the development site. The amount will be indexed to ABS ANZSIC Class 4121.



# Gympie Regional Council

## **Development Application 12491** **Amended Decision Notice**

### Stages 2 - 6

#### **1.0 Conditions to be satisfied prior to Council Signing and Sealing the Plan of Survey**

- 1.1 The development shall be generally in accordance with the plan submitted with the application (Plan No. 39218-3H drawn by Murray and Associates and dated 6 November 2007).
- 1.2 The development herein approved may not start until:
- (i) the following development permits has been issued and complied with as required -
    - (a) Development Permit for Operational Works (Site Works, Landscaping, Water and Sewer reticulation, Earthworks, Roadworks and Stormwater Drainage); and
  - (ii) development authorised by the above permit has been completed to the satisfaction of Council's Chief Executive Officer.
- 1.3 All lots are to be permanently numbered with reflective numbers on kerbs to the satisfaction of Council's Chief Executive Officer.
- 1.4 A 1.2 metre wide concrete footpath is to be constructed along the full frontage of lots 35-39 and 43-47 and the remaining areas shall be formed, grassed and topsoiled in accordance with the requirements of the Infrastructure Works Code and Planning Scheme Policy 8: *Infrastructure Works*.
- 1.5 In accordance with Planning Scheme Policy 13: Urban Road Contributions a contribution is to be paid toward road improvements as a result of the increased traffic generated by this development. The amount is currently assessed at \$3170 per additional lot, however will be in accordance with Council's Policy and the amount applicable at the time of payment.
- 1.6 Connection is to be made to Council's existing Water Supply and Sewerage reticulation systems at no cost to Council in accordance with a development permit for Operational Works approving the required plans and specifications for such works.
- 1.7 Contribution is to be made towards Water Supply Headworks in accordance with Council's Planning Scheme Policy 7: *Water Supply and Sewerage Headworks Contributions, Works External and Works Internal*. The contribution is currently assessed at:
- \$2 869 (lots 600m<sup>2</sup> - 999m<sup>2</sup>); or
  - \$3 587 (lots over 1 000m<sup>2</sup>) per additional lot,
- however, the actual amount payable will be based on Council's policy and the rate applicable, at the time of payment.
- 1.8 Contribution is to be made towards Sewerage Headworks in accordance with Council's Planning Scheme Policy 7: *Water Supply and Sewerage Headworks Contributions, Works External and Works Internal*. The contribution is currently assessed at:
- \$4 484 (lots 600m<sup>2</sup> - 999m<sup>2</sup>);
  - \$4 804 (lots over 1 000m<sup>2</sup>) per lot,
- however the actual amount payable will be based on Council's policy and the rate applicable, at the time of payment.
- 1.9 The 1 in 100 year flood contour level is to be shown on a copy of the Plan/s of Subdivision and submitted to Council. The datum for such a contour line is to be AHD unless otherwise agreed to by Council's Chief Executive Officer. Where levels of local flooding are based on local knowledge the source of the information and method of calculation is to be referenced thereon.

# Gympie Regional Council

## **Development Application 12491** **Amended Decision Notice**

- 1.10 Lot boundaries are to be approved by Council's Chief Executive Officer prior to cadastral survey and at completion of engineering design approval process.
- 1.11 One PSM is to be provided and levelled to Australian Height Datum to the satisfaction of Council's Chief Executive Officer. A copy of any Permanent Survey Sketch is to be submitted to Council.
- 1.12 A contribution, currently assessed at \$12,500, is to be paid to Council towards providing kerb and channel to the Banks Pocket Road frontage of the development site. The amount will be indexed to ABS ANZSIC Class 4121.
- 1.13 Easements or reserves for drainage purposes are to be surveyed and registered in favour of the upstream property owner no cost to Council. Specific requirements are to be confirmed with Council's Chief Executive Officer prior to cadastral survey and at completion of engineering design approval process. A solicitor's undertaking (or alternative suitable to Council) shall also be submitted confirming the easement documents will be submitted with the Plan Registry Authority in conjunction with the Plan of Survey.
- 1.14 The method of treatment of stormwater runoff from and through the site shall be designed and constructed in accordance with Council's Infrastructure Works Code.
- 1.15 Erosion and sediment control measures are to be designed and provided in accordance with the Institution of Engineers, Australia, Qld Division's "*Soil Erosion and Sediment Control: Engineering Guidelines for Queensland Construction Sites*". The design shall be submitted to Council for approval with subsequent development applications for operational work.
- 1.16 In accordance with Council's Planning Scheme Policy 6: *Park Contributions*, a contribution is to be paid to Council for the improvement of existing public park or recreation spaces in the general area. The contribution is currently assessed at \$1 652 per additional lot, however the actual amount payable will be based on Council's policy and the rate applicable, at the time of payment.
- 1.17 A 3.6 metre high acoustic fence, as recommended by the noise report submitted with the application, is to be constructed along the full frontage of the site to Banks Pocket Road, except for the frontage of proposed lot 1.

Tapering of this fence is required along breaks in the fence from Banks Pocket Road into the allotment from the height of 3.6 metres to a height of 1.8 metres over a distance of 30 metres as follows:

- a) along the northern boundary of proposed lot 20;
- b) along the northern and southern boundaries of proposed lot 1;
- c) along the southern boundary of proposed lot 2;
- d) along the northern boundary of proposed lot 35;
- e) along the southern boundary of proposed lot 49.

The pedestrian link to Banks Pocket Road from between lots 47 and 48 is to be overlapped for a minimum of 5 metres prior to its entry to Banks Pocket Road, retaining a height of 3.0 metres.

- 1.18 A copy of the noise assessment undertaken as part of the proposal to be made available to prospective purchasers and a notation will be made on Council's rate records for each of the new lots that they may be noise affected and individual investigations should be conducted prior to the design of a dwelling.



# Gympie Regional Council

## **Development Application 12491 Amended Decision Notice**

- 1.19 A statutory covenant is to be registered on the title of lots 2, 20, 35 and 43 – 49 in relation to noise impacts on the development. The covenant is to:
- require preparation of a noise assessment for a proposed dwelling on the site;
  - require a copy of the noise assessment to be submitted to and approved by Council prior to the issue of a development permit for building work for the relevant dwelling; and
  - require implementation of the recommended noise attenuation measures to achieve satisfactory internal noise criterion into the dwelling prior to the issue of a Certificate of Classification for the building.
- A copy of the covenant is to be submitted to and approved by Council prior to release of the plan of survey.
- 1.20 A statutory covenant is to be registered over the areas marked as Cov A and Cov B on the proposal plan requiring:
- retention of existing native vegetation within this area; and
  - regular maintenance and removal of weed species.
- A copy of the covenant is to be submitted to and approved by Council prior to release of the plan of survey.
- 1.21 A duly executed grant of easement for access and services is to be submitted to Council for approval, together with any necessary Plan Registry Authority forms requiring Council's endorsement, prior to the release of the Plan of Survey. A solicitor's undertaking (or alternative suitable to Council) shall also be submitted confirming the easement documents will be submitted with the Plan Registry Authority in conjunction with the Plan of Survey.

### **2.0 Conditions Relevant to the Issue of a Development Permit for Operational Works**

- 2.1 Water meters and services shall be installed to all lots approved by this Development Permit to the satisfaction of Council's Chief Executive Officer.
- 2.2 Street tree planting is required at the rate of one tree per allotment on both sides of the new road and shall be provided in accordance with an approved landscape plan. Trees are to be advanced, predominantly natives (in accordance with Council's Planning Scheme), of a minimum height of one metre and be mulched and staked.
- 2.3
- (i) Prior to the commencement of works on site a properly prepared Landscape Plan in accordance with Council's Planning Scheme Policy 4 - *Landscaping* is to be submitted to and approved by Council's Chief Executive Officer. The landscape plan is to denote areas of existing vegetation and trees proposed to be retained.
  - (ii) Landscaping works in accordance with the approved landscape plans are to be completed to the satisfaction of Council's Chief Executive Officer.
  - (iii) All landscaping works so constructed shall be subject to a maintenance period commensurate with any other Council infrastructure works also constructed.
  - (iv) The landscaping shall be maintained (watering, fertilising, mulching, weeding, and the like) at all times to the satisfaction of Council's Chief Executive Officer during the maintenance period of the development.

## **Gympie Regional Council**

### **Development Application 12491 Amended Decision Notice**

- 2.4 Prior to commencement of any site works a declared plants clearance is required to be obtained from Council and/or a satisfactory management plan approved. The enclosed Notification of Compliance Form is to be completed and lodged with Council as evidence that this has been undertaken prior to issue of a Development Permit for Operational Works.
- 2.5 Undertake at no cost to Council, the alteration of any public utility mains (eg. Electricity, water, sewerage, gas etc.) or other facilities necessitated by the development of the land or associated construction works external to the site.
- 2.6 Underground utility services are to be provided if practicable. If provided an “as constructed” plan of all utility services is to be provided to Council upon completion of the approved development.
- 2.7 The applicant shall make suitable arrangements for the provision of an underground telephone service to the proposed new allotments within the subdivision. Documentary evidence shall be submitted that an agreement has been reached with an authorised supplier for telephone services, prior to the Plan of Survey being sealed by Council.
- 2.8 An agreement is to be entered into with Energex to provide electricity to all approved lots without any financial encumbrance on future owners of these lots.
- 2.9 New roads are to be opened and constructed to bitumen seal standard in accordance with Council’s Road Design Standard.
- 2.10 Prior to construction of all new roads the following actions are required:
- (i) Lodgement of a plan of the proposed centreline;
  - (ii) The proposed centreline is to be pegged by the Consultant Surveyor to facilitate an inspection; and
  - (iii) Inspection by Council’s Engineer to ensure the new road is suitably located.
- A Certificate of Acceptance will be issued following inspection, if the proposed road location is acceptable.
- 2.11 Street lighting is to be provided to new roads in accordance with current Australian Standards/New Zealand Standards for Street Lighting and Equipment Design and Council’s Infrastructure Works Code. The subject road/street is classified as a access street for the purposes of designing the system/category of lighting required. The developer is responsible for payment for the first 12 months electricity for the lighting system.
- 2.12 (i) Where any works associated with this development approval are to be carried out on Council controlled land, such as road, park, drainage reserves, or the like, a Traffic Management Plan shall be submitted to Council for review prior to the pre-start meeting for such works.
- (ii) The Traffic Management Plan shall be constantly reviewed and revised throughout the construction phase of the project until the works are accepted “On-maintenance” by Council.
- 2.13 The method of treatment of stormwater runoff from and through the site shall be designed and constructed in accordance with Council’s Infrastructure Works Code.
- 2.14 Erosion and sediment control measures are to be designed and provided in accordance with the Institution of Engineers, Australia, Qld Division’s “*Soil Erosion and Sediment Control: Engineering Guidelines for Queensland Construction Sites*”. The design shall be submitted to Council for approval with subsequent development applications for operational work.



## **Gympie Regional Council**

### **Development Application 12491 Amended Decision Notice**

- 2.15 Any plans for operational works, water supply and sewerage works, drainage works and street lighting required by this development permit, are to be surveyed and designed in accordance with Council's Infrastructure Works Code.
- 2.16 In carrying out your activity you must take all reasonable and practicable measures to ensure that it does not harm Aboriginal cultural heritage (the "cultural heritage duty of care"). You will comply with the cultural heritage duty of care if you are acting in accordance with the gazetted cultural heritage duty of care guidelines. An assessment of your proposed activity against the duty of care guidelines will help determine whether or to what extent Aboriginal cultural heritage may be harmed by your activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from the Department of Natural Resources and Mines ~phone (07) 3238 3838 or website [www.nrm.qld.gov.au](http://www.nrm.qld.gov.au).
- 2.17 Two-tiered landscaping is to be provided along the full frontage of the site to Banks Pocket Road, excluding lot 1, comprising mature trees, a minimum of 2 metres in height at planting and growing to a minimum height of 5 metres.
- The landscaping species are to be selected from Council's landscaping policy and subject to an approved plan required by condition 2.3.
- 2.18 Existing Lot 1, created in stage 1 of the development, is to be connected to the reticulated sewerage network in conjunction with the stage adjacent to this lot.
- 2.19 The entrance and driveway for Lots 20 and 21 is to be constructed to a 3.0 metre wide concrete standard from the kerb and channel for the full length of the access strip.

#### **Concurrence Agency's Conditions**

#### **Department of Natural Resources and Water**

The application was referred to the Department of Natural Resources and Water as a Concurrence Agency. That department's conditions are:

- The location of infrastructure as a result of this Material Change of Use / Reconfiguration of a Lot approval, shall be located in accordance with the submitted Plan of Proposed Lot Design in Lot 1 on MPH23246 & Lot 1 on MPH23250, Job No: 39218-3F, dated 16 March 2006, Revision number 3F.
- Clearing of assessable vegetation as a result of this Material Change of Use / Reconfiguration of a Lot approval, shall not occur within Area A1 & A2 on Referral Agency Response Plan (RARP) 2005/109837.
- As a result of this Material Change of Use / Reconfiguration of a Lot approval, no infrastructure, other than fences and roads, shall be located within Area B1 on Referral Agency Response Plan (RARP) 2005/109837.

## **Gympie Regional Council**

### **Development Application 12491 Amended Decision Notice**

- Waterway Rehabilitation and Weed Management Plan (WRWMP) Banks Pocket Road, Gympie, as submitted by Terra-Firma Landscape Design and Management Pty Ltd for Gympie Developments, pertaining to the Proposed Residential Estate Banks Pocket Road, Gympie, Lot 1 MPH23250 and Lot 1 MPH23246, drawing Number WR01, dated 25 September 2006, must be implemented prior to commencement of any operational works and monitored and maintained through to completion of any operational works associated with the development.
- Erosion and Sediment Control Plan (ESCP) as submitted by Greenhaven Projects Pty Ltd for Gympie Developments, pertaining to the Proposed Residential Estate Banks Pocket Road, Gympie, Lot 1 MPH23250 and Lot 1 MPH23246, drawing Number GH1513/06 ESC1B and GH1513/06 ESC2, dated 21 November 2006, must be implemented prior to commencement of any operational works and monitored and maintained through to completion of any operational works associated with the development.
- As a result of this Material Change of Use / Reconfiguration of a Lot approval, clearing shall be staged in accordance with the submitted Plan of Proposed Lot Design in Lot 1 on MPH23246 & Lot 1 on MPH23250, Job No: 39218-3F, dated 16 March 2006, Revision number 3F, dated 6 December 2006.
- Any future clearing of remnant vegetation that is not authorized to be carried out under this approval, will be subject to a development application for operational works, unless the clearing is deemed to be exempt development under Schedule 8, Part1, Table 4 of the *Integrated Planning Act 1997*.

A copy of the Department's response is attached hereto.

#### **Queensland Transport**

The application was referred to the Department of Transport as a Concurrence Agency. A response was not provided by that Department within IDAS timeframes.

A copy of the Department's advice is attached hereto.

#### **APPROVAL TYPE**

*Development Permit*

#### **FURTHER DEVELOPMENT PERMITS REQUIRED**

*Development Permit for Operational works (Site Works, Landscaping, Water and Sewer Reticulation, Earthworks, Roadworks and Stormwater Drainage for the whole development)*

#### **RIGHTS OF APPEAL**

One properly made submission was lodged to this application:

- *LM Pratt, GF Messer & NJ Messer, PO Box 5541, BRENDAL QLD 4500*

See attached extracts from the Integrated Planning Act 1997 for Rights of Appeal.

## *Gympie Regional Council*

### **Development Application 12491 Amended Decision Notice**

#### **ASSESSMENT MANAGER**

Name: Cooloola Shire Council

Signature: ..... *Signed by Mike Hartley*..... Date: 16 August 2013

**MIKE HARTLEY**

**AUTHORISED DELEGATE**

**DIRECTOR OF PLANNING AND DEVELOPMENT**



## **Annexure 2**

### **2013 Approved Proposal Plan**



## **Annexure 3**

### **A copy of SP202504**



Land Title Act 1994; Land Act 1994  
Form 21 Version 2

## SURVEY PLAN

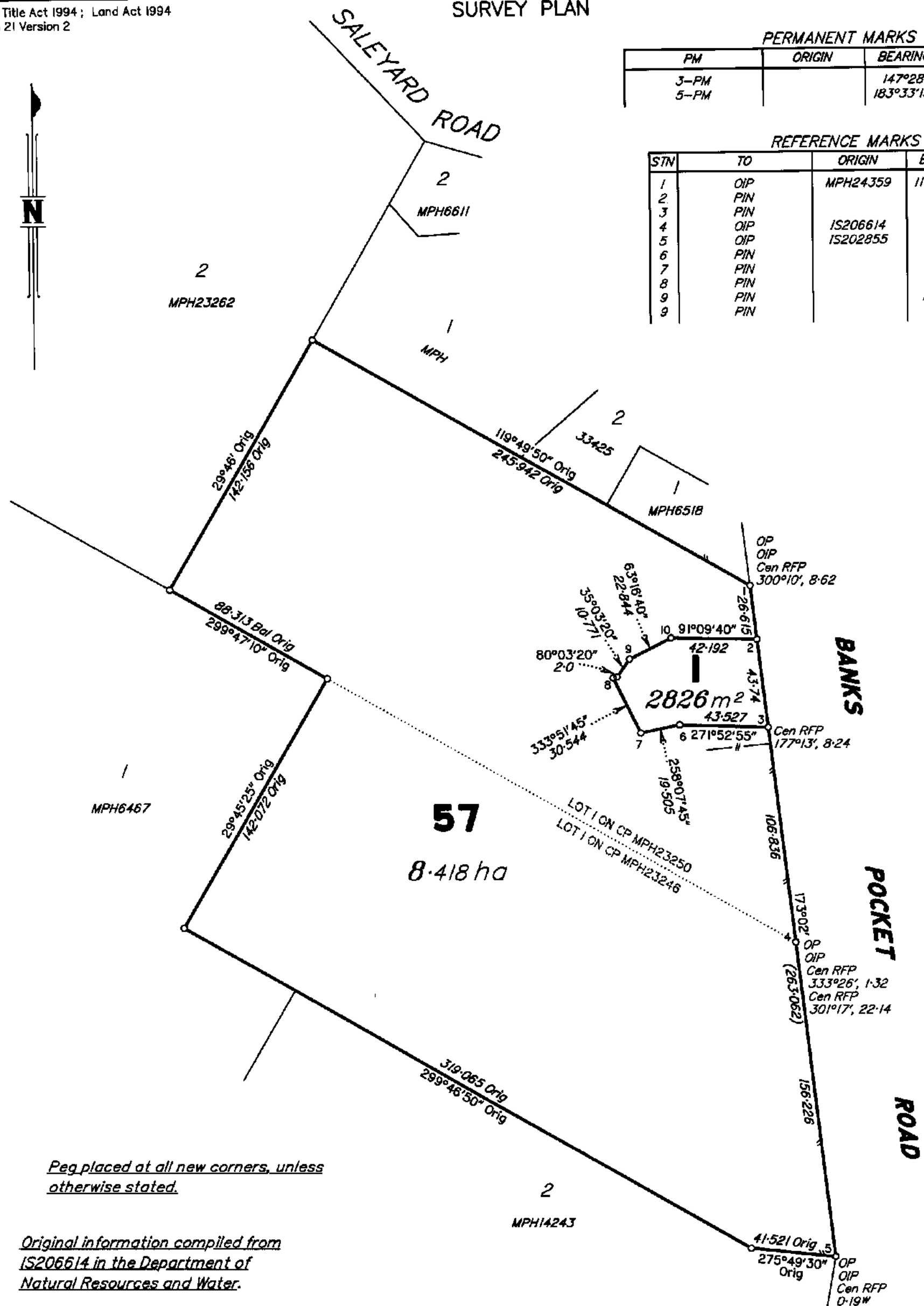
Sheet  
**1** of  
**1**

## PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO
3-PM		147°28'	1.67	166350
5-PM		183°33'15"	130.413	163970

## REFERENCE MARKS

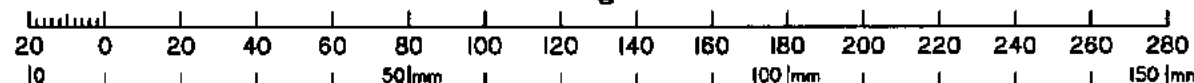
STN	TO	ORIGIN	BEARING	DIST
1	OIP	MPH24359	119°49'50"	1.096
2	PIN		40°53'	1.36
3	PIN		186°23'	6.637
4	OIP	IS206614	167°29'	0.575
5	OIP	IS202855	174°17'	1.395
6	PIN		179°32'	0.98
7	PIN		182°0'	0.915
8	PIN		333°17'	0.95
9	PIN		275°33'	1.005
9	PIN		67°57'	1.105



Peg placed at all new corners, unless otherwise stated.

Original information compiled from IS206614 in the Department of Natural Resources and Water.

Scale 1:2000 - Lengths are in Metres.



State copyright reserved.

I, Peter Lawrence THATCHER hereby certify that the land comprised in this plan was surveyed by Wayne Leslie SCHULZ, registered surveying associate, for whose work I accept responsibility and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 10/04/2007.

*Peter Thatcher*  
.....Cadastral Surveyor

Date 28.4.07...

**Plan of Lots 1 & 57**

Cancelling Lot 1 on MPH23246 and Lot 1 on MPH23250

PARISH: **GYMPIE**COUNTY: **March**Meridian: **IS206614**F/N's: **No**Scale: **1:2000**Format: **STANDARD****SP202504**

Plan Status:

Surveyor: 39218/G290

## **Annexure 4**

### **Possible Amended Proposal Plan for Stages 2 to 6**







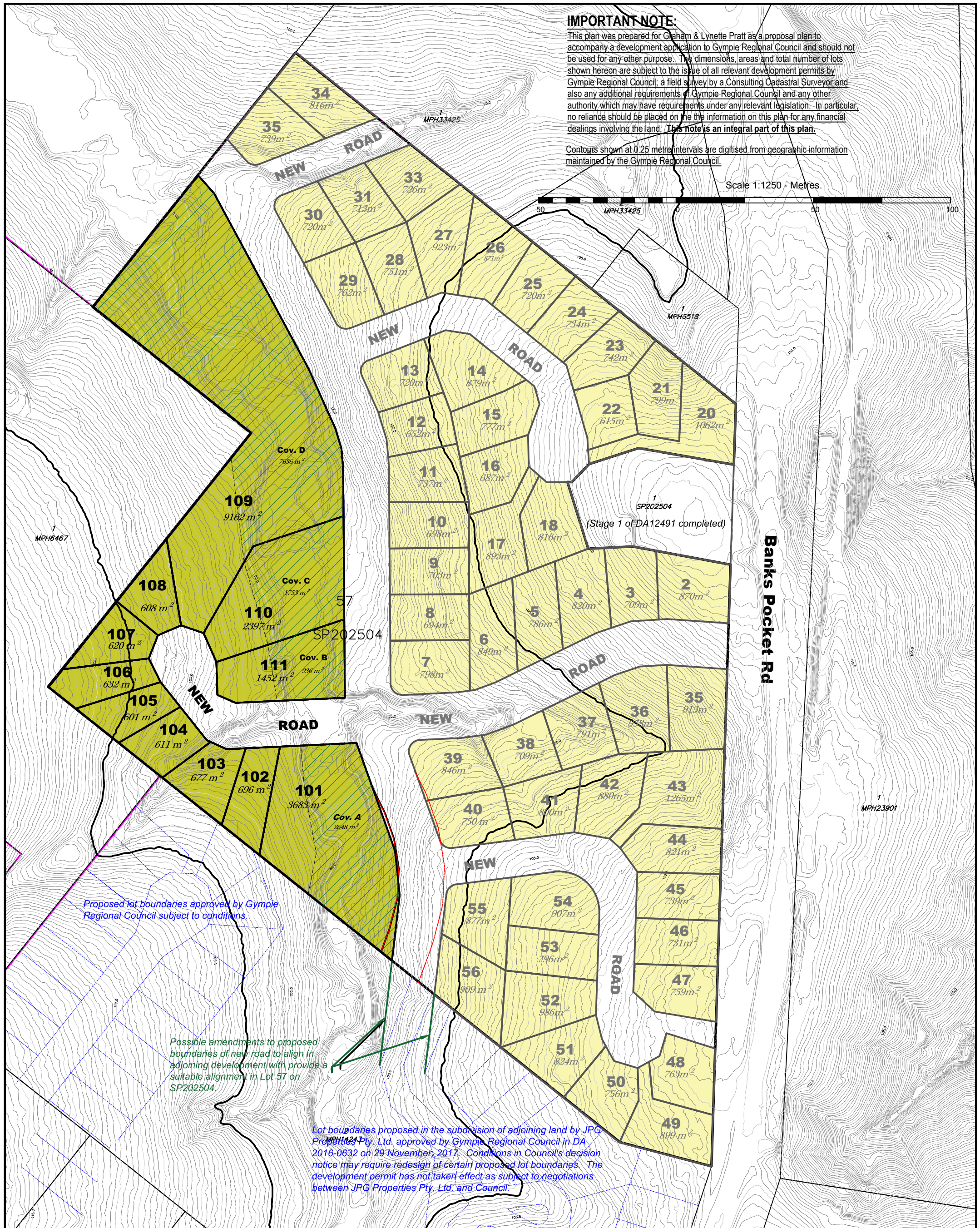
## **Annexure 5**

### **Possible Amended Proposal Plan for Stage 7**



This plan was prepared for Graham & Lynette Pratt as a proposal plan to accompany a development application to Gympie Regional Council and should not be used for any other purpose. The dimensions, areas and total number of lots shown hereon are subject to the issue of all relevant development permits by Gympie Regional Council, a field survey by a Consulting Cadastral Surveyor and also any additional requirements of Gympie Regional Council and any other authority which may have requirements under any relevant legislation. In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land. **This note is an integral part of this plan.**

Scale 1:1250 - Metres.



**Sunshine Coast:**  
13/6-12 Bottlebrush Ave  
NOOSA HEADS  
P.O.Box 1684  
Noosa Heads QLD 4567  
Ph: 07 5447 2550  
Fax: 07 5455 3322

**Gympie:**  
38 Nash Street  
GYMPIE  
P.O.Box 391  
Gympie QLD 4570  
Ph: 07 5482 7440  
Fax: 07 5482 4952

Local Authority:  
GYMPE REGIONAL COUNCIL

No development approval has been issued for the 2.33 Ha. approx. balance area after Stage 1 to 5 have been completed.

Detail:  
Possible Proposal Plan

Reference No.:  
**D-02438-02-A**



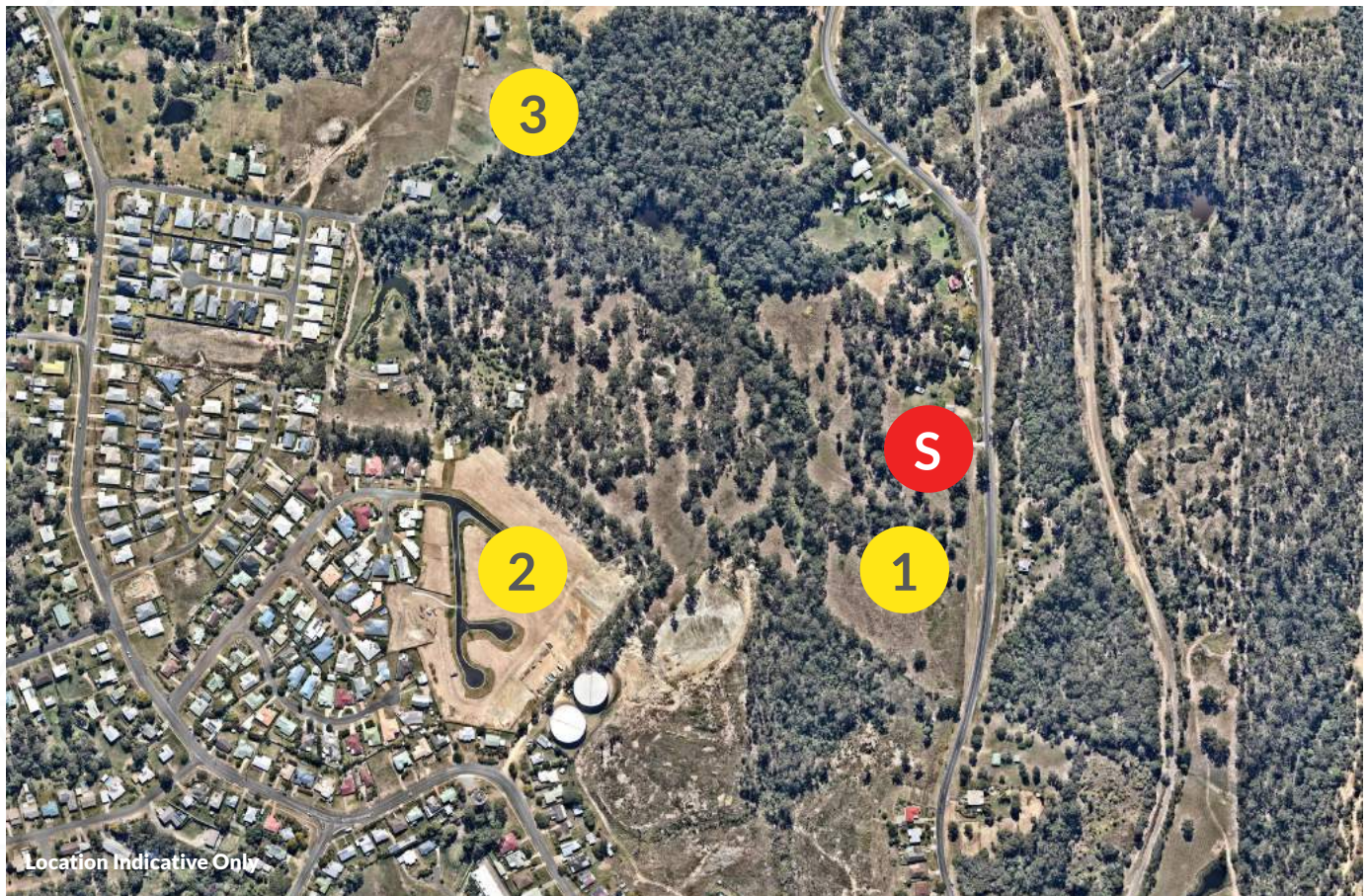
# ANNEXURE E

## COMPARABLE SALE

### EVIDENCE

# COMPARABLE SALES EVIDENCE

	Address	Lot/s	Area (Ha*)	DA status	Development Proposed	Sale Date	Sale Price	Last Sale Price per Ha*
1	Lots 1, 2, 8, 543 Banks Pocket Road	L1 MPH34929 L2 MPH14243 L8 MPH25027 L543 MCH839355	11.36Ha*	No Approved DA	Quotes Potential 112 Blocks	2 March 2016	\$2,100,000	\$184,859*
2	Heights Drive	L563 SP210439	4.42Ha*	142 Towhouses DA Approved	Land Subdivision	2016	\$720,000	\$162,895
3	28 Gum Tree Road, Araluen	L4 SP235870	3.134Ha*	DA Approved	Aged Care Site	26 Sept 2018	\$1,250,000	\$398,851



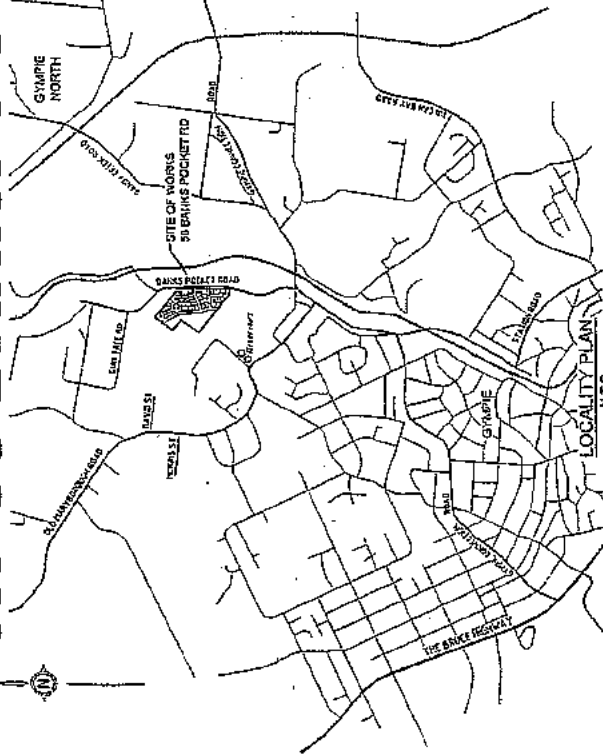
**S** Subject Property

# ANNEXURE F

## APPROVED PLANS



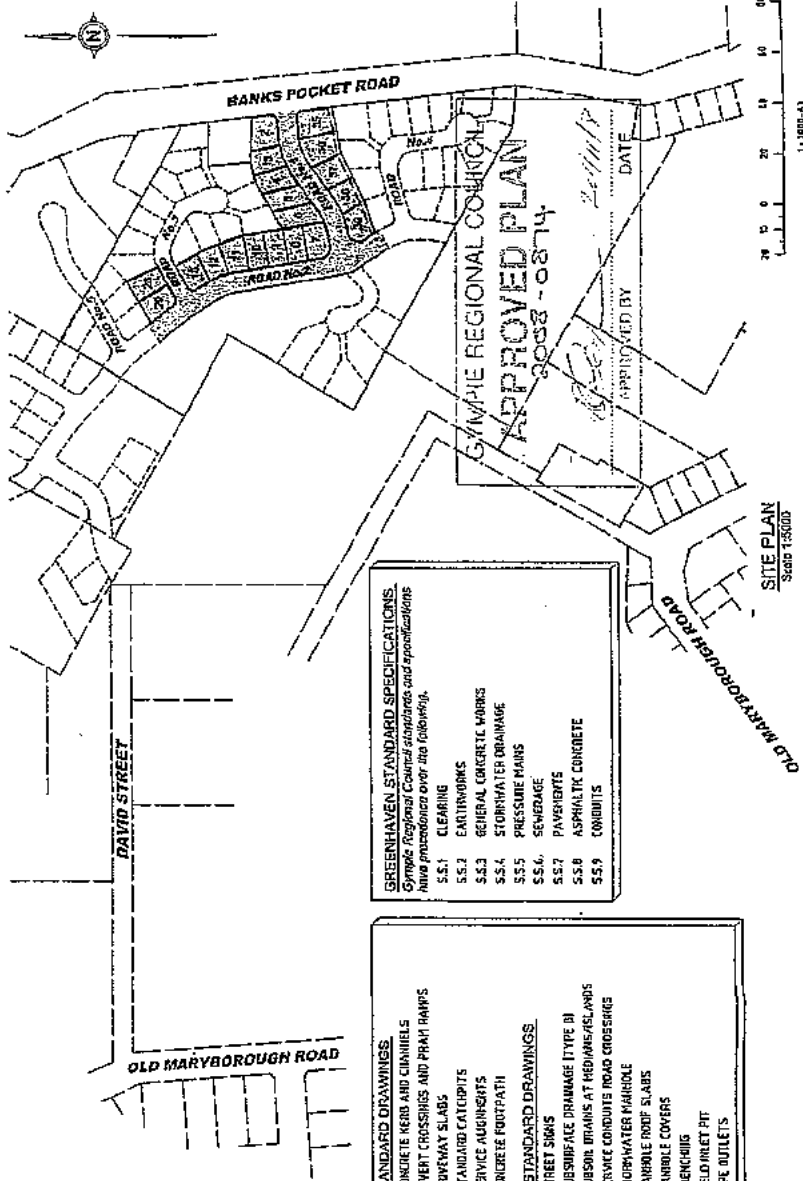
# PROPOSED RESIDENTIAL SUBDIVISION AT 56 BANKS POCKET ROAD, GYMPIE- STAGE 2



## SCHEDULE OF DRAWINGS

GYMPIE NORTH	LOCALITY AND SITE PLAN
GH1513/08/01	ROADWORKS AND DRAINAGE PLAN
GH1513/08/02	DAVID STREET ROAD CROSS SECTION
GH1513/08/03	ROAD H&L LONGITUDINAL SECTION
GH1513/08/04	ROAD H&L CROSS SECTION - SHEET 1
GH1513/08/05	ROAD H&L CROSS SECTION - SHEET 2
GH1513/08/06	ROAD H&L LONGITUDINAL SECTION
GH1513/08/07	ROAD H&L CROSS SECTION - SHEET 1
GH1513/08/08	ROAD H&L CROSS SECTION - SHEET 2
GH1513/08/09	ROAD H&L CROSS SECTION - SHEET 3
GH1513/08/10	ROAD H&L CROSS SECTION - SHEET 4
GH1513/08/11	ROAD H&L LONGITUDINAL AND CROSS SECTIONS
GH1513/08/12	DESIGN CENTRELINE SETOUT TABLES
GH1513/08/13	

INTERSECTION DETAIL PLAN - SHEET 1	GH1513/08/27	ACUSTIC FENCE DETAILS
INTERSECTION DETAIL PLAN - SHEET 2	GH1513/08/28	EROSION AND SEDIMENT CONTROL PLAN - SHEET 1
INTERSECTION DETAIL PLAN - SHEET 3	GH1513/08/29	EROSION AND SEDIMENT CONTROL PLAN - SHEET 2
BULK EARTHWORKS PLAN	GH1513/08/30	EROSION AND SEDIMENT CONTROL PLAN - SHEET 3
STORMWATER LONGITUDINAL SECTIONS - SHEET 1	GH1513/08/01	STORMWATER CATCHMENT PLAN
STORMWATER LONGITUDINAL SECTIONS - SHEET 2	GH1513/08/02	STORMWATER CALCULATIONS TABLE - SHEET 1
SEWER RETICULATION PLAN - SHEET 1	GH1513/08/03	STORMWATER CALCULATIONS TABLE - SHEET 2
SEWER RETICULATION PLAN - SHEET 2	GH1513/08/04	STORMWATER CALCULATIONS TABLE - SHEET 3
SEWER LONGITUDINAL SECTIONS - SHEET 1	GH1513/08/05	STORMWATER CALCULATIONS TABLE - SHEET 4
SEWER LONGITUDINAL SECTIONS - SHEET 2	GH1513/08/06	
SEWER LONGITUDINAL SECTIONS - SHEET 3	GH1513/08/07	
SEWER LONGITUDINAL SECTIONS - SHEET 4	GH1513/08/08	
WATER RETICULATION PLAN - SHEET 1	GH1513/08/09	
WATER RETICULATION PLAN - SHEET 2	GH1513/08/10	



### GREENHAVEN STANDARD SPECIFICATIONS

Gympie Regional Council standards and specifications have precedence over the following.

SS.1	CLEARING
SS.2	EARTHWORKS
SS.3	GEOTECHNICAL WORKS
SS.4	STORMWATER DRAINAGE
SS.5	PRESSURE MAINS
SS.6	SEWERAGE
SS.7	PAVEMENTS
SS.8	ASPHALTIC CONCRETE
SS.9	CONCRETE

### G.R.C. STANDARD DRAWINGS

R-010	CONCRETE KERBS AND CHIMNELS
R-020	INVERT CROSSINGS AND PRAIRIWAYS
R-030	DRIVEWAY SLABS
R-040	STANDARD CATCHPITS
R-050	SERVICE AUGMENTS
R-060	CONCRETE FOOTPATH
R-070	CONCRETE DRIVEWAYS
R-080	STANDARD DRAINAGE (TYPE B)
R-090	SUBSOL. BRIDGES AT MEDIAN/ISLANDS
R-100	SERVICE CONDUIT ROAD CROSSINGS
R-110	STORMWATER MARSHES
R-120	STORMWATER MARSHES
R-130	MANHOLE ROOF SLABS
R-140	MANHOLE COVERS
R-150	TRENCHES
R-160	TRENCHES
R-170	PIPE OUTLETS

## CIVIL WORK NOTES:-

**EXISTING SERVICES:**  
The Contractor shall establish the location, line and level of all public and private utility services prior to commencement of any construction. Where utility services are shown on the plans, they are shown for the information of the Contractor only. The Principal shall not be liable for any omission of services from the plans or the accuracy of any services shown on the plans. The Contractor shall be liable for any damage caused to any utility services resulting from the construction of the proposed works.

**SURFACE LEVELS:**  
Surface levels over the site have been interpolated through computer modelling of field survey data. These calculated levels may vary from the actual ground level at the corresponding position on site. Where major variations occur, they shall be referred to the Superintendent for further consideration where such variations will cause major problems with constructing the project in accordance with approved plans, or necessitate variations to the Contract price.

**SURVEY REFERENCE:**  
All construction levels shall be set by the Contractor with reference to surveyed stakes and surveyed bench marks provided by the Principal's appointed surveyors. The Contractor shall protect all survey stations, station stakes and permanent survey pegs or marks on or adjacent to the development site.

**SITE MANAGEMENT:**  
The Contractor shall comply with any local authority requirements regarding land clearing on the extent of vegetation and any other matters relating to the site. The Contractor shall not be permitted to remove any vegetation or other matters without the approval of the local authority.

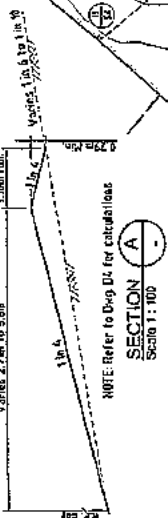
**ACCESS TO DEVELOPMENT SITE:**  
Site access shall be managed in such manner to prevent mud and other materials being transported from the development site onto the road network and adjacent roads. Where possible, entry to the development site shall be limited to one point of access only unless approved by the Superintendent. A gravel, shale dump or similar device shall be installed at the entry point to prevent mud being transported off site. Where necessary, suitable signs and temporary fencing shall be erected to restrict access to the site to the single point of access. The Contractor shall promptly remove any mud or other materials deposited on roads adjacent to the development site.

**QUEST ENGINEERING:**  
The Contractor shall take such measures necessary to prevent dust nuisance arising from other machinery movement on site, wind action, or a combination of both. These measures may include, but not be limited to, water hoppers filled with spray bars, emulsion of ground surfaces, strategic placement of dust screen fencing, early sealing and refilling of final trimmed and installed earthworks areas, and the like.

<b>Greenhaven Projects</b> consulting civil engineers, project management services Pty. Ltd. ABN 60 007 110 109 P.O. Box 8500, Maryborough D.C. QLD 4658 Phone (07) 5470 4200 Fax (07) 5470 4201 Email: info@greenhavenprojects.com.au		PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 AT: 56 BANKS POCKET ROAD, GYMPIE LOT 1 on MPH 23250 & LOT 1 on MPH 23246 DATE: 05/04/08	COUNCIL REFERENCE: DA12491 SHEET 1 of 35 DRAWING NO: GH1513/08/01
APPROVED: LARRY PERRY, P.E.C. 3042 DATE: 05/04/08	DESIGNER: D.S.K. DRAWN: D.S.K. DATE: 04/06/2008 CHECKED: L.P. DATE: 05/04/08	CLIENT: GYMPIE DEVELOPMENTS PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 AT: 56 BANKS POCKET ROAD, GYMPIE LOT 1 on MPH 23250 & LOT 1 on MPH 23246 DATE: 05/04/08	TITLE: LOCALITY AND SITE PLAN SIZE: A3

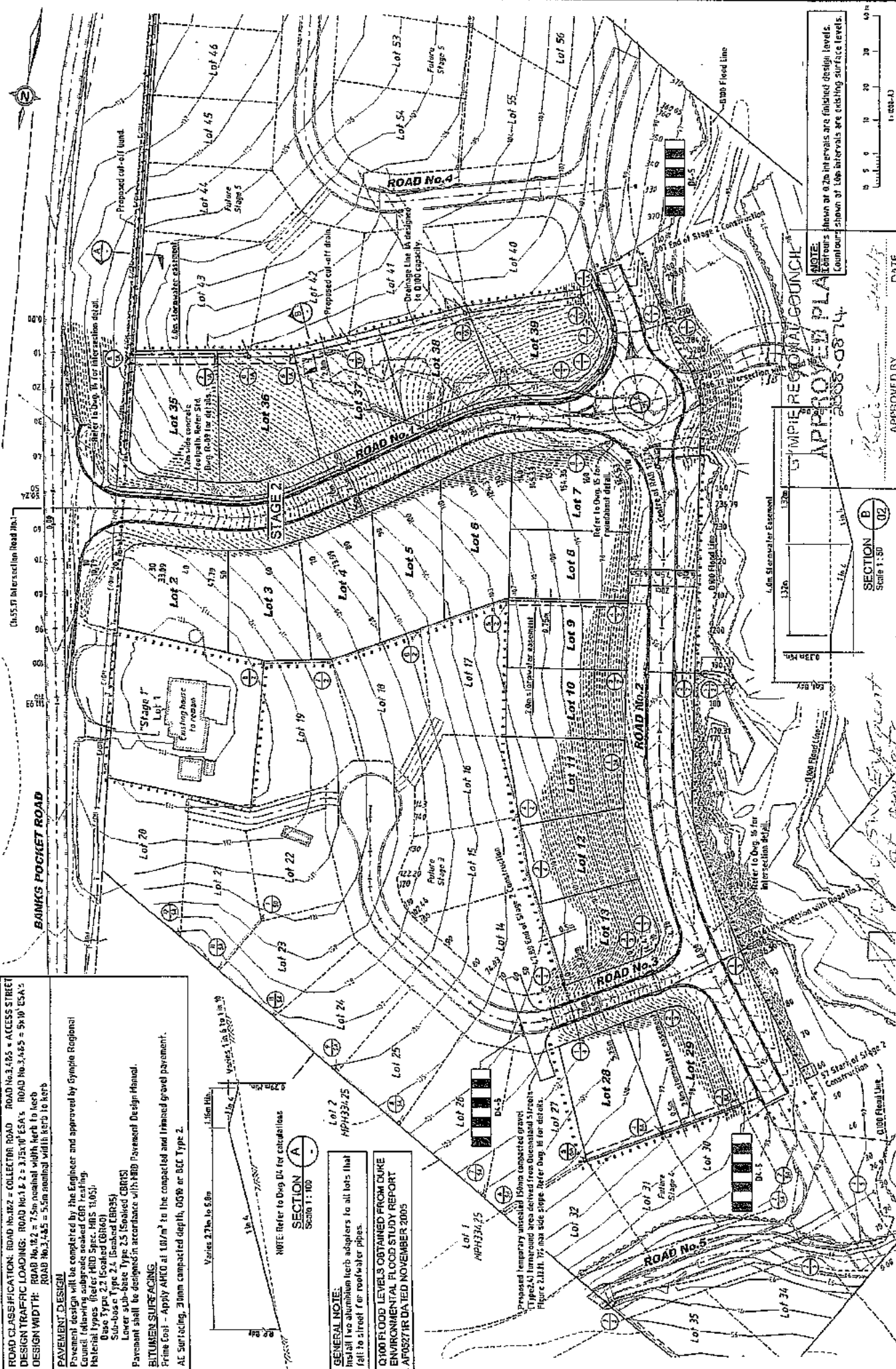
**ROAD CLASSIFICATION:** ROAD No. 1 & 2 = 3.75M<sup>2</sup> ESA'S ACCESS STREET  
**DESIGN TRAFFIC LOADING:** ROAD No. 1 & 2 = 3.75M<sup>2</sup> ESA'S ROAD No. 3 & 4 = 5M<sup>2</sup> ESA'S  
**DESIGN WIDTH:** ROAD No. 1 & 2 = 7.5m nominal width kerb to kerb  
 ROAD No. 3 & 4 = 5.5m nominal width kerb to kerb

**PAVEMENT DESIGN**  
 Pavement design will be completed by the Engineer and approved by Gympie Regional Council (allowing appropriate CDD rating).  
 Material Types: (HDB Type 1) HDB Type 1 (HDB 1000)  
 Base Type: (HDB Type 2) HDB Type 2 (HDB 1000)  
 Sub-base Type: (HDB Type 3) HDB Type 3 (HDB 1000)  
 Lower at 100mm Type 2.5 (Sealed CBRS)  
 Pavement shall be designed in accordance with HDB Pavement Design Manual.  
**BITUMEN SURFACING**  
 Prime Coat - Apply AHTO at 100mm to the compacted and dressed gravel pavement.  
 AC Surfacing, 30mm compacted depth, 0.5% or 0.5C Type 2.



**GENERAL NOTE:**  
 Install two aluminium kerb adapters to all lots that fall to street for roofwater pipes.

**1000 FLOOD LEVELS OBTAINED FROM DURE ENVIRONMENTAL FLOOD STUDY REPORT**  
 AF0527R DATED NOVEMBER 2005



**NOTE:**  
 Shown at 0.2m intervals are finished design levels. Contouring shown at the intervals are existing surface levels.

**APPROVED BY:** [Signature]  
**DATE:** 27/10/08

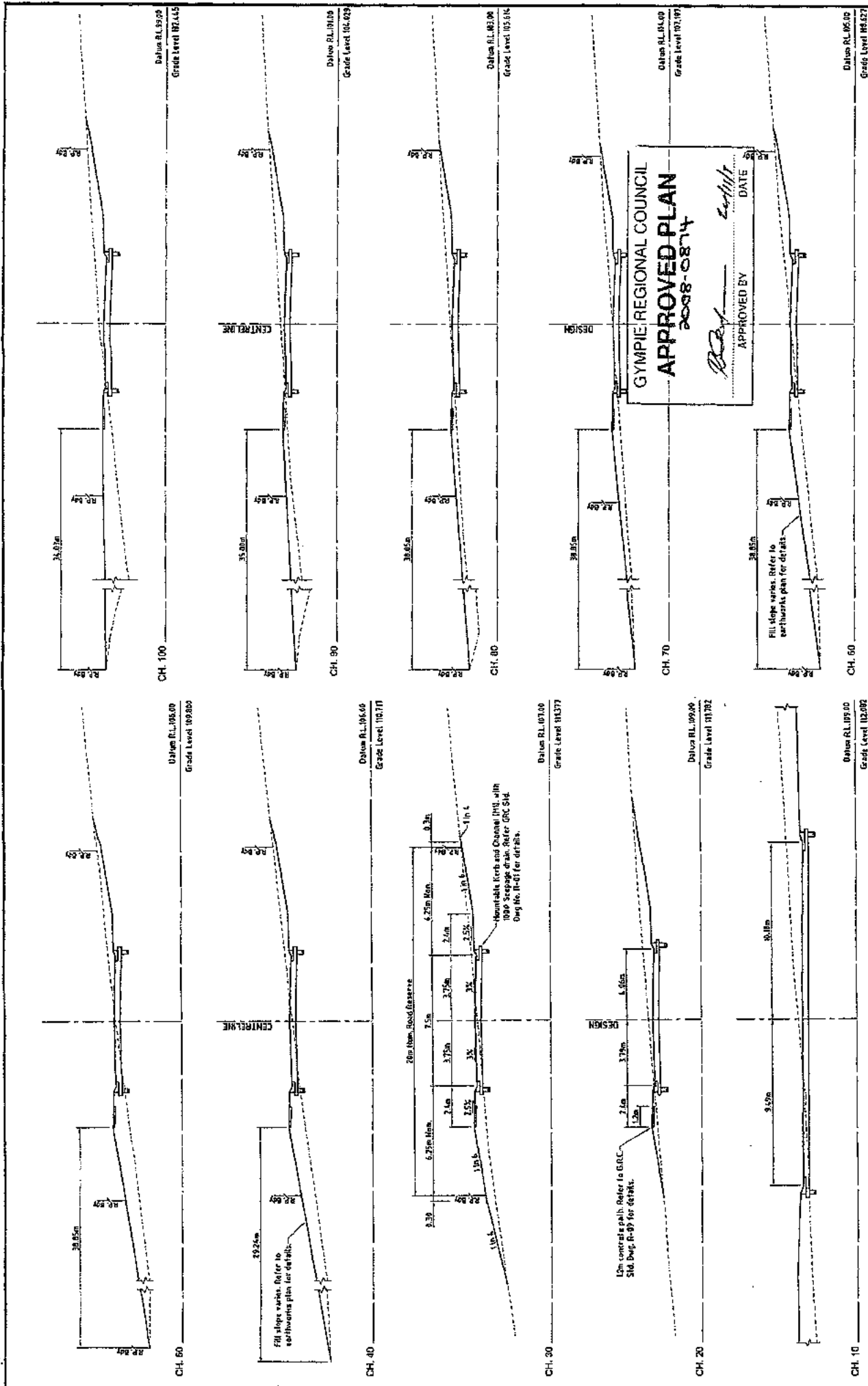
**SECTION B**  
 Scale 1:50

<b>Greenhaven Projects</b> Consulting & Engineering Pty. Ltd. 10/100 Bayswater Road Bayswater Vic 3083 Phone (03) 9475 1000 Fax (03) 9475 1001 Email: info@greenhavenprojects.com.au	<b>INSTITUTE OF THE ENGINEERS AUSTRALIA</b> No. 1000 Date: 27/10/08 Regulation for Engineering Practice	<b>APPROVED</b> Design: D.G.K. Drawn: D.G.K. Date: 04/06/2003 Checked: L.P. Date: 27/10/08	<b>APPROVED</b> Date: 27/10/08	<b>PROJECT:</b> PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 <b>AT:</b> 56 BANKS POCKET ROAD, GYMPIE <b>LOT 1 on MFP 23290 &amp; LOT 1 on MFP 23246</b> <b>TITLE:</b> ROADWORKS AND DRAINAGE PLAN	<b>COUNCIL REFERENCE:</b> DA12481 <b>Sheet:</b> 2 of 35 <b>DRAWING NO.:</b> GH1513/08/02A









### CROSS SECTIONS

Scale 1:200

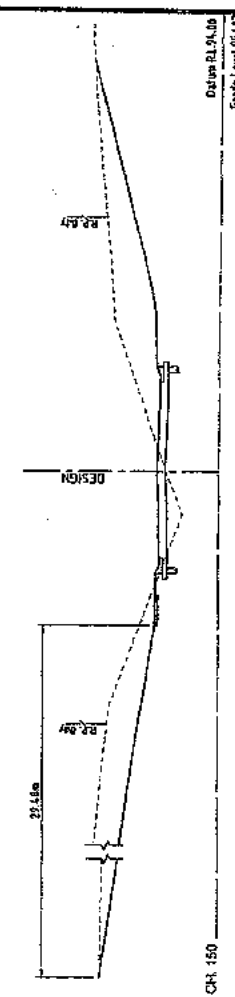
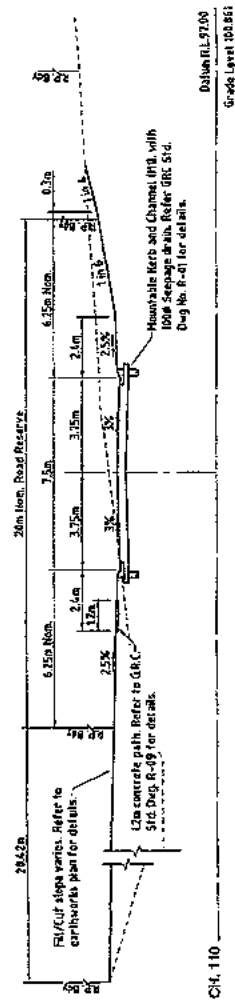
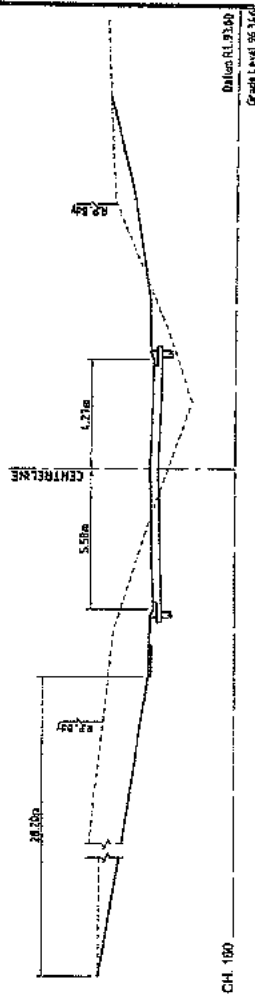
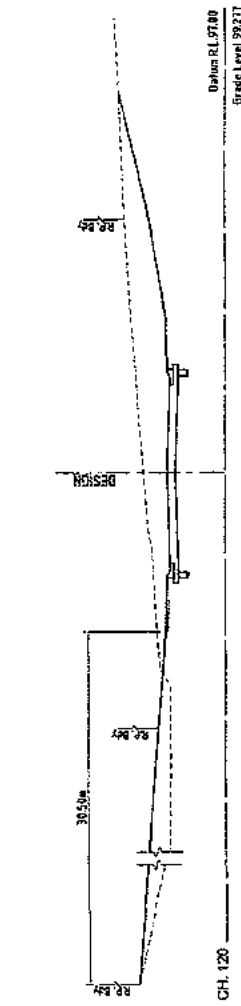
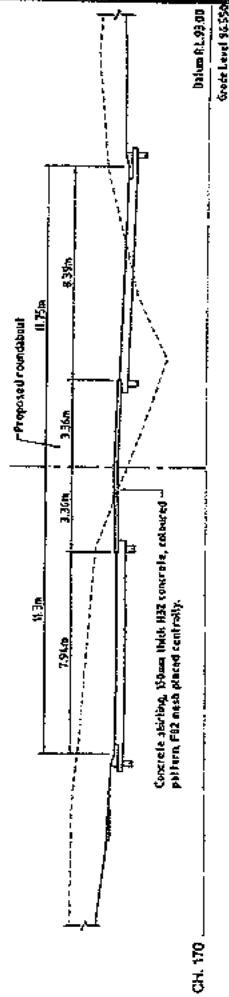
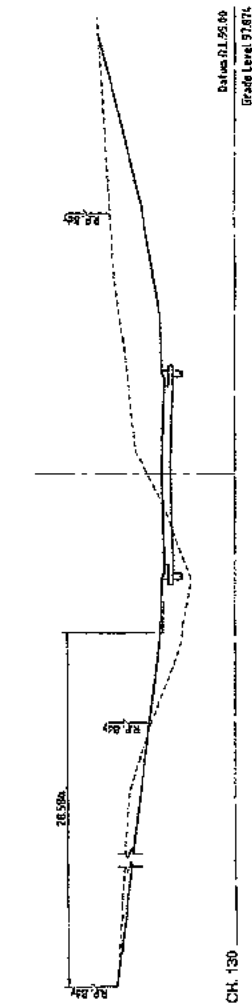
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DA12491		PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2		[Signature]		D.G.K.		2/1/2008		GH151308/05A	
Sheet 5 of 35		56 BANKS POCKET ROAD, GYMPIE		LARRY PUGH		D.G.K.		04/08/2008		DRAWING NO.	
		LOT 1 on MPH 23250 & LOT 1 on MPH 23246		DATE: 2/1/2008		Checked: L.P.				DRAWING NO.	
		1m E ROAD No. 1 CROSS SECTIONS - SHEET 1		SIZE: A3		Drawn: A.M.D.					






**Greenhaven Projects**  
P.O. Box 2000, Mandurah W.A. 6210  
Phone (08) 9470 4220 Fax (08) 9470 4220  
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APPROVED BY Ray DATE 2/24/12

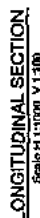


**CROSS SECTIONS**  
Scale 1:200

 <b>Greenhaven Projects</b> consulting civil engineers - project management services Pty. Ltd. ABN 68 007 110 169 P.O. Box 1000, Greenhaven NSW 1505 Tel: 02 9371 4122 Fax: 02 9371 4126 Email: info@greenhavenprojects.com.au Website: www.greenhavenprojects.com.au	 MEMBER OF THE INSTITUTE OF ENGINEERING AUSTRALIA	No 1	Date 2/2/2016	Amendment Revision 1 to 15/11/15 (15/11/15)	Design: Drawn: Date: Check:	D.G.I.C. U.G.K. L.P.N.	APPROVED  DAVID M. SMITH DATE 15/11/15	CLIENT: GYMPIE DEVELOPMENTS PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 AT: 56 BANKS POCKET ROAD, GYMPIE LOT 1 on MFP 23250 & LOT 1 on MFP 23246 DRAWING No. GYMPIE 15/308/005A TITLE: ROAD No. 1 CROSS SECTIONS - SHEET 2	COUNCIL REFERENCE: DA12481 Stage 6 of 25 DRAWING No. GYMPIE 15/308/005A



APPROVED BY 2001 DATE 24/10/07





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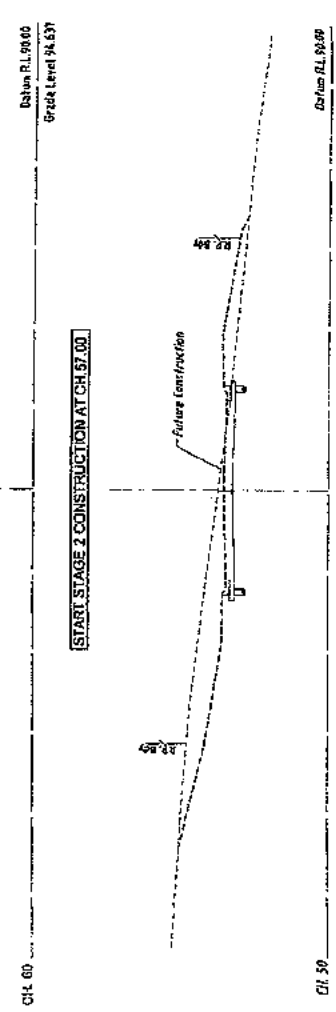
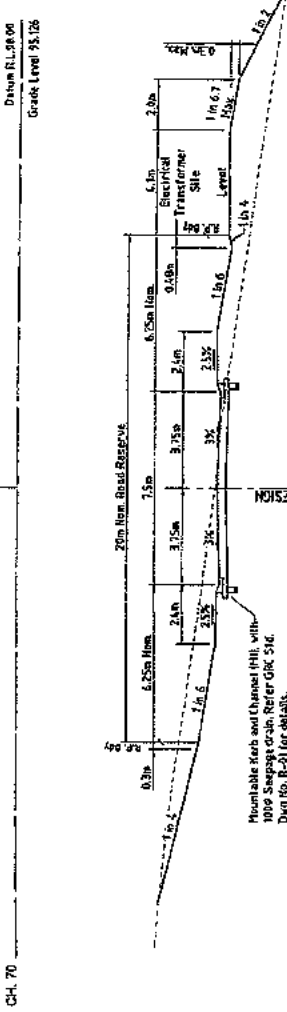
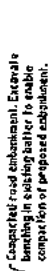
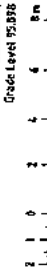
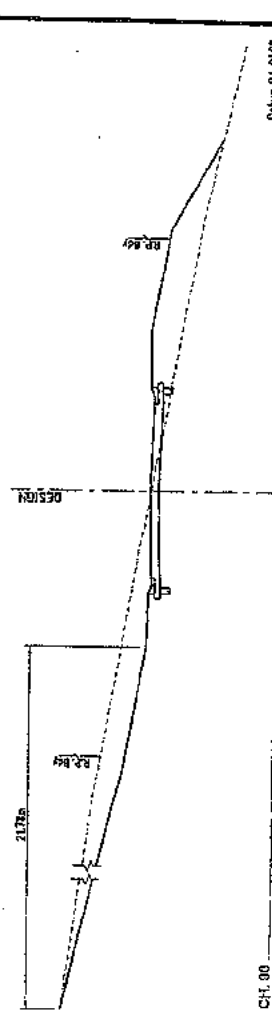
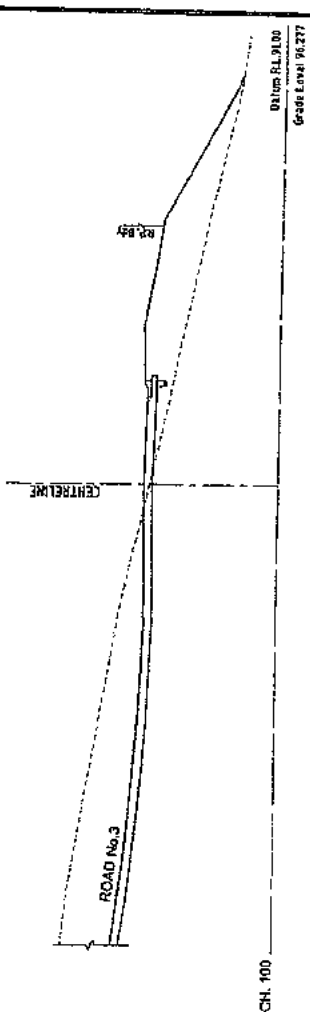
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 DEPARTMENT OF THE PLANNING AND BUILDING DIVISION	16	DATA	Amendment	Budget: D.G.K. Owner: O.S.G. Date: 04/09/2008 LARRY HENRIOTT, PRESIDENT CHECKED: L.P. DRAWN: A.H.D.	APPROVED  LARRY HENRIOTT, PRESIDENT DATE: 04/09/08	CLIENT: GYMPIE DEVELOPMENTS PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 AT: 58 BANKS POCKET ROAD, GYMPIE LOT 1 on NPH 23250 & LOT 1 on MPH 23248 TITLE: ROAD NO.2 LONGITUDINAL SECTION	COUNCIL REFERENCE: DA12491 CHAL 7 of 21 DRAWN BY: GH151308/07
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[illegible]

APPROVED BY Exp DATE ext 11/1 p



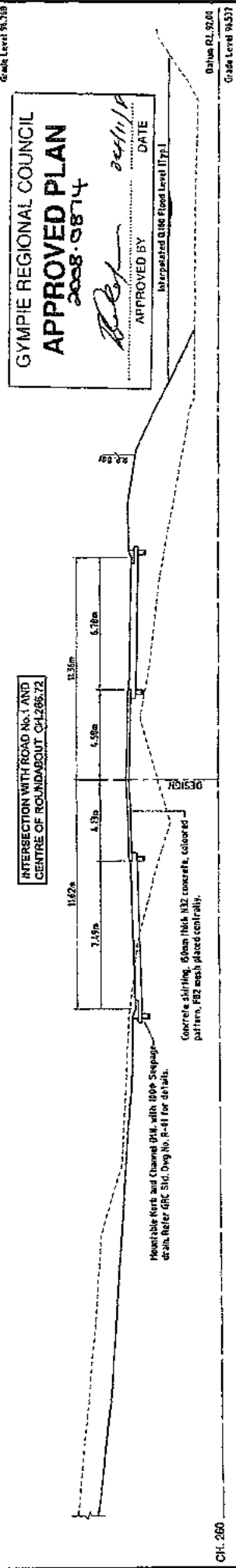
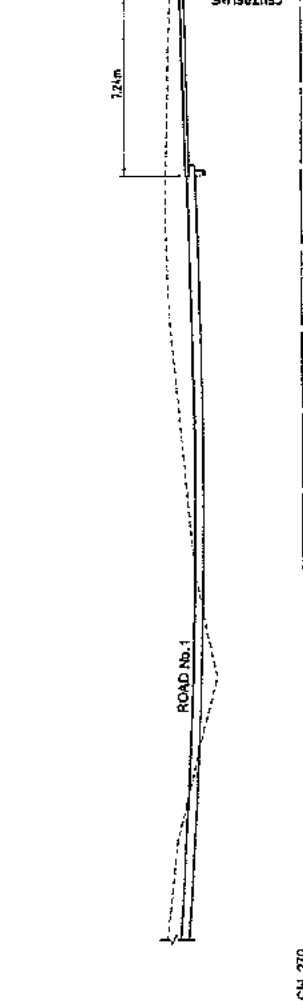
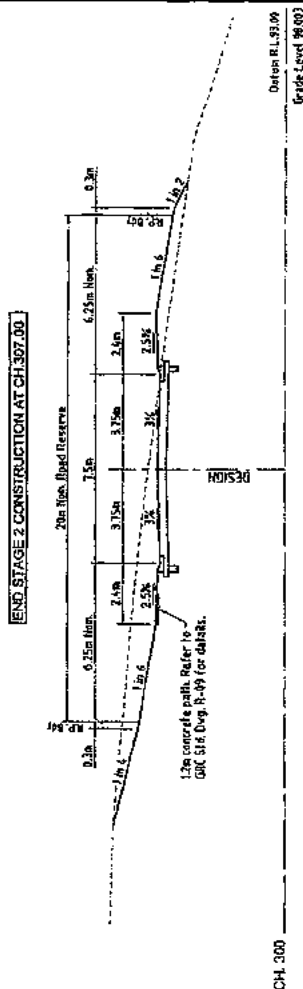
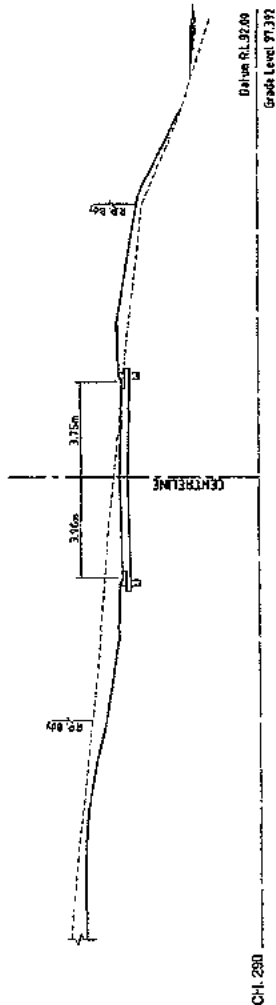
## CROSS SECTIONS

 <p><b>Greenhaven Projects</b> consulting civil engineers, project management &amp; surveyors Pty. Ltd. ABN 62 007 110 168 PO Box 4559 Perth WA 6150 Phone (08) 619 4239 Fax (08) 5470 4220 <b>THIS PLAN IS COVERED BY GREENHAVEN PROJECTS PTY LTD.</b></p>	 MESSAGE OF THE MANAGER OF THE CITY OF PERTH APPROVED FOR PUBLICATION DATE 27/06/2018	No A	Date 24/06/2018	Approved Review as per JTC information request dated 20/05/2018	Design: D.G.K. Drawn: 48002000 Checked: L.P. A.H.D. Project	APPROVED  LARRY ROBERTSON DATE: 27/06/2018	CLIENT: GYMNE DEVELOPMENTS PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 AT: 5B BANKS POCKET ROAD, GYMNE LOT 1 on MPH 23256 & LOT 1 on MPH 23246	COUNCIL REFERENCE:
								Drawing No:
								Sheet 9 of 30
								DRAWING NO:
								GH1513/08/08A
								THE ROAD NO.2 CROSS SECTIONS - SHEET 1









# CROSS SECTIONS Scale 1:200

<p><b>Greenhaven Projects</b> consulting and engineering - project management services P.O. Box 444, 444 St. Georges Road, QLD 4553 Phone (07) 5479 2220 Fax (07) 5479 4220 THIS PLAN IS COPY PROTECTED BY GREENHAVEN PROJECTS PTY. LTD.</p>	<p>Amendment</p> <p>Revised as per GRC information request dated 28/02/2005</p>	<p>Design: D.C.K.</p> <p>Drawn: D.C.K.</p> <p>Date: 04/06/2004</p> <p>Checked: L.P.</p> <p>Drawn: A.J.D.</p>	<p>APPROVED</p> <p><i>[Signature]</i></p> <p>LARRY PHILLIPS</p> <p>DATE: 2/12/2003</p> <p>SIZE: A3</p>	<p>CUSTOMER: GYMPIE DEVELOPMENTS</p> <p>PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2</p> <p>AT: 58 BANKS POCKET ROAD, GYMPIE</p> <p>LOT 1 on MPH 23250 &amp; LOT 1 on MPH 23246</p> <p>TITLE: ROAD NO. 2 CROSS SECTIONS - SHEET 4</p>	<p>COUNCIL REFERENCE: DA12491</p> <p>Sheet 11 of 35</p> <p>DRAWING NO: GH1513/08/11A</p>
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**GYMPIE REGIONAL COUNCIL**  
**APPROVED PLAN**  
2008-0874  
APPROVED BY *[Signature]* DATE 20/11/18  
Interpreted GRC Road Level 1771









LEGEND

- Existing Right-of-Way
- Existing Easements
- Existing Top of Bluffs
- Proposed Stormwater Detention Ponds
- Future Stormwater
- Proposed Kurb and Channel
- Future Kurb and Channel
- Proposed Open Drains
- Proposed Sewer
- Future Sewer

TURFING DETAIL  
N.T.S.

BANKS POCKET ROAD

Street name sign

3.5' x 10' x 12' x 14' x 16' x 18' x 20' x 22' x 24' x 26' x 28' x 30' x 32' x 34' x 36' x 38' x 40' x 42' x 44' x 46' x 48' x 50' x 52' x 54' x 56' x 58' x 60' x 62' x 64' x 66' x 68' x 70' x 72' x 74' x 76' x 78' x 80' x 82' x 84' x 86' x 88' x 90' x 92' x 94' x 96' x 98' x 100'

Refer overlap detail for culvert of existing parcels.

OVERLAP DETAIL  
Scale 1/2" = 1'

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- Future Kurb and Channel
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TURFING DETAIL  
N.T.S.

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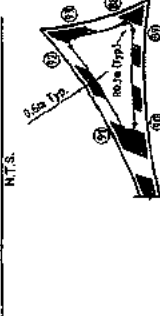
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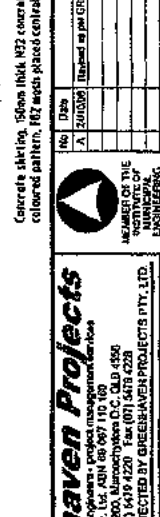
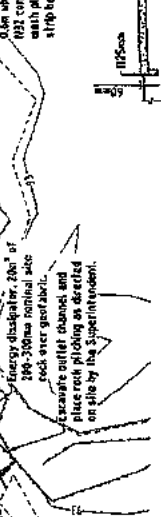
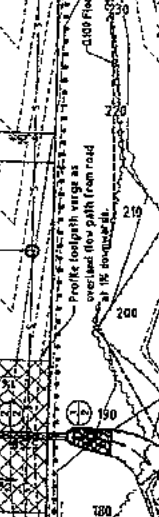
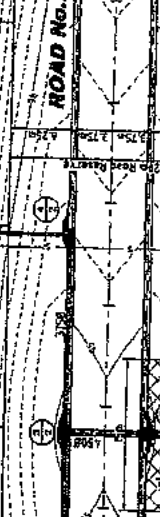
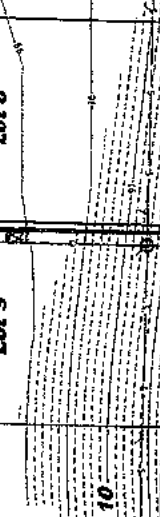
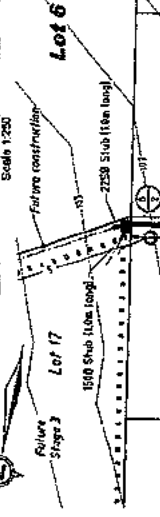
Concrete splitter island, 150mm thick  
R22 concrete, coloured pattern, R22  
mesh placed centrally

**SETOUT TABLE**

POINT	EASTING	NORTHING	REMARKS
21	4871.768	10171.444	96.288
22	4871.767	10170.287	96.261
23	4872.310	10167.481	96.203
24	4873.774	10164.184	96.171
25	4875.774	10160.424	96.148
26	4878.274	10156.262	96.140
27	4881.274	10151.602	96.140
28	4884.774	10146.440	96.140
29	4888.774	10140.778	96.140
30	4893.274	10134.616	96.140
31	4898.274	10127.954	96.140
32	4903.774	10120.792	96.140
33	4909.774	10113.130	96.140
34	4916.274	10104.968	96.140
35	4923.274	10096.306	96.140
36	4930.774	10087.144	96.140
37	4938.774	10077.482	96.140
38	4947.274	10067.320	96.140
39	4956.274	10056.658	96.140
40	4965.774	10045.496	96.140
41	4975.774	10033.834	96.140
42	4986.274	10021.672	96.140
43	4997.274	10009.010	96.140
44	5008.774	9995.848	96.140
45	5020.774	9982.186	96.140
46	5033.274	9968.024	96.140
47	5046.274	9953.362	96.140
48	5059.774	9938.200	96.140
49	5073.774	9922.538	96.140
50	5088.274	9906.376	96.140
51	5103.274	9889.714	96.140
52	5118.774	9872.552	96.140
53	5134.774	9854.890	96.140
54	5151.274	9836.728	96.140
55	5168.274	9818.066	96.140
56	5185.774	9798.904	96.140
57	5203.774	9779.242	96.140
58	5222.274	9759.080	96.140
59	5241.274	9738.418	96.140
60	5260.774	9717.256	96.140
61	5280.774	9695.594	96.140
62	5301.274	9673.432	96.140
63	5322.274	9650.770	96.140



**SPLITTER ISLAND SETOUT DETAILS**  
Scale 1:200



**LEGEND**

- Existing Overhead Power
- Existing Televis
- Existing Edge of Slope
- Proposed Stormwater Drainage Pipe
- Future Stormwater
- Proposed Kerb and Channel
- Future Kerb and Channel
- Proposed Open Drain
- Proposed Sewer
- Future Sewer

**SETOUT TABLE**

POINT	EASTING	NORTHING	LEVEL
74	4842.542	10172.845	96.230
75	4842.541	10172.705	96.210
76	4843.081	10169.903	96.204
77	4843.080	10169.763	96.184
78	4843.620	10166.961	96.178
79	4843.619	10166.821	96.158
80	4844.159	10164.019	96.152
81	4844.158	10163.879	96.132
82	4844.698	10161.077	96.126
83	4844.697	10160.937	96.106
84	4845.237	10158.135	96.100
85	4845.236	10157.995	96.080
86	4845.776	10155.193	96.074
87	4845.775	10155.053	96.054
88	4846.315	10152.251	96.048
89	4846.314	10152.111	96.028
90	4846.854	10149.309	96.022
91	4846.853	10149.169	96.002
92	4847.393	10146.367	95.996
93	4847.392	10146.227	95.976

2m concrete path Refer to G.C. Sid. Dwg. R-09 for details.

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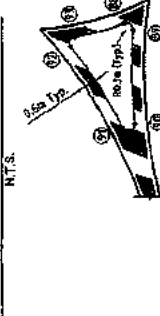
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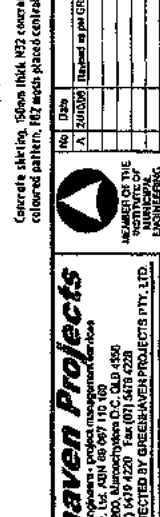
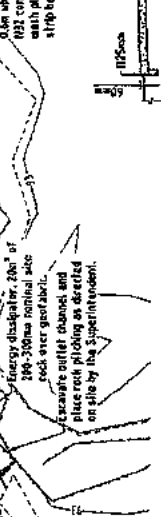
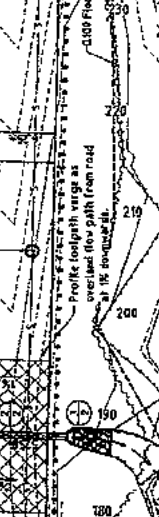
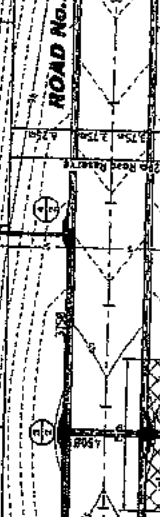
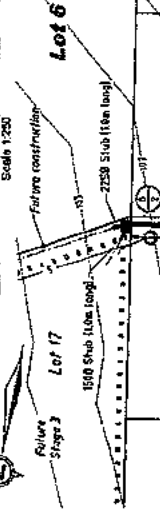
Concrete splitter island, 150mm thick  
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43	4997.274	10009.010	96.140
44	5008.774	9995.848	96.140
45	5020.774	9982.186	96.140
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**SPLITTER ISLAND SETOUT DETAILS**  
Scale 1:200



**LEGEND**

- Existing Overhead Power
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- Proposed Stormwater Drainage Pipe
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83	4844.697	10160.937	96.106
84	4845.237	10158.135	96.100
85	4845.236	10157.995	96.080
86	4845.776	10155.193	96.074
87	4845.775	10155.053	96.054
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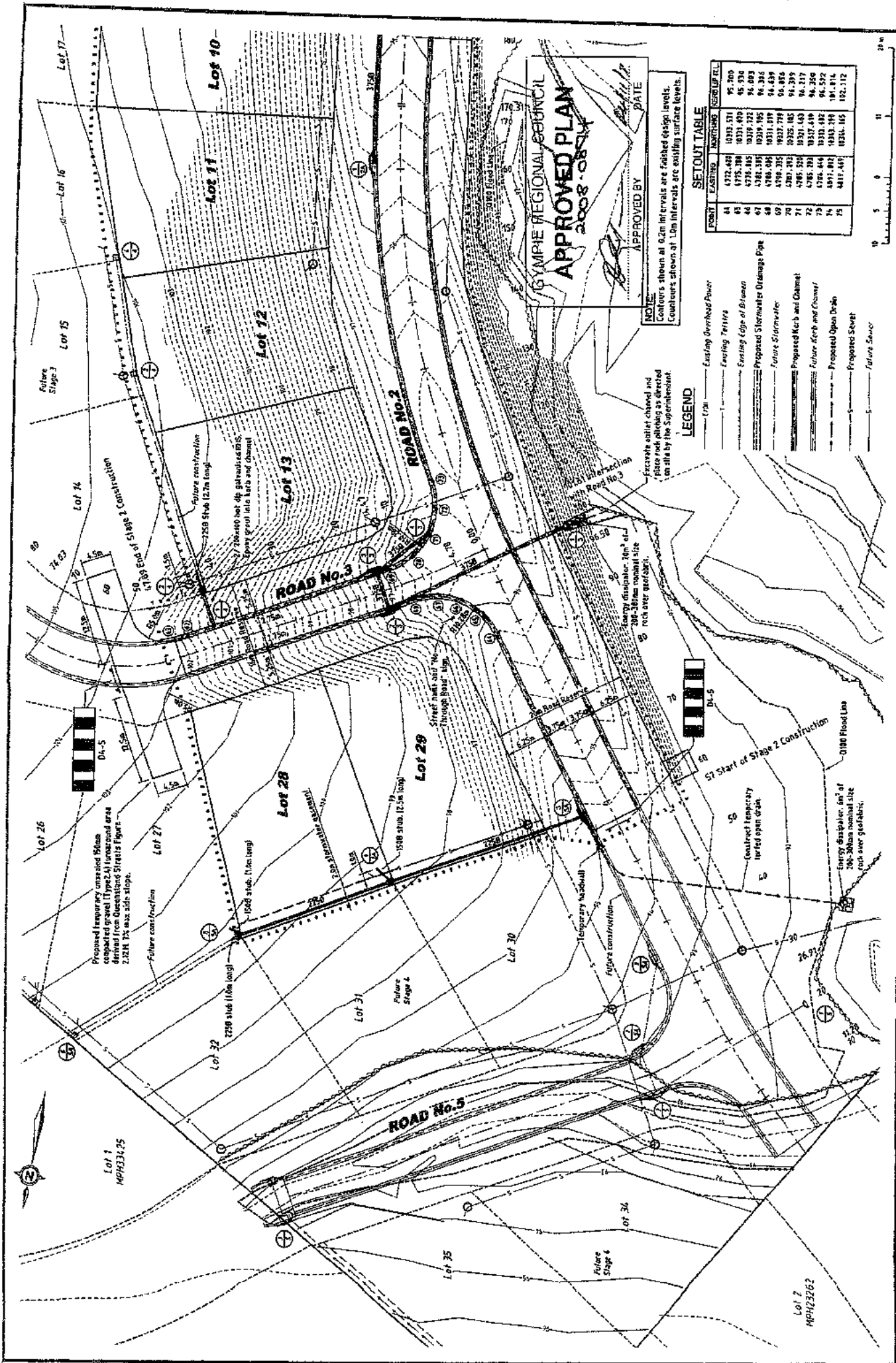
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Concrete splitter island, 150mm thick  
R22 concrete, coloured pattern, R22  
mesh placed centrally

POINT	EASTING	NORTHING	REMARKS
23	4851.968	10171.444	96.280
24	4867.367	10170.200	96.201
25	4842.310	10167.481	96.203
26	4839.971	10164.204	96.221
27	4837.546	10160.176	96.410
28	4836.174	10155.497	96.701



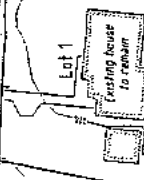


<b>Greenhaven Projects</b> CONSULTING ENGINEERS, PROJECT MANAGEMENT SERVICES Pty. Ltd. ABN 69 067 110 169 P.O. Box 8306, Manly NSW 1509 Phone (07) 5479 4220 Fax (07) 5070 4220 THIS PLAN IS COPYRIGHTED BY GREENHAVEN PROJECTS PTY. LTD. UNLESS OTHERWISE STATED.		<b>CLIENT:</b> GYMPIE DEVELOPMENTS <b>PROJECT:</b> PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 <b>AT:</b> 58 BANKS POCKET ROAD, GYMPIE <b>LOT 1 ON MPH 23250 &amp; LOT 1 ON MPH 23246</b> <b>TITLE:</b> INTERSECTION DETAIL PLAN - SHEET 3
<b>DESIGN:</b> D.G.K. <b>DRAWN:</b> D.S.C. <b>CHECKED:</b> L.P. <b>DATE:</b> 09/08/2008	<b>APPROVED:</b> LARRY PUGH DATE: 11/08/08	<b>COUNCIL REFERENCE:</b> DA12491 <b>Sheet:</b> 10 of 31 <b>DRAWING NO.:</b> GH1513/08/16A

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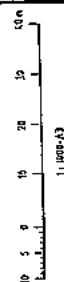
GYMPIE REGIONAL COUNCIL  
SUBDIVISION PLAN

BANKS POCKET ROAD

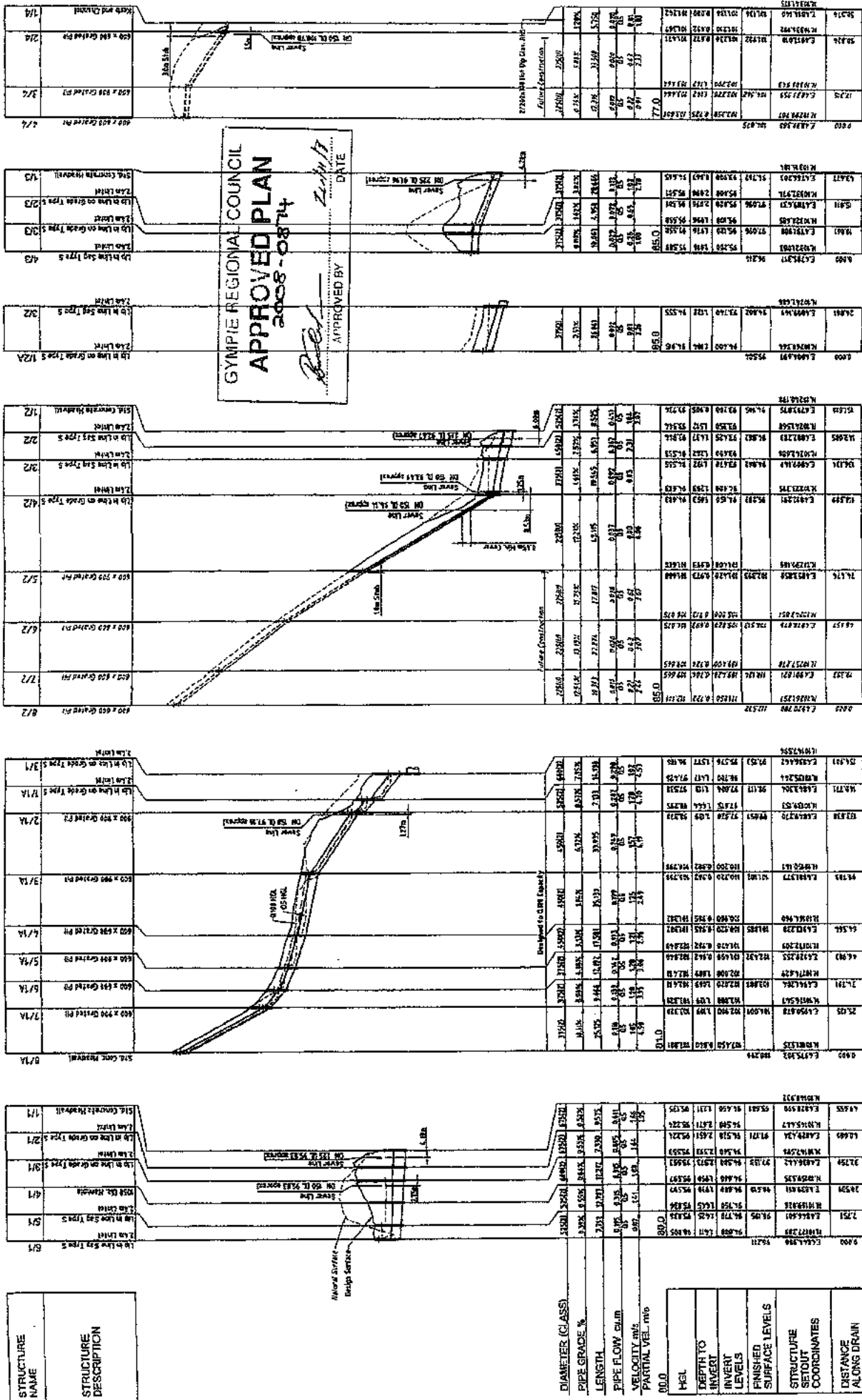


NOTE:  
Contours shown in hatched areas are finished design levels.  
Contours shown outside hatched areas are existing surface levels.

EARTHWORKS CONSTRUCTION SHALL CONFORM WITH  
AS.3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL  
AND INDUSTRIAL DEVELOPMENTS" TO LEVEL II SUPERVISION



<p><b>Greenhaven Projects</b> consulting civil engineers - project management services Pty Ltd. ABN 60 067 710 110 P.O. Box 800, 200, 2200 Fax 07 579 4270 THIS PLAN IS COPY PROTECTED BY GREENHAVEN PROJECTS PTY LTD.</p>		<p>MEMBER OF THE INSTITUTE OF ENGINEERS AUSTRALIA</p>	
<p>Lot 1 NPM33901</p>	<p>Lot 2 NPM33425</p>	<p>Lot 3 NPM33425</p>	<p>Lot 4 NPM33425</p>
<p>Lot 5 NPM33425</p>	<p>Lot 6 NPM33425</p>	<p>Lot 7 NPM33425</p>	<p>Lot 8 NPM33425</p>
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LONGITUDINAL SECTION  
Scale 1:1200 V 1:200

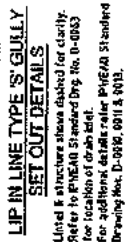
APPROVED  
DATE 08/14/08

DESIGNED BY: D.G.K.  
DRAWN BY: D.G.K.  
CHECKED BY: D.G.K.  
DATE: 08/14/08

PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2  
AT: 56 BANKS POCKET ROAD, GYMIE  
LOT 1 ON MPH 23250 & LOT 1 ON MPH 23248

COUNCIL REFERENCE: DA12401  
SHEET 18 OF 32  
DRAWING NO: GH1513/08/18



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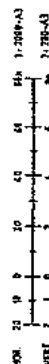
**STORMWATER PIT NOTES:**

- | 1. <b>Types of Pits - Refer to PUCAN Std. Day 1-1996</b> |  |                    |                     |           |         |           |         |           |                |           |          |             |          |
|--|--|--------------------|---------------------|-----------|---------|-----------|---------|-----------|----------------|-----------|----------|-------------|----------|
| 2. <b>Allowance for Pit Depth</b>                        | <table border="1"> <tr> <th>Allowance Pit Size</th> <th>Allowance Pit Depth</th> </tr> <tr> <td>400 x 500</td> <td>- 750mm</td> </tr> <tr> <td>600 x 500</td> <td>- 750mm</td> </tr> <tr> <td>900 x 500</td> <td>- 750 x 1200mm</td> </tr> <tr> <td>900 x 900</td> <td>- 1500mm</td> </tr> <tr> <td>1050 x 1050</td> <td>- 1000mm</td> </tr> </table>  | Allowance Pit Size | Allowance Pit Depth | 400 x 500 | - 750mm | 600 x 500 | - 750mm | 900 x 500 | - 750 x 1200mm | 900 x 900 | - 1500mm | 1050 x 1050 | - 1000mm |
| Allowance Pit Size                                       | Allowance Pit Depth  |                    |                     |           |         |           |         |           |                |           |          |             |          |
| 400 x 500  | - 750mm  |                    |                     |           |         |           |         |           |                |           |          |             |          |
| 600 x 500  | - 750mm  |                    |                     |           |         |           |         |           |                |           |          |             |          |
| 900 x 500  | - 750 x 1200mm   |                    |                     |           |         |           |         |           |                |           |          |             |          |
| 900 x 900  | - 1500mm   |                    |                     |           |         |           |         |           |                |           |          |             |          |
| 1050 x 1050  | - 1000mm   |                    |                     |           |         |           |         |           |                |           |          |             |          |
| 3. <b>Use of Subsoil</b>                                 | <p>Use of subsoil is not allowed</p> <p>Concrete pits to accommodate pits shall be suitable for heavy loading</p> <p>(ITELIAN Type Class C or equivalent for precast aluminium pit) Bottom of pit shall be bedded, sand, gravel (drained), reinforced concrete</p> <p>All pits shall be finished flush with inside of pit wall</p> <p>and shall be under and joints between pipe and subsoil</p> |                    |                     |           |         |           |         |           |                |           |          |             |          |

GYMPIE REGIONAL COUNCIL  
**APPROVED PLAN**  
2008-0874

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

DATE \_\_\_\_\_



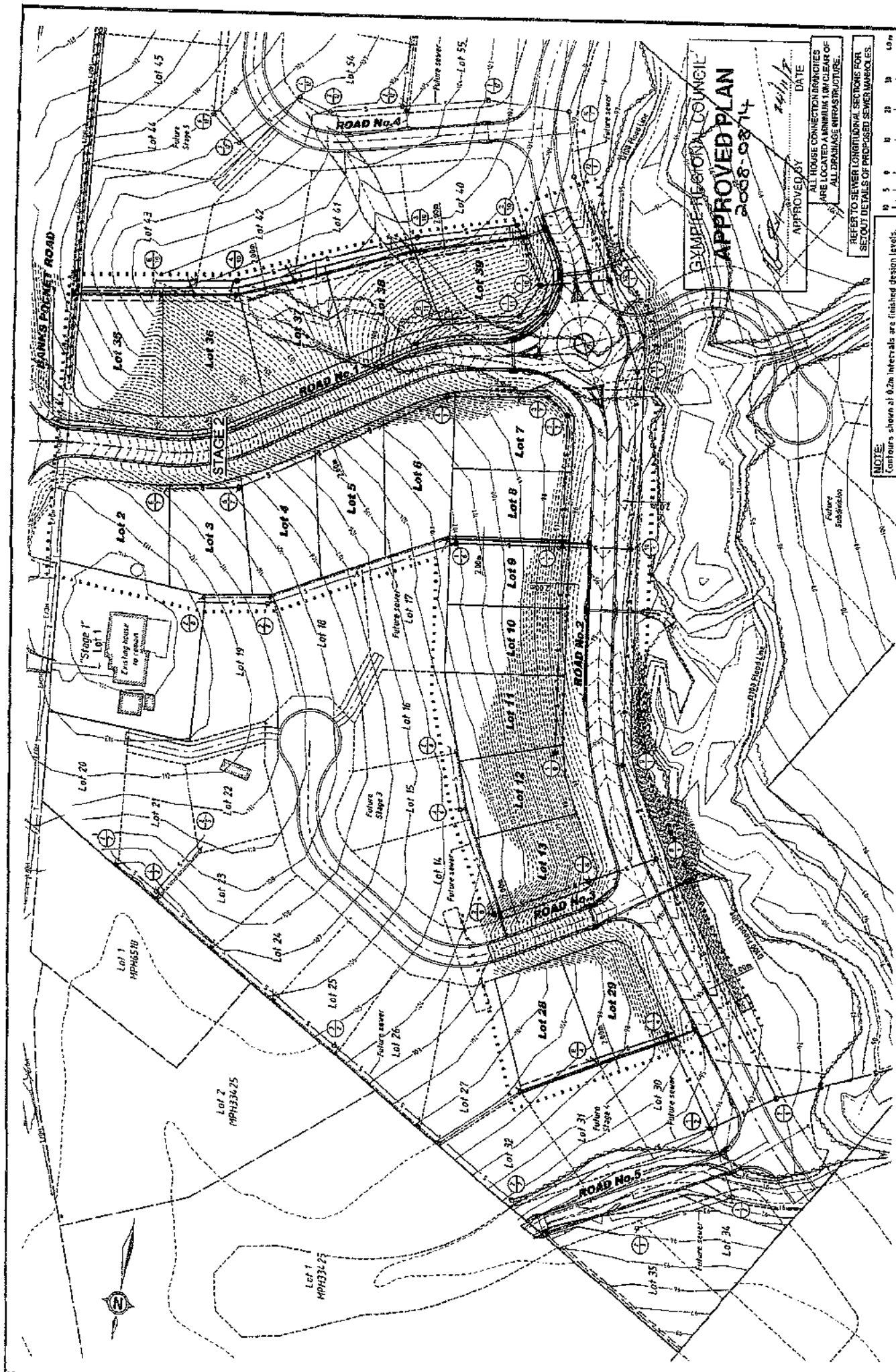
**LONGITUDINAL SECTION**  
Scale 1:40000 V 1200

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**NAME**

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GYMPIE REGIONAL COUNCIL  
**APPROVED PLAN**  
 2008-0874  
 APPROVED BY: *[Signature]* DATE: 24/1/12

ALL HOUSE CONNECTIONS  
 ARE LOCATED A MINIMUM 1m CLEAR OF  
 ALL DRAINAGE INFRASTRUCTURE.

REFER TO SEWER LONGITUDINAL SECTIONS FOR  
 SETOUT DETAILS OF PROPOSED SEWER MANHOLES.

NOTE:  
 Contours shown at 0.2m intervals are finished design levels.  
 Contours shown at 1m intervals are existing surface levels.

APPROVED	DESIGN	GYMPIE DEVELOPMENTS
<i>[Signature]</i>	D.G.K.	PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2
LARRY PUGHETT, RPED 3942	D.G.K.	AT: 56 BANKS POCKET ROAD, GYMPIE
DATE: 8/10/08	DATE: 04/06/2008	LOT 1 on MPH 23250 & LOT 1 on MPH 23246
SIZE: A3	Checked: L.P.	TITLE: SEWER RETICULATION PLAN - SHEET 1
	Drawn: A.M.G.	DRAWING NO: GH151308/20A

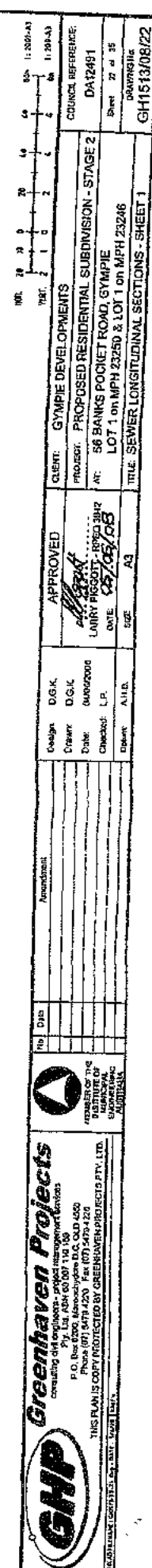
Design:	D.G.K.	Drawn:	D.G.K.	Date:	04/06/2008
Checked:	L.P.	Checked:	L.P.	Date:	04/06/2008
Drawn:	A.M.G.	Drawn:	A.M.G.	Date:	04/06/2008

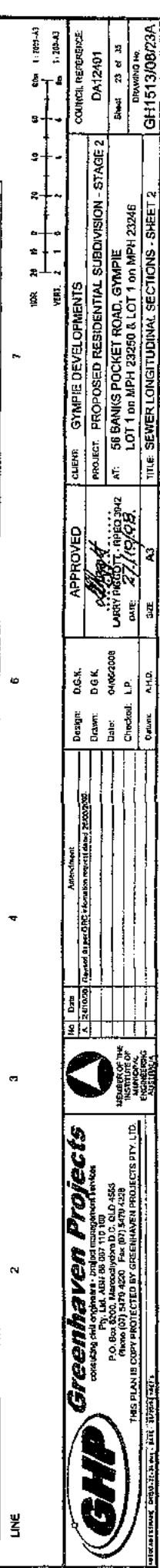
**Greenhaven Projects**  
 Consulting & Engineering  
 Pty. Ltd. ABN 68 001 110 160  
 P.O. Box 6980, Manlywood QLD 4155  
 Phone (07) 5476 4220 Fax (07) 5476 4228  
 THIS PLAN IS COPY PROTECTED BY GREENHAVEN PROJECTS PTY. LTD.  
 SUBSTANTIAL REVISIONS MUST BE APPROVED BY THE ENGINEER.

JONES SHEET 2







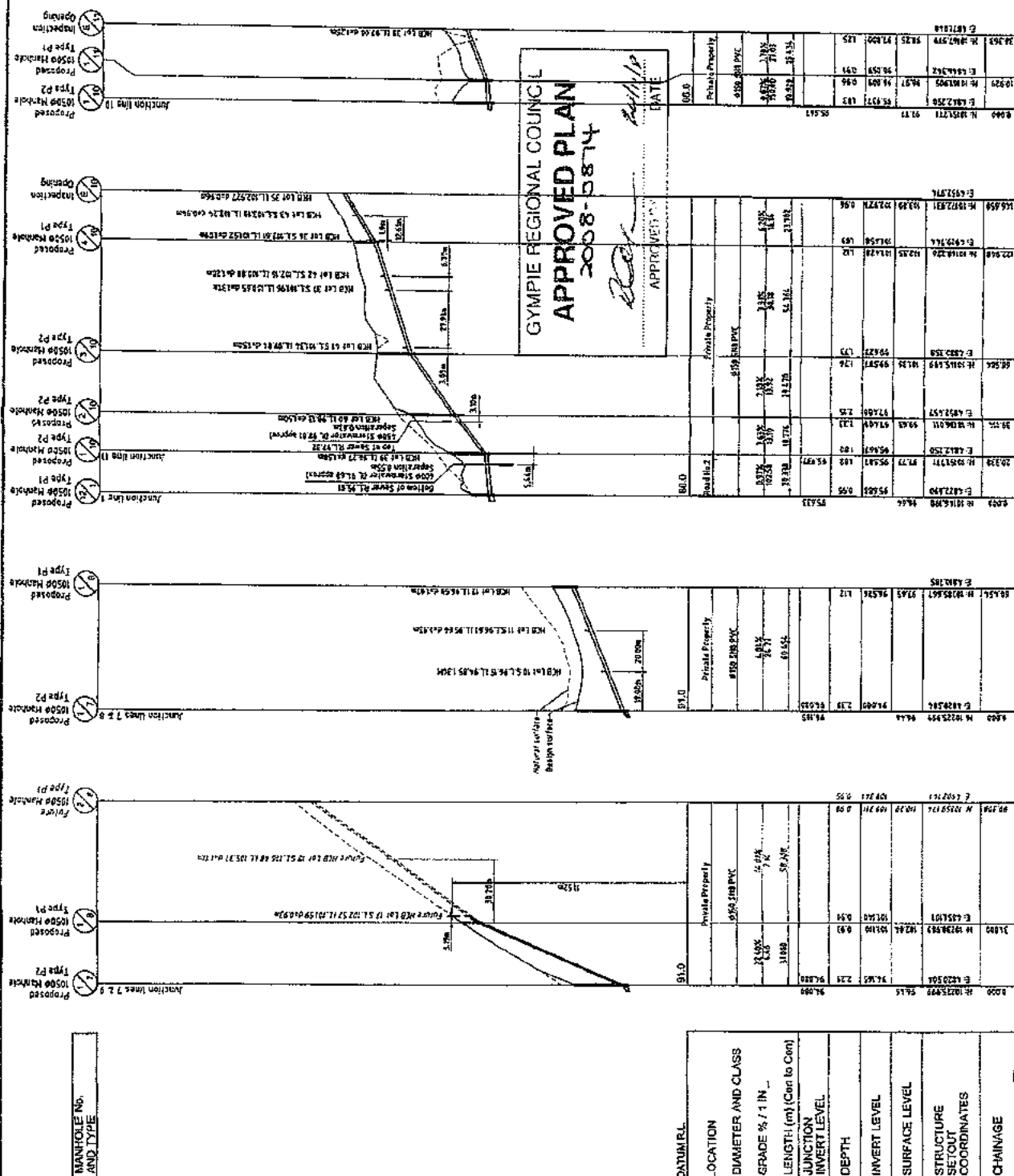


# PRESSURE TESTING SEWER MAINS

DEPTH RANGE OF SEWER	0 - 3.0m	GREATER THAN 3.0m
INITIAL PRESSURE (kPa)	35	50
TEST START PRESSURE (kPa)	30	45
MINIMUM SEWER DIAMETER (mm)	150	225
MIN. TIME TO BRIDG 5kPa	2 Min.	3 Min.
	5 Min.	10 Min.

## SEWER RETICULATION NOTES

- Unless shown otherwise:-  
a. All gravity sewers shall be 150mm diameter uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
b. All gravity sewers shall be 150mm diameter uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
c. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
d. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
e. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
f. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
g. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
h. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
i. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
j. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
k. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
l. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
m. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
n. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
o. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
p. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
q. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
r. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
s. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
t. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
u. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
v. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
w. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
x. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
y. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).  
z. Stormwater pipe crossings shall be uPVC Class 4 SNI R.J.J. to AS 1580 in 20m maximum lengths (uncoiled).
- 150mm pipe grades shall be:-  
a. 150mm pipe - 1 in 150; 275mm pipe - 1 in 200; 300mm pipe - 1 in 420.
- Where gravity or rising sewer mains connect into existing sewer mains, the contractor shall verify the designed location and level of the point of connection prior to commencement of any construction.
- Bedding material for pipelines to be washed line screenings sewer pipe line bedding shall be compacted to the following density:-  
a. Coarser grit - 90% R.D.D. Standard compaction  
b. Sand - 85% density R.D.D.
- Minimum cover to uPVC Class 300 pipe shall be:-  
a. All mains shall be covered with 1.5m minimum cover.  
b. All mains shall be covered with 1.5m minimum cover.  
c. All mains shall be covered with 1.5m minimum cover.  
d. All mains shall be covered with 1.5m minimum cover.  
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x. All mains shall be covered with 1.5m minimum cover.  
y. All mains shall be covered with 1.5m minimum cover.  
z. All mains shall be covered with 1.5m minimum cover.
- Standard sewer alignments are:-  
a. Side boundary - 1.5m  
b. Front & rear boundary - 1.5m
- Sever manhole construction:-  
a. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.  
b. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.  
c. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.  
d. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.  
e. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.  
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x. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.  
y. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.  
z. All manholes shall be finished with tops parallel to and approximately 100mm above finished ground level.
- Manhole connections to existing sewers shall be completed by the developer's engineer.



**Greenhaven Projects**  
 Consulting civil engineers - project management services  
 Pty Ltd. ABN 50 067 110 158  
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 Phone 08 9478 4220 Fax 08 9478 4229  
 Email info@greenhavenprojects.com.au  
 THE PLAN IS COPY PROTECTED BY GREENHAVEN PROJECTS PTY. LTD.

DATE: 10/10/08  
 DRAWN: L.P.  
 CHECKED: L.P.  
 DESIGNED: L.P.  
 APPROVED: L.P.

CLIENT: GYMPIE DEVELOPMENTS  
 PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2  
 SITE: 58 BANKS POCKET ROAD, GYMPIE  
 LOT 1 on MPH 23250 & LOT 1 on MPH 23240  
 TITLE: SEWER LONGITUDINAL SECTIONS - SHEET 3

COUNCIL REFERENCE: DA12491  
 SHEET 3 OF 35  
 DRAWING NO: GH1513/08/24A

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 1.200-A3  
 1.200-A3



### LEGEND

NOTES (GYMPIE REGIONAL COUNCIL (G.R.C))

1. Council has adopted the WSAA specifications and standards except as varied below.
2. Water reticulation mains shall be constructed on a 2.0m alignment unless otherwise approved by the D.C.C.
3. Connections to existing water trunk or reticulation mains to be completed by the Designer's company.
4. Materials and workmanship to be installed as per the drawings.
5. Burial depth shall be in accordance with the following:-
  - a. Service valves shall be installed on a 1.0m alignment, 1.0m from the centreline with WSA, Sid Develops, WA1-102 and W63 and a 300mm minimum clearance.
  - b. Service valves shall be installed on a 1.0m alignment, 1.0m from the centreline. When connecting to water mains = 3000mm a 1m with flagged branch and flanged valve shall be used.
6. Fire hydrants shall be installed as follows:
  - a. Opposite concrete boundaries, at end of water main, at creeds and says generally, maximum 300mm below ground level
  - b. Maximum 60m up slope maximum along the mains.
  - c. Orientate spring heads with bolt, parallel to water mains. Refer WSA Sid, Dwg. WA1-132.
7. Minimum pipe cover shall be as follows:
  - a. Footpaths 600mm
  - b. Private Property 600mm
  - c. Under Roads 900mm
  - d. Major Roads 1200mm
  - e. Freeways, bridges, and batifalling shall conform to the Superintendant, to 1200mm.
8. Minimum clearances between water mains and underground facilities shall be in accordance with WSA Part 1 Planning and Design clause 14.5.2.7, table 4.1
9. WSA Sid 102-103 shall be installed in accordance with WSA Sid, Dwg. WA1-132.
10. Another Molex shall be used to resist vertical thrusts and shall be constructed in accordance with WSA Sid, Dwg. WA1-120.
11. Spatial requirements:
  - a. All reduced adjacent to sluice valves at water main junctions shall be (if) required
  - b. All water service pipes installed in traffic islands and parks for landscaping purposes shall be fitted with a lion treading double check valve.
  - c. Location of water services to traffic islands and parks to conform with landscape design or otherwise as directed by the Superintendant.
  - d. G.C.C. will not permit any banding of pipes.
  - e. Pressure testing shall be considered in accordance with WSA Part 3 Construction Section 13.4 except that the minimum test pressure shall be 1.5Mpa.
12. Funding, distribution and bacteriological testing shall be completed in accordance with WSA Part 3 Construction Section 19.5, 20.1, and 20.2, except that the tests shall be installed in accordance with WSA Sid, Dwg. WA1-103 series and be installed a minimum of 600mm below the water or concrete path and 1000mm below the road level.
13. All identification markers and marker posts to be installed to WSA Sid, Dwg. WA1-106.

**APPROVED MATERIALS AND EQUIPMENT - WATER SUPPLY**

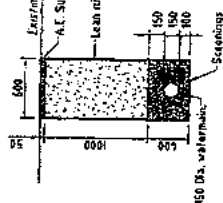
- DRIPS** 100000 - 175000  
• DRL (AS/NZS 2280) class PM95 R1 pipe polyethylene IAS3600 wrapped.  
• DPVC (AS/NZS 1479) series 2 PH 4 or BCR1.  
• DPVC Int. A.S. 44-11 series 2 PH 4 or BCR1.  
• DPVC Int. AS/NZS 47151 Series 2 PH 1 or BCR1.
- DRIES** 175000 -  
• DRSL (AS/NZS 2280) class PM95 R1 pipe polyethylene IAS3600 wrapped.  
• DRSL (AS/NZS 1479) Union bonded low density polyethylene coating IAS2400.
- DRIES WITHIN - 20mm**  
• Polyethylene PEW Type (AS/NZS 1479) L 4.030 PHMG.
- DRUMS**  
• DPVC medium class 1 pipe  
• DPVC minimum class 1 pipe
- DUCT AND EQUIVANT**  
• DUVT with fusion bonded epoxy (FBE) coating and lining or equivalent with  
injected metal. Valves to be IAS3600 resilient seated with  
wedges fully encapsulated in rubber and complex machining required  
specifies for closing. Flange fittings to be drilled to table C IAS44031  
with 3/6 S.S. bolts and 304 S.S. nuts.
- DUPLICATE**  
• Air valves as directed by G.B.C.
- ELIMINATE**  
• IAS/NZS 2280 polyethylenes IAS3600 wrapped except Fm-leaded  
Service Connectors to be DNCT with Union bonded epoxy (FBE) coating  
and lining or equivalent. Where pre-leaded service connectors are not  
available, stainless steel tapping bands or gasketed tapping bands  
with 316 S.S. bolts, 304 S.S. nuts are to be used. Ferrules, no less TP98  
P with bonnet type to be used with tapping bands. nPVC IAS/NZS  
1479 series 2 PHMG.
- VALUE AND INFLUENT GUSES:**  
• Boxes made from HDPE Orange universal surface boxes or similar with  
colour-coded lids (yellow for hydrants, white for valves) marked H1  
for hydrants and SV for valves.
- INSTANT FLOW REGulating VALVE:**  
• "BUTTERFLY" 20mm B.S.P. screwed FN, fitted for medium flow of 1 l/min.







# APPROVED PLAN

2008-08-14  
APPROVED BY [Signature] DATE 2010/10/14

### TRENCHING DETAIL



<div><div><b>Greenhaven Projects</b> CONSULTING ENGINEERS 10/100 WILSON ROAD, SUITE 101 P.O. BOX 5200, JERRARD VIC 3616 Phone (07) 5479 4220 Fax (07) 5479 4520 Email: info@greenhavenprojects.com.au Website: www.greenhavenprojects.com.au</div></div>		<div><div><b>GHP</b> P.O. Box 5200, Jerrard VIC 3616 Phone (07) 5479 4220 Fax (07) 5479 4520 Email: info@greenhavenprojects.com.au Website: www.greenhavenprojects.com.au</div></div>		<div>SEAL OF THE STATE OF VICTORIA DEPARTMENT OF TRANSPORT &amp; INFRASTRUCTURE 100 COLLINS STREET MELBOURNE VIC 3000</div>		<div><div><div>(b) Date</div><div>A. 24/06/2010</div><div>C. 24/06/2010</div><div>D. 24/06/2010</div><div>E. 24/06/2010</div><div>F. 24/06/2010</div><div>G. 24/06/2010</div><div>H. 24/06/2010</div><div>I. 24/06/2010</div><div>J. 24/06/2010</div><div>K. 24/06/2010</div><div>L. 24/06/2010</div><div>M. 24/06/2010</div><div>N. 24/06/2010</div><div>O. 24/06/2010</div><div>P. 24/06/2010</div><div>Q. 24/06/2010</div><div>R. 24/06/2010</div><div>S. 24/06/2010</div><div>T. 24/06/2010</div><div>U. 24/06/2010</div><div>V. 24/06/2010</div><div>W. 24/06/2010</div><div>X. 24/06/2010</div><div>Y. 24/06/2010</div><div>Z. 24/06/2010</div><div>AA. 24/06/2010</div><div>AB. 24/06/2010</div><div>AC. 24/06/2010</div><div>AD. 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24/06/2010</div>		<div><div><div>Draft</div><div>Draft</div><div>Final</div><div>Checklist</div><div>Exam</div></div></div>		<div><div><div>D.G.K</div><div>D.G.K</div><div>D.G.K</div><div>A.P.D</div></div></div>		<div><div><div>Design:</div><div>Draft:</div><div>Issue:</div><div>Checklist:</div><div>Exam:</div></div></div>		<div><div><div>APPROVED</div><div></div><div>LARRY P. SMITH, 18/05/2010</div><div>DATE: 24/06/2010</div><div>SIZE: A3</div></div></div>		<div><div><div>CLIENT: GYMPIE DEVELOPMENTS</div><div>PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2</div><div>AT: 56 BANKS POCKET ROAD, GYMPIE</div><div>LOT 1 on MPH 23250 &amp; LOT 1 on MPH 23246</div><div>TITLE: WATER RETICULATION PLAN SHEET 1</div></div></div>		<div><div><div>COUNCIL REFERENCE: DA12491</div><div>SHEET 28 of 35</div><div>DRAWING No: GH151308/28A</div></div></div>		<div><div><div>11-004-A3</div><div>11-004-A3</div></div></div>	
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*End Top Water Main*

*Proposed 106 Water Main*

*Proposed 106 Water Main*

*Proposed Suires Valve*

*Proposed Fire Hydrant*

*Proposed Dead End Cap*

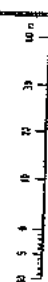
*Proposed Stormwater*




*Proposed Sewer*

*Existing Utility*

*Existing Overhead Power*

APPROVED BY: [Signature] DATE: 2/11/13

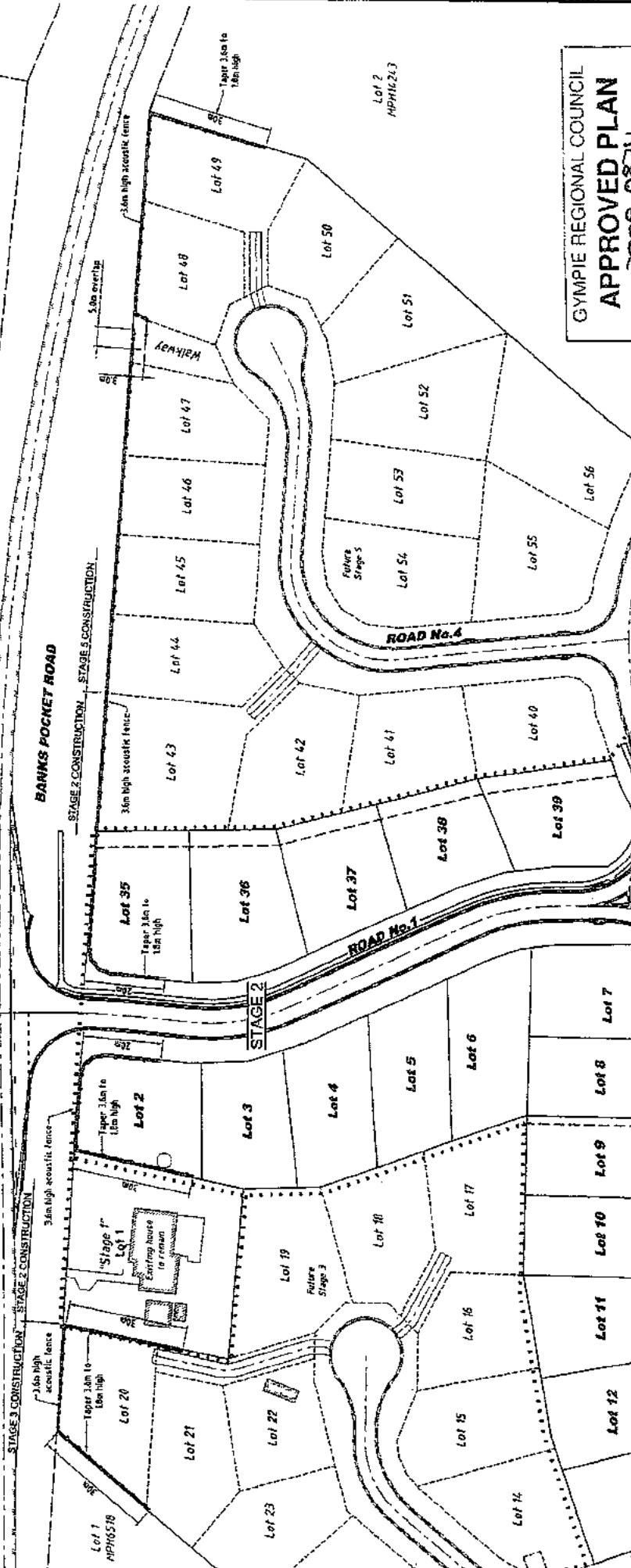


 <b>Greenhaven Projects</b> consulting and engineering services Pvt. Ltd. AIN 66 007 110 185 P.O. Box 0700, Minicoy Island D.D. 4553 Phone (07) 6478 4220 Fax (07) 6478 4225 THIS PLAN IS COPY PROTECTED BY GREENHAVEN PROJECTS PTY. LTD. UNREPRODUCIBLE WITHOUT WRITTEN PERMISSION	 INSET OF THE GREENHAVEN PROJECTS PTY. LTD. AUSTRALIA	No. <u>1</u> Date <u>24/09/08</u> A. <u>1</u>		Approved as per GHP submission on 24/09/08 		Drawn: <u>D.G.K.</u> Design: <u>D.G.K.</u> Date: <u>04/09/2008</u> Checked: <u>L.P.</u> Status: <u>A3</u>		CLIENT: <u>GYMPIE DEVELOPMENTS</u> PROJECT: <u>PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2</u> AT: <u>50 BANKS POCKET ROAD, GYMPIE</u> <u>LOT 1 on MPH 23250 &amp; LOT 1 on MPH 23246</u> TITLE: <u>WATER RETICULATION PLAN - SHEET 2</u>		COUNCIL REFERENCE: <u>DA12491</u> Sheet <u>20</u> of <u>24</u> DRAWING NO: <u>GH151308/26A</u>	
		1: 100		1: 100							



Lot 1  
MCH23901



Lot 71  
(P856/01)



GYMPIE REGIONAL COUNCIL  
**APPROVED PLAN**  
2008-0874  
APPROVED BY *[Signature]* DATE *2/11/08*

**NOTE**  
Refer to 1802 Std. Doc. 1085 for construction details.



		<b>Greenhaven Projects</b> consulting civil engineers, project management services Pty. Ltd. ABN 68 067 110 100 P.O. Box 100, Greenhaven NSW 2522 Ph: (02) 9374 4200 Fax: (02) 9374 4201 THIS PLAN IS COPY PROTECTED BY GREENHAVEN PROJECTS PTY. LTD. UNCOPYING, REPRODUCING, TRANSMITTING, OR OTHERWISE USING THIS PLAN IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF GREENHAVEN PROJECTS PTY. LTD. IS A BREACH OF THE COPYRIGHT ACT 1968 AND MAY BE PROSECUTED.		 MEMBER OF THE INSTITUTE OF ENGINEERS AUSTRALIA		No. 2410000 Date 2/11/08 Reviewed as per GHP submission request dated 2/11/08 Approved LARRY HOSKOTT - IPREC 3042 DATE 2/11/08		APPROVED DATE 2/11/08		CLIENT: GYMPIE DEVELOPMENTS PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2 AT: 56 BANKS POCKET ROAD, GYMPIE LOT 1 on MPH 23250 & LOT 1 on MPH 23248		COUNCIL REFERENCE: DA12491 Sheet 27 of 35 Drawing No: GH1513/08/27A	
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APPROVED PLAN  
2008-0874

APPROVED BY \_\_\_\_\_

**LEGEND**

### Rock Chuck Dams

**Match Ball**  
Hgt. 2.5m wda x 250mm deep

**Lighter Vegetation to be cleared.**

Denser Vegetation to be cleared

Denser Vegetation not to be disturbed for Stage I Vegetation Clearing.

For Stage 1 construction it will be necessary to clear a 5m wide strip of vegetation to enable construction of a water main. The water main position would be subject to Council approval. Paved slip fence along contours at 5m contours and variable depth around surface. Rainwater slip fence after vegetation fully established or immediately after the water main has been constructed. (See sketch on

ORIGINAL EROSION AND SEDIMENT CONTROL PLAN SUBMITTED FOR DNR APPROVAL

# CONSTRUCTION SPECIFICATION FOR CLEARING AND ROAD CONSTRUCTION ACROSS THE GULLY

- CONSTRUCTION OPERATIONS FOR CLEANING AND ROAD CONSTRUCTION ACROSS THE GULLY**
- In this work, a road will be constructed across the gully to serve proposed lot 57. The Contractor is to construct the clearing operation for this gully crossing. The Contractor shall excavate sufficient small pit holes with a mini excavator to determine if any unsuitable natural material that is to be removed from the gully will need to be constructed of the design road embankment and pipe culvert structures. It is considered not possible to be removed, the Contractor shall arrange for delivery of replacement crushed rock or similar non-dispersive material to be delivered to site and sufficient geosynthetic material for replacing the unsuitable material prior to commencement of the clearing operation.
- Prior to commencement of the clearing within the gully for the road crossing, the Contractor shall determine the "Clearing Zone" which shall be restricted to the embankments to allow construction of the design road embankment and pipe culvert structures. Unless otherwise directed, the limits of clearing shall be 10m wider than the edge of pipe culvert structures and 10m of road embankment. The Contractor shall then define the "Clearing Zone" by erecting the following signs:
- The Contractor shall be responsible for providing any damage to the gully outside the "Clearing Zone"
1. To minimize the risk of the clearing and road construction area being exposed to the elements over a weekend, the clearing operation shall commence on a Monday and shall be completed on that day unless otherwise approved by the Engineer.
- Upon completion of the clearing operation, the Contractor shall erect safety fencing as per spacing, along the contour line, up the gully banks and construct a rock check dam between the end of the embankment of the "Clearing Zone" to prevent sediment transport from the exposed cut face due to uncontrolled rainfall.
- The culverts under the proposed road crossing shall be constructed in accordance with the Geotechnical Design Report No. 2016/01/01, Environmental Impact Report No. 2016/01/01, and the Geotechnical Design Report No. 2016/01/01. The culverts under the proposed road crossing shall be constructed in accordance with the Geotechnical Design Report No. 2016/01/01, Environmental Impact Report No. 2016/01/01, and the Geotechnical Design Report No. 2016/01/01.
- It is considered that the proposed road crossing shall be constructed in accordance with the Geotechnical Design Report No. 2016/01/01, Environmental Impact Report No. 2016/01/01, and the Geotechnical Design Report No. 2016/01/01.
- If unsuitable material has to be excavated and replaced under the design road embankment, the Contractor shall remove the material and replace it with the designated rock non-dispersive material and geosynthetic stored on site, and

**METHOD 1 - CONSTRUCT EMBANKMENT AND BOX OUT FOR PPES.**

- Construct the road embankment to the level of the top of the design culverts after placing the flow pipe in the bottom of the gully on the left of the design pipes.
- Excavate for pier structures, remove low flow pipe, place energy dissipator in down stream of the pier culverts, place moisture barrier over cut-off wall and apron excavations, place design pipe culverts.
- Stabilize completed road embankment, install and lay designed pipe culverts with heavy metal pipe links with stream of culverts.
- Set up and pour concrete or cement grouted rock placed pipe culvert headwalls, place screening bedding to railway up pipe barrels.
- Backfill pipe culverts to design road subgrade level with non design crushed rock or cement stabilized gravel and complete road embankment construction to design subgrade level.
- Complete roadway and vegetation road embankment ditches according to landscape plan.

## METHOD 2-PLACE PIPES AND CONSTRUCT ROAD EMBANKMENT OVER

- Place the design pipe correctly in the bed of the gully. Place manhole barrier over cul-off wall and apron excavations. Place downspout energy dissipator, pour concrete cut-off walls and aprons.
- Place screenings strainer in hallway up pipe barriers, construct embankment over pipe catchets and up to design subgrade level.
- Stabilize completed road component barriers with heavy mulching, roll in check dam rolls in line of up downspout barrier of road embankment.
- Set up and pour concrete or concrete grouted rock patch pipe culvert headwalls.
- Vegetate road embankment barriers according to landscape design plan.

[illegible]











[illegible]

**CALCULATION TABLE FOR Q100 ON LINE 1A**

GYMPIE REGIONAL COUNCIL  
**APPROVED PLAN**  
2008-08714

APPROVED BY  DATE 2-28-11/30

**GHP**

**Greenhaven Projects**  
conducting drug screening in medical, industrial, athletics  
P.O. Box 10200, Minneapolis, MN 55410  
Phone (612) 835-2229 Fax (612) 835-4228

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DEPARTMENT OF THE  
INSTITUTE OF  
MUNICIPAL  
ENGINEERING

No	Date	Amount	Design	D.G.K.
			Design:	
			Drawn:	
			Date:	04/02/2008
			Checked:	L.P.
			Project:	

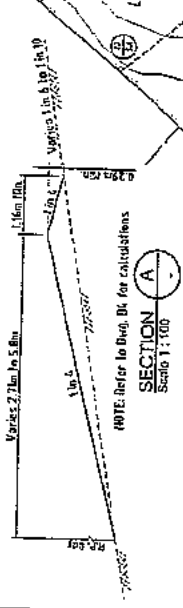
APPROVED	CURR: GYMNE DEVELOPMENTS
LARRY PUGHART - ESSED 0242	PROJECT: PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2
DATE: 05/06/08	AT: 56 BANING POCKET ROAD, GYMNE LOT 1 on MPH 23250 & LOT 1 on MPH 23246

COUNCIL REFERENCE:	0A12491
Sheet	25 of 25
DRAWING NO:	

**ROAD CLASSIFICATION:** ROAD No. 122 = COLLECTOR ROAD ROAD No. 3, 425 = ACCESS STREET  
**DESIGN TRAFFIC LOADING:** ROAD No. 122 = 2.375x10<sup>6</sup> ESAL'S ROAD No. 3, 425 = 5x10<sup>6</sup> ESAL'S  
**DESIGN WIDTH:** ROAD No. 122 = 7.5m nominal width, kerb to kerb ROAD No. 3, 425 = 5.5m nominal width, kerb to kerb

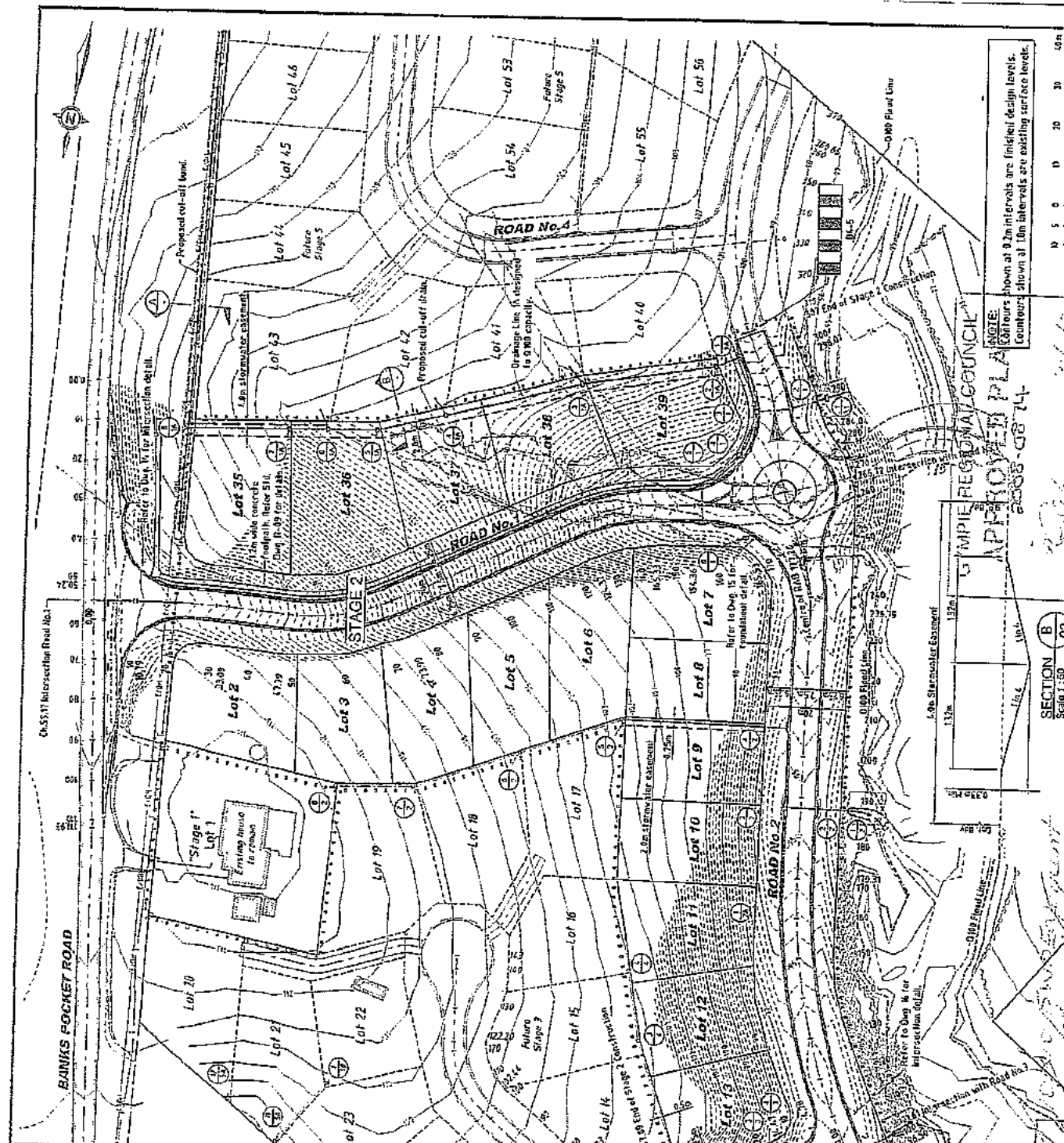
**PAVEMENT DESIGN**  
 Pavement design will be completed by the Engineer, and approved by Gympie Regional Council following adequate sealed CBR testing.  
 Material types (for HRS Spec. HRS 1105):  
 Base Type 2.2 (Sealed CBR35)  
 Sub-base Type 2.4 (Sealed CBR35)  
 Lower sub-base Type 2.5 (Sealed CBR35)  
 Pavement shall be designed in accordance with HRS Pavement Design Manual.

**BULKHEAD SURFACING**  
 Prime Soil - Apply MHC at 100m<sup>2</sup> to the compacted and retained gravel pavement.  
 AC Surfacing, 30mm compacted depth, OC10 or OC2 Type 2.



**GENERAL NOTE:**  
 Install two aluminium kerb adapters to all lots that fall to street for motorway pipes.

**Q100 FLOOD LEVELS OBTAINED FROM DUKES ENVIRONMENTAL FLOOD STUDY REPORT**  
 APPROVED 11 NOVEMBER 2005



**APPROVED PLAN**  
 2005-08-14

**GYMPIE REGIONAL COUNCIL**

**PROJECT:** PROPOSED RESIDENTIAL SUBDIVISION - STAGE 2  
**AT:** 36 BANKS POCKET ROAD, GYMPIE  
**LOT 1 on MPH 23250 & LOT 1 on MPH 23246**

**DATE:** 2/10/05  
**SCALE:** 1:100  
**SECTION:** B

**CONTRACT REFERENCE:**  
 DA12101  
 Sheet 2 of 35  
 Drawing No.

**APPROVED:**  
 D.G.K.  
 D.O.K.  
 DATE: 9/09/2005  
 CIRCULAR: L.P.  
 SIGNATURE: A.H.O.

**DATE:** 2/10/05  
**SCALE:** 1:100  
**SECTION:** B

**DESIGN:** D.G.K.  
**DATE:** 9/09/2005  
**CIRCULAR:** L.P.  
**SIGNATURE:** A.H.O.

**DATE:** 2/10/05  
**SCALE:** 1:100  
**SECTION:** B

**CONTRACT REFERENCE:**  
 DA12101  
 Sheet 2 of 35  
 Drawing No.

**APPROVED:**  
 D.G.K.  
 D.O.K.  
 DATE: 9/09/2005  
 CIRCULAR: L.P.  
 SIGNATURE: A.H.O.





# ANNEXURE G OPERATIONAL WORKS APPROVAL (LAPSED)

# Gympie Regional Council

## **Development Application 2008-0874 Decision Notice**

*Issued under the Integrated Planning Act 1997 (S.3.5.15)*

**The Development Application 2008-0874 for the purpose of Operational Works - Roadwork, Drainage Works, Water and Sewerage Infrastructure for Approved Residential Subdivision was assessed and:-**

*Approved with Conditions*

The decision was made by Gympie Regional Council on **27 November 2008**

*Therefore this permit will lapse on 27 November 2010*

Local Government Area: *Gympie Regional Council*

The following schedule provides all the relevant details.

### **APPLICANT'S DETAILS**

Name: *Gympie Developments Pty Ltd*  
Postal Address: *PO Box 8200, MAROOCHYDORE DC 4558*

### **PROPERTY DETAILS**

Street Address & Locality: *56 Banks Pocket Road Gympie*  
RPD: *Lot 1 SP202504*  
Parish: *Gympie*

### **OWNERS DETAILS**

Name: *Clive Ernest Adcock*  
Postal Address: *56 Banks Pocket Road, GYMPIE QLD 4570*

### **PROPERTY DETAILS**

Street Address & Locality: *Banks Pocket Road Gympie*  
RPD: *Lot 57 SP202504*  
Parish: *Gympie*

### **OWNERS DETAILS**

Name: *Gympie Developments*  
Postal Address: *158 Scenic Highway, TERRIGAL NSW 2660*

# Gympie Regional Council

## **Development Application 2008-0874** **Decision Notice**

### **REFERRAL AGENCIES**

There are no referral agencies for this application.

### **APPLICABLE CODES**

Codes for which self assessable aspects of this development must comply with:

- Nil.

### **CONDITIONS**

#### **Assessment Manager's Conditions**

- Development shall be carried out in accordance with the plans submitted with the application (Plan Nos. GH1513/08/01, GH1513/08/02A and GH1513/08/03A, GH1513/08/04, GH1513/08/05A and GH1513/08/06A, GH1513/08/07, GH1513/08/08A to GH1513/08/12A, GH1513/08/13, GH1513/08/14A to GH1513/08/17A, GH1513/08/18 and GH1513/08/19, GH1513/08/20A, GH1513/08/21 and GH1513/08/22, GH1513/08/23A to GH1513/08/27A, GH1513/08/28 and GH1513/08/29, GH1513/08/30A, GH1513/08/D1 to GH1513/08/D3, GH1513/08/D4A, GH1513/08/D5 drawn by Greenhaven Projects Pty Ltd Consulting Engineers and dated 04/06/08, 24/10/08, 04/06/08, 24/10/08, 04/06/08, 24/10/08, 04/06/08, 24/10/08, 04/06/08, 24/10/08, 04/06/08, 24/10/08, 04/06/08, 24/10/08, 04/06/08) as amended in red.
  - Any modifications of the plans are to be approved by Council's Chief Executive Officer.
- Prior to commencement of the works a compulsory Pre-start Meeting with Council's Engineer is to be attended by the developer's consulting engineer and contractor.
  - Prior to booking the pre-start meeting, and before the commencement of the works, a security bond of an amount equivalent to 5% of the estimated costs of the works shall be submitted to Council to secure satisfactory performance of all works required to be carried out as a result of this development approval. *Note: the Registered Engineer must be present at all job pre-start meetings and hold-point inspections.*
  - The security bond may be transferred to secure in part the maintenance of these works at the time the works are accepted "On Maintenance".
- At the completion of all works the Consultant Engineer shall:
    - make a written application to Council that the works have been satisfactorily completed including submission of a "Statement of Compliance and As Constructed Drawings" as prepared by the Consultant Engineer with the appropriate Declaration required by PSP 8 – 'Infrastructure Works' and
    - submit on behalf of the developer a maintenance bond to an amount equivalent to 5% of the cost of works to cover maintenance for a period of 12 months.
  - Written certification is to be provided, as prepared by the Consultant Surveyor, that all survey pegs are in place prior to Council undertaking an "on maintenance" inspection.

## Gympie Regional Council

### **Development Application 2008-0874** **Decision Notice**

4. A fee of 1% of the estimated cost of construction, as agreed to by Council's Chief Executive Officer (minimum fee \$337.00), must be paid prior to the date of the Pre-start Meeting to cover the cost of the inspection of the works to be undertaken.
5. All operations conducted on the site shall be carried out in accordance with the Environmental Protection Act 1994 and other relevant Acts, Regulations and Local Laws.
6. All cleared vegetation is to be suitably processed or removed from the site at no cost to Council. Prior to the commencement of clearing works on site the preferred means of disposal of cleared vegetation is to be approved by Council's Chief Executive Officer. The following means of disposal are acceptable, but are not limited to:
  - (i) Processing through a woodchipper.
  - (ii) Disposal for firewood.
  - (iii) Disposal for landscaping.
  - (iv) Transport to alternative site for breaking down materials.Burning off is not an acceptable means of disposal and will not be approved.  
*Note: Bulk green waste is no longer accepted at any Council landfill site.*
7. Prior to construction of all new roads the following actions are required:
  - (i) Lodgement of a plan of the proposed centreline;
  - (ii) The proposed centreline is to be pegged by the Consultant Surveyor to facilitate an inspection; and
  - (iii) Inspection by Council's Engineer to ensure the new road is suitably located.A Certificate of Acceptance will be issued following inspection, if the proposed road location is acceptable.
8.
  - (i) Where any works associated with this development approval are to be carried out on Council controlled land, such as road, park, drainage reserves, or the like, a Traffic Management Plan shall be submitted to Council for review prior to the pre-start meeting for such works.
  - (ii) The Traffic Management Plan shall be constantly reviewed and revised throughout the construction phase of the project until the works are accepted "On-maintenance" by Council.
9. The erosion and sediment control measures approved as part of this development permit for operational work:-
  - (a) are to be in place and fully operational during periods of rain and at the end of each day; and
  - (b) maintained until soils are stabilised on the site area.
10. Any plans for operational works, water supply and sewerage works, drainage works and street lighting required by this development permit, are to be surveyed, designed and constructed in accordance with Council's Infrastructure Works Code.
11. Estimate of \$607,893 submitted by Greenhaven Projects Pty Ltd Consulting Engineers on 26 October 2008 is to be used for calculation of bonds and fees.
12. The Contractor is required to limit any dust emission from the site to the absolute minimum by such measures as limiting work areas, early establishment of grass cover, watering site, etc.



## Gympie Regional Council

### **Development Application 2008-0874 Decision Notice**

#### Notes

*In carrying out your activity you must take all reasonable and practicable measures to ensure that it does not harm Aboriginal cultural heritage (the “cultural heritage duty of care”). You will comply with the cultural heritage duty of care if you are acting in accordance with the gazetted cultural heritage duty of care guidelines. An assessment of your proposed activity against the duty of care guidelines will help determine whether or to what extent Aboriginal cultural heritage may be harmed by your activity. Further information on cultural heritage, together with a copy of the duty of care guidelines and cultural heritage search forms, may be obtained from the Department of Natural Resources and Water ~ phone (07) 3238 3838 or website [www.nrw.qld.gov.au](http://www.nrw.qld.gov.au).*

#### **APPROVAL TYPE**

*Development Permit*

#### **FURTHER DEVELOPMENT PERMITS REQUIRED**

*Nil*

#### **RIGHTS OF APPEAL**

*See attached extracts from the Integrated Planning Act 1997 for Rights of Appeal.*

#### **ASSESSMENT MANAGER**

Name: Gympie Regional Council

Signature: *signed by Michael Hartley*..... Date: 27 November 2008

**MICHAEL HARTLEY**

**AUTHORISED DELEGATE**

**DIRECTOR OF PLANNING AND DEVELOPMENT**

**ANDREW BRUKE**  
**Associate Director**

M 0417 606 128  
E [andrew.burke@raywhite.com](mailto:andrew.burke@raywhite.com)

**RAY WHITE SPECIAL PROJECTS QLD**