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Client:  
**CHARTER HALL  
CBRE**

Project:  
**OPTIMA A BUILDING - LEVEL 3**

Address:  
**LEVEL 3, 133 HASLER RD  
OSBORNE PARK WA 6017**

Consultants:  
**APLHAZETA  
BCA**

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07.06.19	A	FOR APPROVAL	KM	RA
28.06.19	T	FOR TENDER	KM	RA
20.08.19	O	FOR CONSTRUCTION	KM	RA
15.10.19	A	FOR APPROVAL - AS CLOUDED	KM	RA
12.12.19	--	AS CONSTRUCTED	KM	RA

Drawing:  
**GENERAL ARRANGEMENT PLAN  
LEVEL 3**

Project Leader <b>RA</b>	Drawn By: <b>KM</b>	Scale <b>1:100</b>	Sheet Size <b>A1</b>
Project Number <b>PT18148</b>			Revision <b>--</b>
Sheet Number <b>A100-3</b>			
Status: <b>AS CONSTRUCTED</b>			

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07.06.19	A	FOR APPROVAL	KM	RA
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**NOTES:**

1. PROVIDE NEW PAINT FINISH TO ALL EXISTING SOLID DOORS. REFER TO FF& E.
2. NEW PAINT TO EXISTING WALLS INCLUDING CORE WALLS, WHERE THERE HAVE BEEN GRAPHICS, FEATURE PAINT AND FIXTURES REMOVED. PROVIDE PATCHING AND MAKE GOOD AND REMOVAL OF ANY OTHER MARKINGS. HEAD CONTRACTOR TO DETERMINE EXACT EXTENT ON SITE. REFER TO FF&E FOR PAINT COLOUR DETAILS.
3. NEW FLOOR FINISH TO ALIGN WITH EXISTING PARTITIONS.
4. REPLACE YELLOW JOINERY BACKBOARD WITH WHITE LAMINATE, OR SHEET OVER WITH PLASTERBOARD AND PAINT NEW IF MORE COST EFFECTIVE. BUILDER TO ADVISE ON BEST OPTION AND LAISE WITH DESIGNER FOR FINAL APPROVAL.

**PARTITION LEGEND:**

XXX → DENOTES PARTITION TYPE REFER TO PARTITION DETAILS FOR MORE INFORMATION

XX  
X-XXX → ELEVATION NO  
DWG NO

**DOOR LEGEND:**

→ DENOTES DOOR TYPE, HEIGHT AND LOCATION  
EXAMPLE SHOWN REFERS TO A REUSE DOOR AT 2700MM HIGH ON LEVEL 3, ROOM 3.02.

→ EXISTING DOOR TO BE REUSED. HEAD CONTRACTOR TO DETERMINE SUITABILITY OF DOOR OR PROVIDE NEW GLAZED DOOR TO MATCH EXISTING.

**JOINERY LEGEND:**

→ DENOTES NEW JOINERY UNIT NUMBER

→ DENOTES DRAWING SHEET TO REFER FOR DETAILS.

**CONSTRUCTION NOTES:**

SETOUT DIMENSIONS - PARTITIONS MAY BE SETOUT WITH A MIXTURE OF CRITICAL DIMENSIONS FROM BASE-BUILD CORE STRUCTURES AND GRID LINES. OTHER INTERNAL PARTITIONS AND CEILING GRIDS AS THE PARTITIONS DRAWN ARE A NOMINAL AVERAGE. CHANGES IN THICKNESS WILL REQUIRE A REVISION OF SETOUT DIMENSIONS. THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF WHICH DIMENSIONS ARE CRITICAL AND MUST BE KEPT AS NOTED.

WINDOWS & GLASS TO BE SELECTED & INSTALLED IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS

CONTRACTOR TO ENSURE ADEQUATE SUPPORT AND STRUCTURE AS REQUIRED WHERE JOINERY, DISPLAY PANELS OR IT EQUIPMENT IS NOMINATED TO BE FIXED TO WALLS OR CEILINGS.

THE CONTRACTOR SHOULD ALLOW FOR OBTAINING STRUCTURAL APPROVAL IF NECESSARY.

ALL CONTROL PANELS TO BE LOCATED BETWEEN 900 & 1100MM AFL AND NOT LESS THAN 500MM AWAY FROM INTERNAL CORNERS OR OTHER OBSTRUCTIONS AS PER AS 1428.1.

ALL WALL MOUNTED SENSORS, PANELS AND OUTLETS MUST BE FULLY COORDINATED WITH THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES MUST BE REPORTED TO IA GROUP BEFORE INSTALLATION.

PENETRATIONS THROUGH FIRE-RATED CONSTRUCTION TO COMPLY WITH THE NCC.

PENETRATIONS FOR CONTROL PANELS AND OUTLETS THROUGH ACOUSTICALLY AND FIRE-RATED WALLS REQUIRE A RATED WALLBOX TO BE FITTED

ENSURE THAT IF INSULATION IS REQUIRED IT FILLS THE PARTITION VOIDS AS DETAILED IN MANUFACTURER'S INSTRUCTIONS.

CONTRACTOR MUST PROVIDE AQUACHEK PLASTERBOARD LINING TO ALL WALLS ADJACENT WET AREAS.

ANY WALLS AND DOORS WHICH REQUIRE BRACING TO THE SLAB ABOVE FOR STABILITY ARE TO ALLOWED FOR BY THE CONTRACTOR.

ALL UNCODED WALLS ARE TO BE ASSUMED AS EXISTING.

TREATMENT ABOVE DOORS ARE TO BE THE SAME SPECIFICATION AS THE ADJACENT WALLS

WHERE FULL HEIGHT WALLS CLASH WITH MECHANICAL AND/OR SERVICES DUCTS, THE CONTRACTOR IS TO ALLOW FOR WALLS TO BE DIVERTED AROUND MAINTAINING THE STRUCTURAL AND ACOUSTIC INTEGRITY OF THE SPECIFIED WALL.

ALL DOORS TO BE SET OUT IN ACCORDANCE WITH AS 1428.1-2009, UNLESS OTHERWISE DIMENSIONED

**FLOOR FINISHES:**

F2 → DENOTES AREA OF FLOOR FINISH  
-REFER TO FINISHES SCHEDULE FOR FINISH / COLOUR

**WALL FINISHES:**

PH → -DENOTES FINISH TO WALL  
-P1 → -GENERAL PAINT COLOUR TO ALL WALLS UNLESS OTHERWISE SPECIFIED.  
-REFER TO FINISHES SCHEDULE FOR FINISH / COLOUR

GFX → GLAZED PARTITIONS TREATMENTS

**NOTES:**

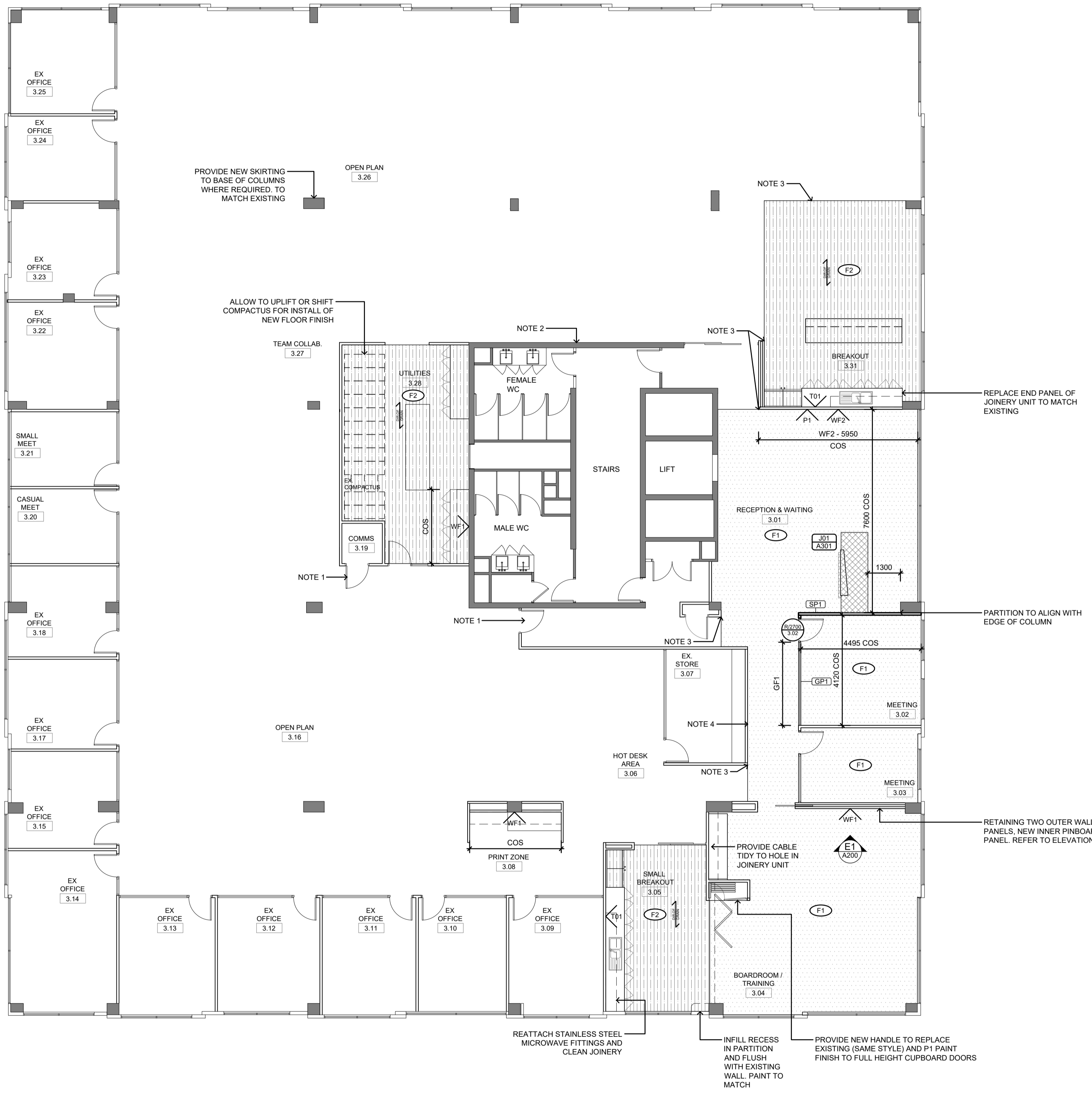
- CONTRACTOR TO INSTALL SUITABLE TRANSITION STRIPS TO ALL JUNCTIONS IN FLOOR FINISHES. PROVIDE SAMPLES TO DESIGNER FOR APPROVAL BEFORE ANY INSTALLATION.
- FLOOR LINING / COVERINGS, WALL & CEILING LININGS TO COMPLY WITH BCA PART C1.10 & SPECIFICATION C1.10
- CARPET PILE SELECTION COMPLIES WITH BCA D2(G) AND (H)
- ALL TRANSITIONS BETWEEN DIFFERENT FLOOR FINISHES TO OCCUR IN THE CENTRE OF DOORS. IE NO VISIBLE WHEN DOORS ARE IN THE CLOSED POSITIONS.
- REFER ELEVATIONS FOR EXTENT OF WALLS FINISHES
- IF WALLS ARE CODED ASSUME THE FULL WALL IS TO BE FACED IN THE NOMINATED FINISH UNLESS OTHERWISE SPECIFIED
- UNLESS OTHERWISE NOTED CONTRACTOR TO MAKE ALLOWANCE FOR GLAZING IN DOORS AND/OR PARTITIONS WIDER THAN 300mm.

**FLOOR FINISHES**




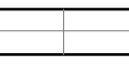

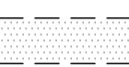


F1 → FEATURE CARPET

F2 → VINYL FLOORING

REFER TO FF&E SCHEDULE FOR FINISHES DETAILS



**REFLECTED CEILING LEGEND:**

-  DENOTES CEILING FINISH.
-  DENOTES FINISHED CEILING HEIGHT FROM TENANCY FLOOR LEVEL.
-  EX PB EXISTING PLASTERBOARD CEILING
-  EX GRID EXISTING CEILING GRID & TILES
-  EX PPB EXISTING PERFORATED PLASTERBOARD CEILING
-  CL01 NEW FLUSH PLASTERBOARD CEILING
-  DENOTES EXISTING FEATURE LIGHTING
-  HATCH DENOTES JOINERY TO CEILING OR HIGH LEVEL WHICH MAY IMPACT SERVICES

**CONSTRUCTION NOTES:**

THE INSTALLATION AND ALIGNMENT OF CEILING SERVICES TO BE FULLY COORDINATED WITH ALL TRADES. IA GROUP TO BE INFORMED OF ANY CLASHES BETWEEN SERVICES AFFECTING LAYOUT.

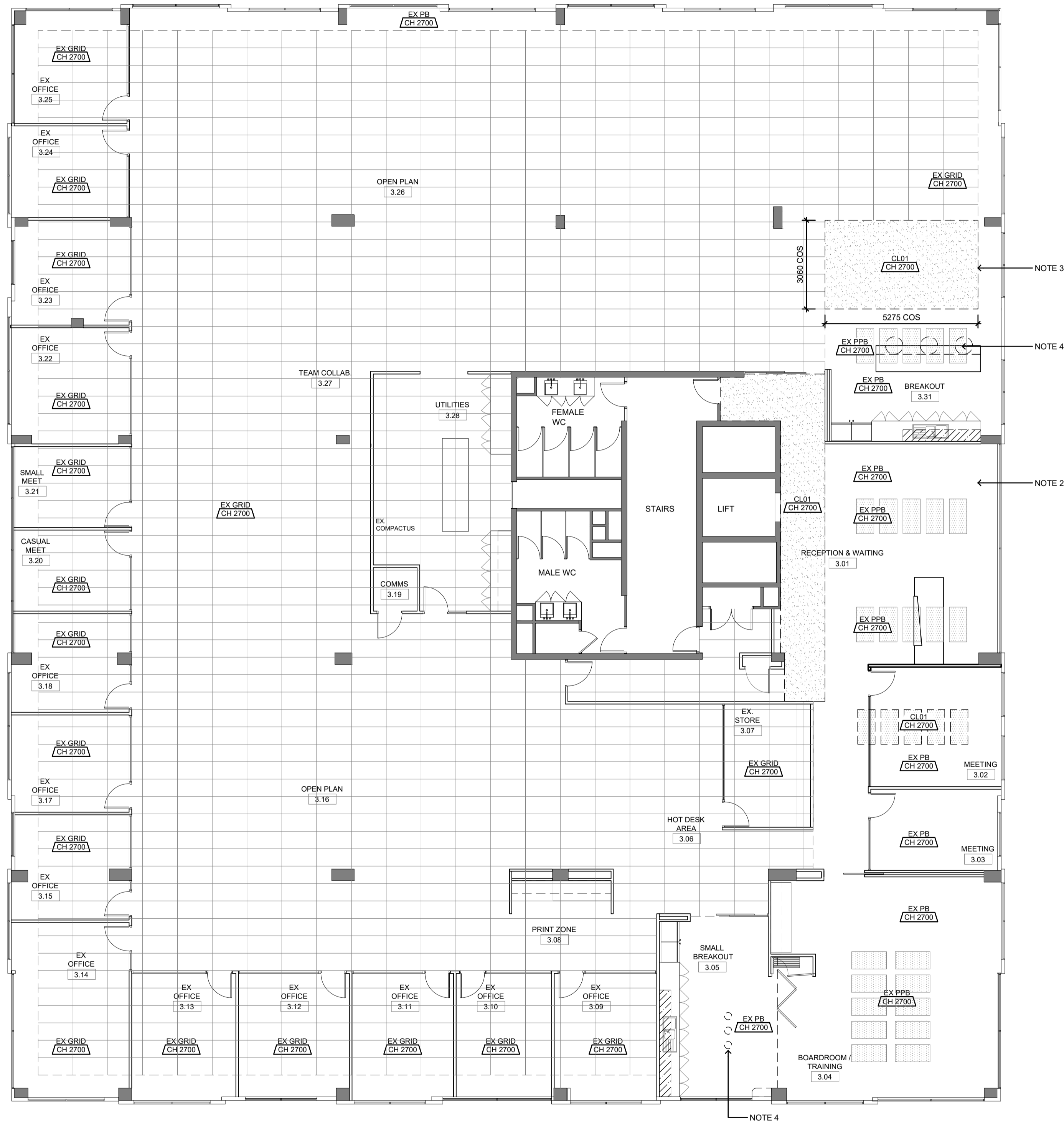
IF NOT ALREADY DOCUMENTED ON THE SERVICES DRAWINGS, THE LOCATIONS OF ALL SERVICE HATCHES MUST BE CONFIRMED AND COORDINATED.

IF ANY EXISTING CEILING GRIDS ARE TO BE CUT THEN ANY HANGERS, BRACES AND SUPPORTS MUST BE REPLACED AND MADE STRUCTURALLY GOOD.

ANY Baffle INSULATION ABOVE CEILINGS TO EXTEND 300MM EITHER SIDE FOR THE PARTITION. IT MUST BE LAID FLAT AND NOT ROLLED WITH A COMPRESSION OF 30%.

**NOTES:**

1. REPLACE ANY CEILING GRID AND TILES WITH MAJOR DAMAGE TO MATCH EXISTING
2. PATCH AND PAINT EXISTING PLASTERBOARD CEILING FOLLOWING DEMO OF SERVICES AND/OR WHERE SERVICES HAVE BEEN RELOCATED. REFER TO SERVICES DRAWINGS FOR FURTHER DETAILS.  
FOLLOWING ASSESSMENT OF SERVICES DOCUMENTATION, HEAD CONTRACTOR TO ADVISE IF NEW FLUSH PLASTERBOARD CEILING WOULD BE MORE SUITABLE THAN TRYING TO MAKE GOOD EXISTING. HEAD CONTRACTOR TO ADVISE ON FINAL OUTCOME AND SEEK DESIGNER APPROVAL PRIOR TO COMMENCEMENT OF WORKS.  
- FOLLOWING ASSESSMENT, IF DETERMINED THAT A NEW PLASTERBOARD CEILING IS THE MOST EFFICIENT SOLUTION, PERFORATIONS AS INDICATED ARE NOT REQUIRED
3. EVERYWHERE A NEW CEILING FINISH IS NOTED, HEAD CONTRACTOR TO ALLOW FOR DEMOLITION OF EXISTING.
4. EXISTING FEATURE LIGHTING IN BREAKOUT 3.05 & 3.31 TO REMAIN. HEAD CONTRACTOR TO ENSURE ALL ARE IN WORKING ORDER PRIOR TO HANDOVER.



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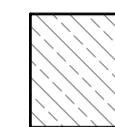
Drawing: **NEW WORKS PLAN  
LEVEL 3**

Project Leader <b>RA</b>	Drawn By: <b>KM</b>	Scale <b>1:100</b>	Sheet Size <b>A1</b>
Project Number <b>PT18148</b>		Revision <b>1</b>	
Sheet Number <b>A103-3</b>			
Status: <b>AS CONSTRUCTED</b>			

**FURNITURE LEGEND:**

R# - FURNITURE ITEMS BEING RELOCATED. REFER TO FURNITURE SCHEDULE AND A101-3 B FOR FURTHER INFORMATION.  
WHERE FURNITURE ITEMS ARE UNCODED, ASSUME THEY ARE EXISTING ITEMS REMAINING IN THE SAME LOCATION.

**NOTES:**

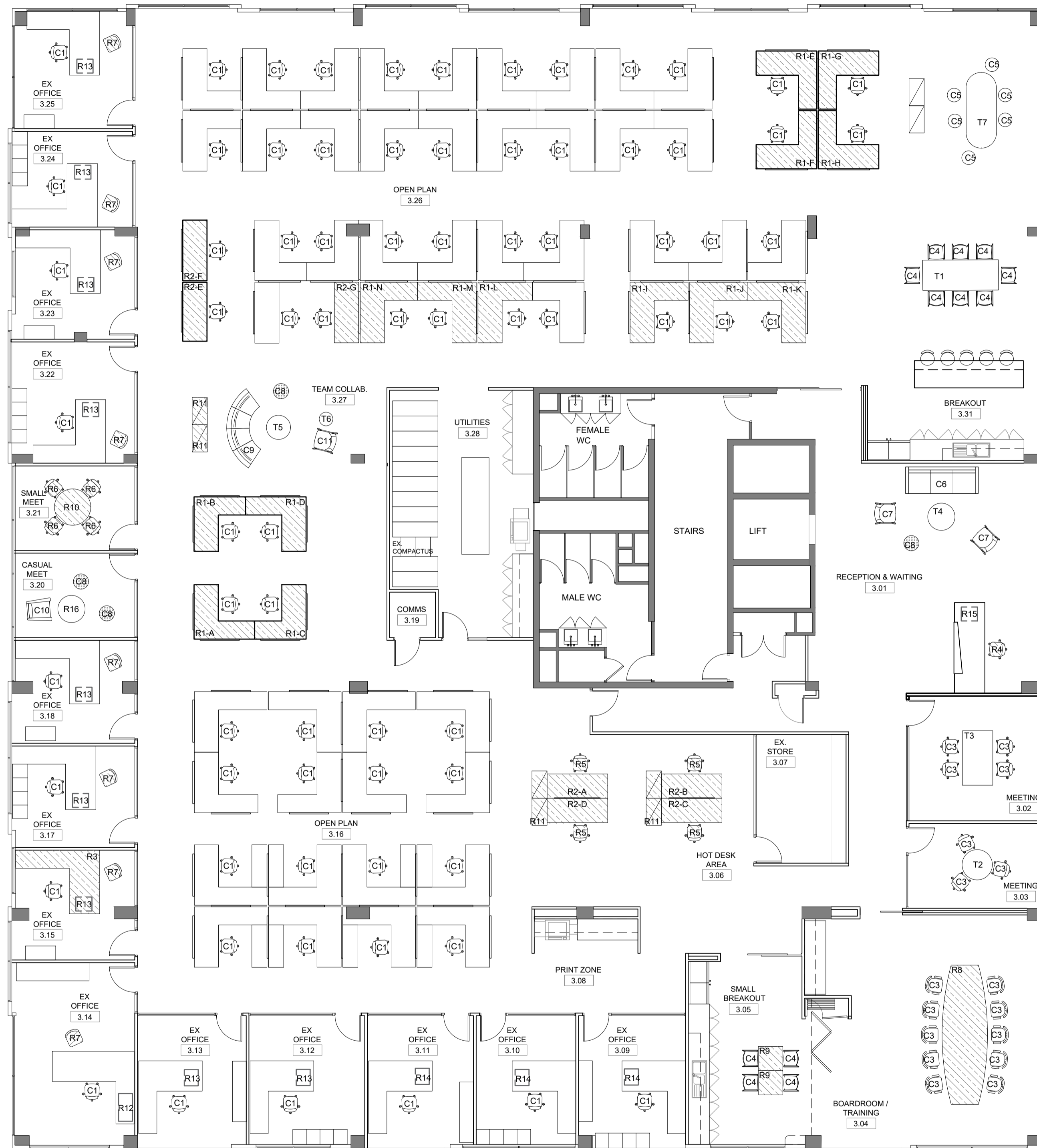


1. HATCH DENOTES LOOSE FURNITURE THAT HAS BEEN RELOCATED TO SUIT NEW LAYOUT. HEAD CONTRACTOR TO ALLOW FOR ALL REQUIRED MODIFICATIONS / ADJUSTMENTS TO EXISTING FURNITURE TO SUIT NEW LAYOUT AND CONFIGURATION.

- R1 14 X OPEN PLAN L' SHAPED WORKSTATIONS
- R2 7 X OPEN PLAN STRAIGHT WORKSTATIONS
- R3 1 X OFFICE DESK
- R4 1 X RECEPTION TASK CHAIR
- R5 4 X HOTDESK TASK CHAIRS
- R6 4 X CASUAL MEET CHAIRS
- R7 8 X VISITOR CHAIRS
- R8 1 X BOARDROOM TABLE
- R9 2 X BREAKOUT TABLES
- R10 1 X CASUAL MEET TABLE
- R11 6 X WHITE TAMBOUR UNITS
- R12 25 X YELLOW FRONTED CADDIES (TO BE RANDOMLY PLACED AT WORKSTATIONS AROUND THE OPEN PLAN AREA UNLESS OTHERWISE SPECIFIED)
- R13 11 X YELLOW FRONTED PEDS
- R14 5 X GREY PEDS
- R15 1 X WHITE PED
- R16 1 X ROUND MEETING TABLE - RELOCATED FROM LEVEL 2

**NOTE:**

HEAD CONTRACTOR TO COORDINATE WITH DESIGNER ON SITE FOR ALL RE-USE AND RELOCATED ITEMS FROM THE EXISTING FITOUT PRIOR TO REMOVAL FROM SITE. REFER TO A101-3A AND A101-3B FOR FURTHER DETAILS



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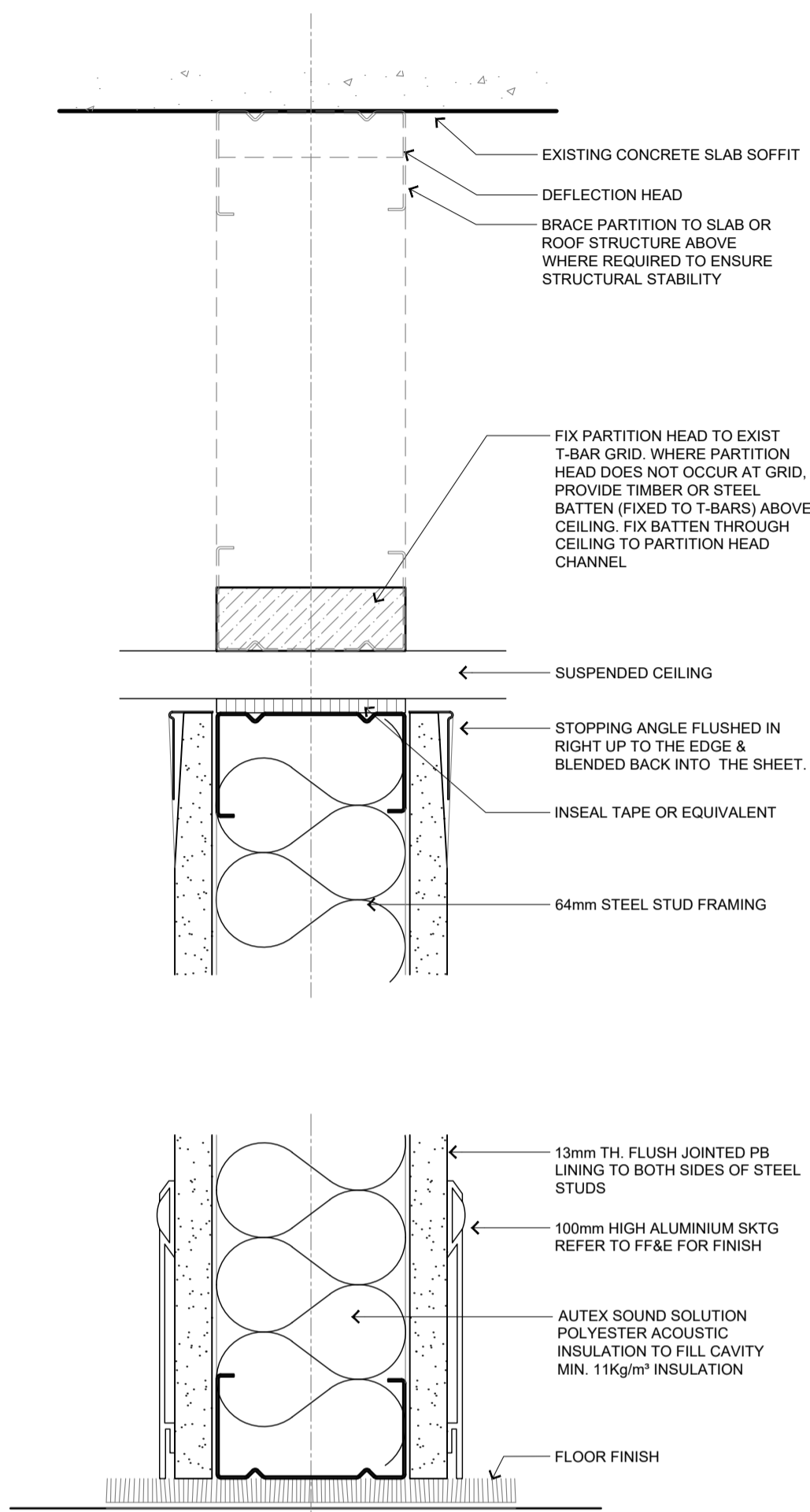
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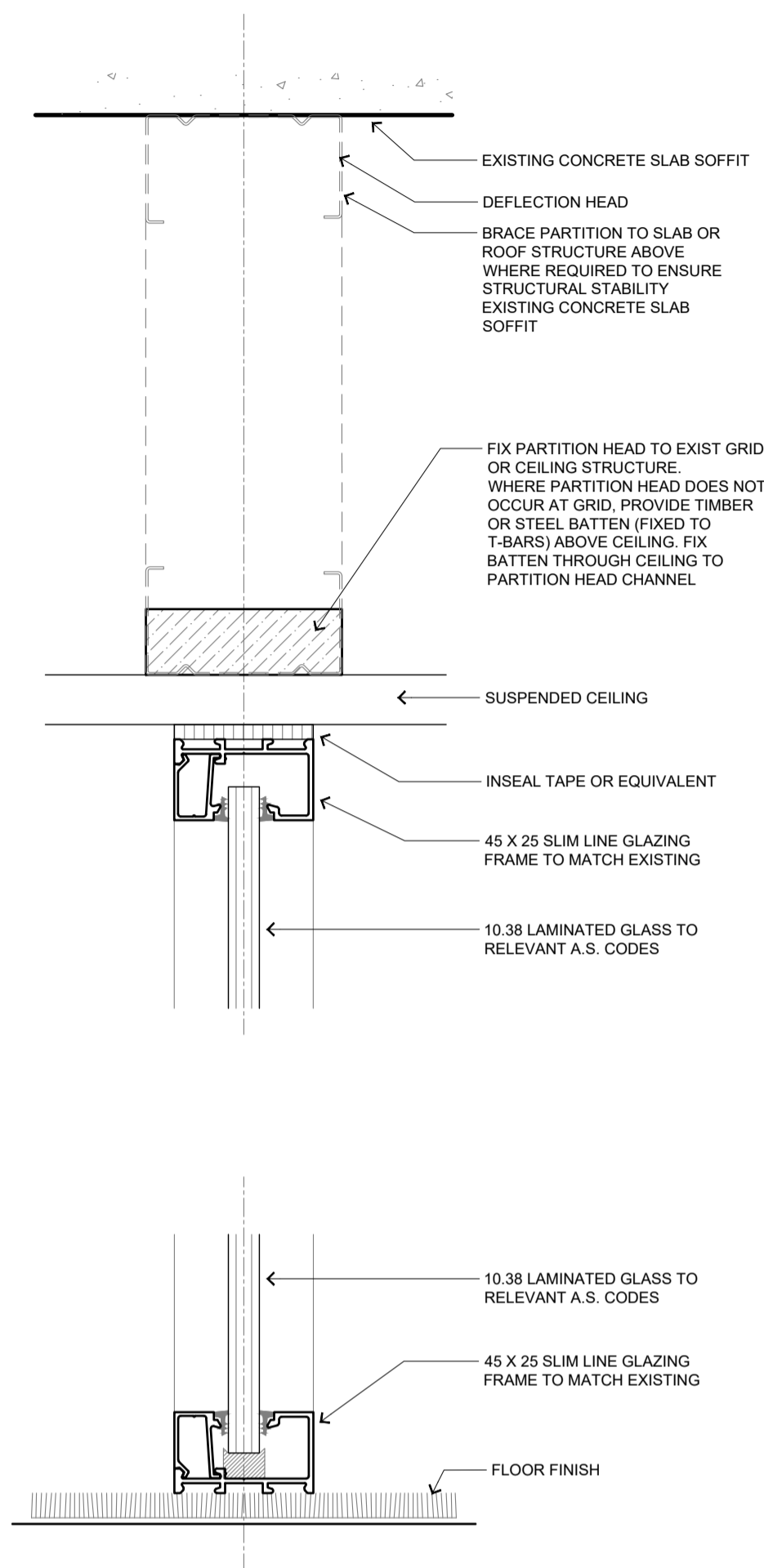
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26.07.19	T1	FOR TENDER - VE	KM	RA
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12.12.19	-	AS CONSTRUCTED	KM	RA

Drawing:  
**FURNITURE PLAN  
LEVEL 3**

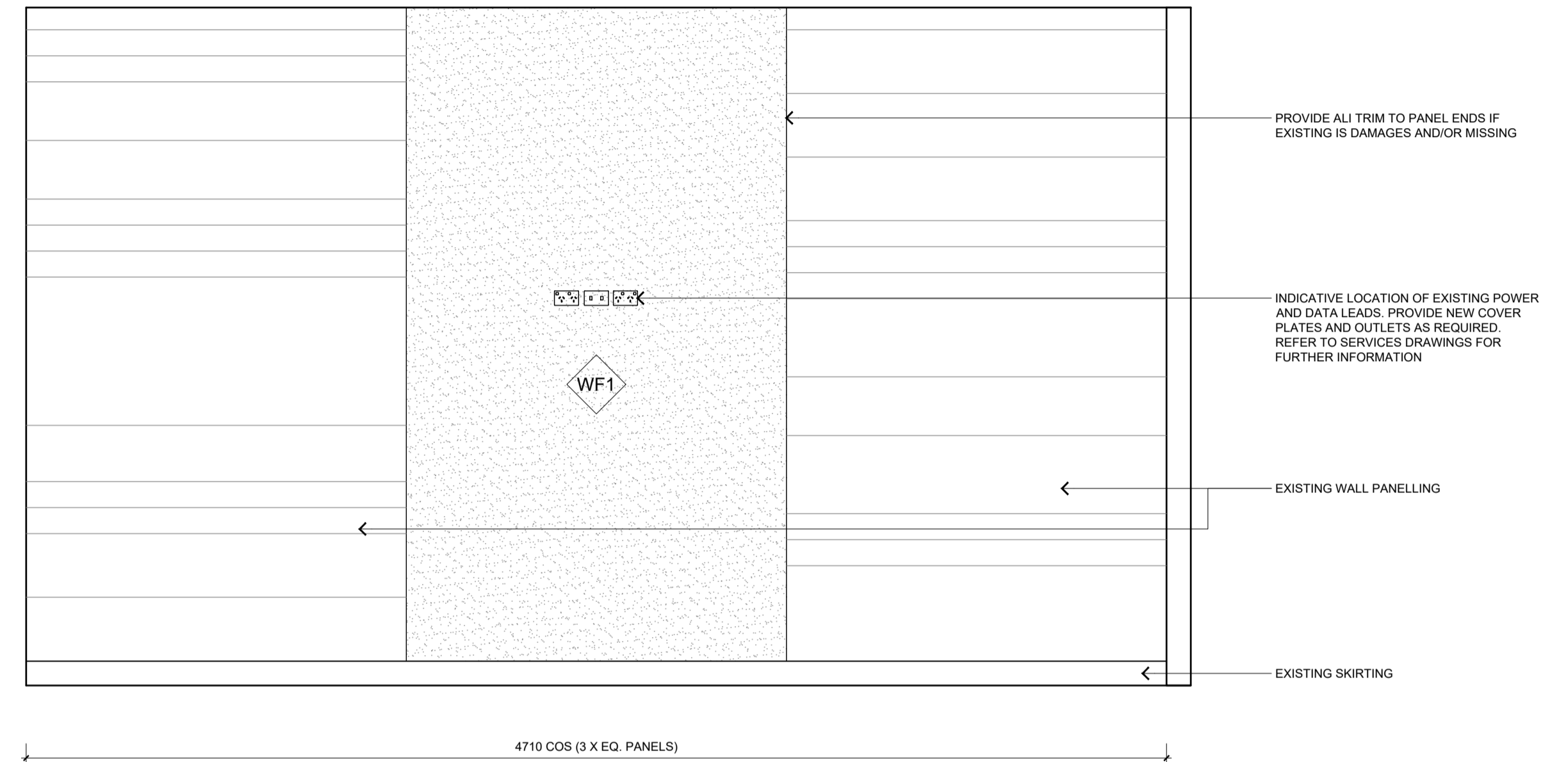
Project Leader <b>RA</b>	Drawn By: <b>KM</b>	Scale <b>1:100</b>	Sheet Size <b>A1</b>
Project Number <b>PT18148</b>		Revision <b>---</b>	
Sheet Number <b>A105-3</b>			
Status: <b>AS CONSTRUCTED</b>			



**01 SECTION- SP1**  
STANDARD PARTITION 1:2



**02 SECTION- GP1**  
STANDARD GLAZED PARTITION 1:2



**01 ELEVATION**  
A102-3 BOARDROOM 3.04 1:20

NOTE: PARTITION DETAILS ARE INDICATIVE ONLY OF APPROVED CONSTRUCTION METHOD. CONTRACTOR TO ENSURE TO MATCH EXISTING.

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